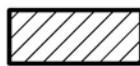


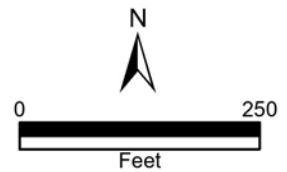
10-G-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1800 Jefferson Ave. 37917
Edgewood-Park City H

Original Print Date: 10/8/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Andrew Randazzo





Staff Report

Knoxville Historic Zoning Commission

File Number: 10-G-24-HZ

Meeting: 10/17/2024
Applicant: Andrew Randazzo
Owner: Andrew Randazzo

Property Information

Location: 1800 Jefferson Ave. **Parcel ID** 82 P H 009
District: Edgewood-Park City H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Queen Anne, c.1900

One-and-one-half-story frame residence with a hipped roof clad in asphalt shingles, an exterior of aluminum siding, and a continuous foundation. Two gable-roof dormers are evenly spaced on the front roof slope. Centrally-located, front-gable roof portico.

Description of Work

Level II Major Repair or Replacement

Removal of two one-over-one, double-hung aluminum windows on the east elevation and four one-over-one, double-hung aluminum windows on the west elevation. Windows will be replaced with new, one-over-one, double-hung, aluminum-clad wood windows. On the west elevation, the replacement windows will be the same size as the existing. On the east elevation, two windows (center bay, first story) will be reduced in height by approximately 20".

Rear elevation door to be shifted to location of adjacent window.

Applicable Design Guidelines

Edgewood-Park City Design Guidelines, adopted by the Knoxville City Council on July 29, 1997.

Windows:

3. If replacement windows are necessary, they must be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width and profile. Thermal sash windows that use false muntins are not acceptable.
4. Windows shall not be replaced with fixed thermal glazing or be made inoperable.
7. Historic windows shall not be blocked in. If ceilings have been dropped, provide a setback to allow for the full height of the original window openings. Do not cut across an existing window with a new floor or ceiling, so that the outside appearance of the window is changed.
8. Reuse existing, serviceable window hardware.

Entrances:

2. It may be appropriate to design or construct a new entrance if the historic one is missing. Any restoration shall be based on historical, pictorial and physical documentation and be compatible with the historic character of the building.
3. A replacement entrance must not create a false historic appearance. A new entrance shall be compatible in size,

scale, materials and color.

4. Entrances shall not be removed when rehabilitating a building.
5. Service or rear entrances shall not be altered to make them appear more formal by adding paneled doors, fanlights or sidelights.
6. Secondary entrances shall be compatible with the originals in size, scale and materials.

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Windows

4. If replacement is necessary, replace historic materials in kind.
 - d. It is not appropriate to enlarge or reduce the size of the original opening to accommodate the installation of a replacement window.
 - e. Replacement windows are to match the operation type (e.g., double-hung) of the original window.
 - f. Alternative materials for replacement windows may be considered, as long as the replacements match the overall size, muntin configuration and profile, meeting rail width and profile, and style of the original windows.

Comments

N/A

Staff Findings

1. 1800 Jefferson Ave is a contributing resource to the Park City National Register Historic District and the local overlay.
2. All work will be completed on secondary elevations. The secondary door to be moved is located on the rear elevation and will not be visible from the right-of-way.
3. The windows proposed to be replaced are not original to the house. The original Edgewood-Park City design guidelines recommend that replacement windows be “the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width and profile,” but do not specifically mention material. The revised but not yet adopted guidelines note that alternative materials may be considered, as long as they match the overall size, muntin profile and size, and style of the original windows. Based on these design guidelines, the proposed aluminum-clad wood material is appropriate.
4. On the east elevation, the windows are proposed to be reduced in length by 20” to accommodate kitchen fixtures below. Design guidelines typically discourage modifying the size of original windows, but the HZC has approved size modifications on a case-by-case basis. The windows proposed to be shortened will be somewhat visible from the right-of-way. They will not be removed entirely, and similarly-placed side elevation windows on adjacent houses are shorter than those on the façade. The Commission should discuss reducing the size of windows on the east elevation.

Staff Recommendation

Providing for discussion from the Commission on the east elevation windows, staff recommends approval of Certificate 10-G-24-HZ as submitted.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Andrew Randazzo

Applicant

9-23-25

10-17-24

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Andrew Randazzo

Name

Company

1800 Jefferson Ave

Knoxville

TN

37917

Address

City

State

Zip

865-776-6230

andrew.randazzo@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

0821L031

Property Address

Parcel ID

RN-2/H

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett

9.30.24

Please Print

Date

Andrew Randazzo

Applicant Signature

Andrew Randazzo

9-30-24

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: - replacement of non-historic aluminum windows with wood windows.
 - Move rear entry door to existing rear window. Enclose old rear door with wood lap siding.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

100.00

FEE 2:

FEE 3:

TOTAL:
\$100

Proposed Work:

Replace 2 east facing aluminum windows with wood windows.

New Windows: 29"x48" Double hung wood windows.

<https://www.homedepot.com/p/JELD-WEN-29-375-in-x-48-in-W-5500-Double-Hung-Wood-Clad-Window-THDJW237700014/323082547>

Replace 4 west facing aluminum windows with the same size wood windows.

