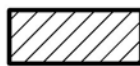