Move the rear entry door to the existing rear window. Enclose the old doorway with wood lap siding.



East Facing Windows



Existing, aluminum windows 29x64"



Street view of east windows



Two lower center windows (29x64") are proposed to be replaced with two (29x44") wood double hung windows.

Product specs:



JELD-WEN

29.375 in. x 48 in. W-5500 Double Hung Wood Clad Window

★☆☆☆☆ (5) [Questions & Answers \(12\)](#)



LIMITED
20-YEAR

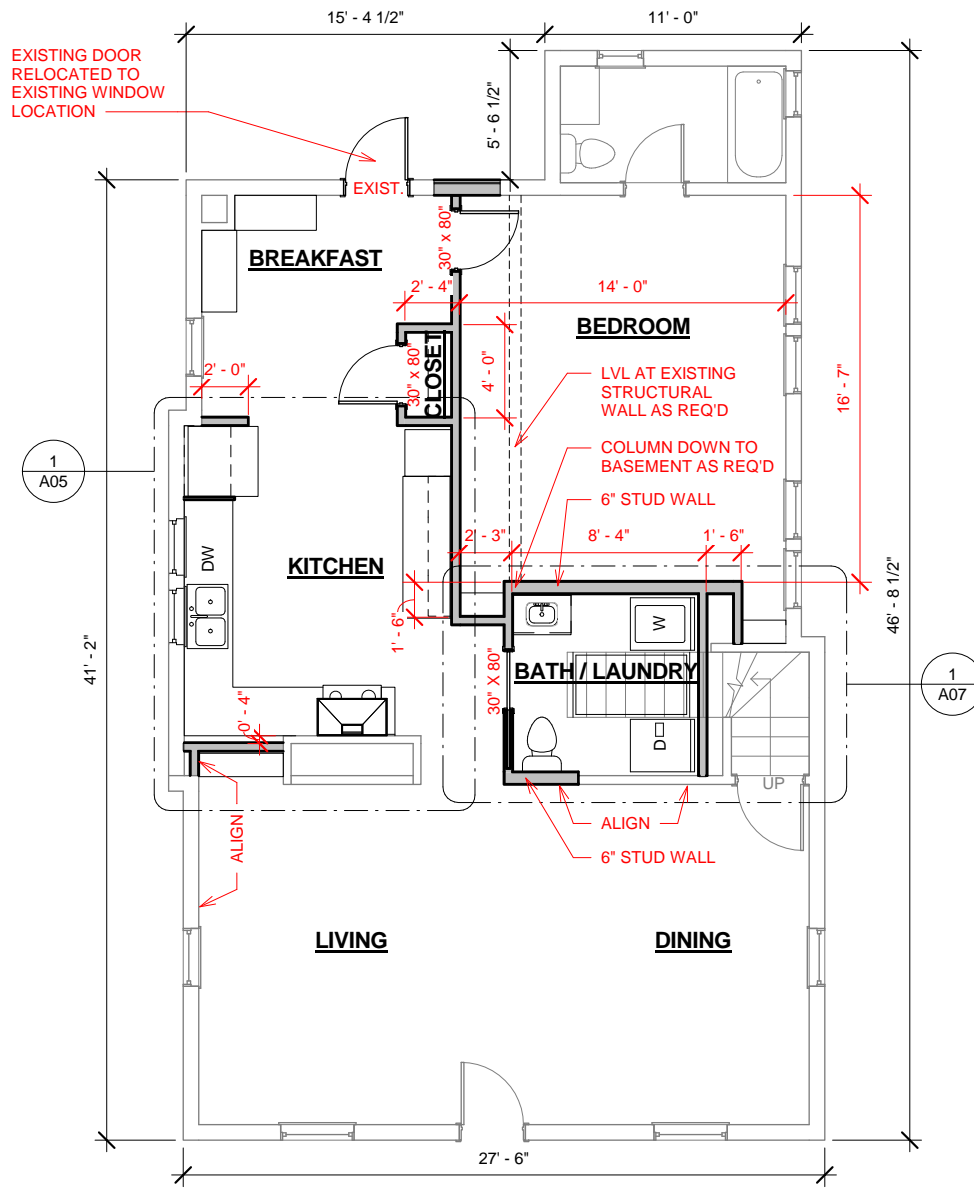




Window to be removed and replaced with existing rear door.



Existing rear aluminum window



1 GROUND FLOOR PLAN
3/16" = 1'-0"

FLOOR PLAN NOTES	
1.	WHEN IN DOUBT... ASK!
2.	ALL DIMENSIONS ARE TO/FROM STUDS UNLESS OTHERWISE NOTED.
3.	ALL DOOR & WINDOW HEAD HEIGHTS TO BE 80 INCHES FROM FINISHED FLOOR UNLESS OTHERWISE NOTED.
4.	SEE ENLARGED KITCHEN AND BATHROOM PLANS FOR MORE DETAILED NOTES & DIMENSIONS.

Dharma Properties LLC
5923 Kingston Pk, Ste 174
Knoxville, TN 37919
(865) 730-2808

Randazzo Renovation
1800 Jefferson Ave
Knoxville, TN 37917

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Project #

Issue Date

09/30/24

FLOOR PLAN

A01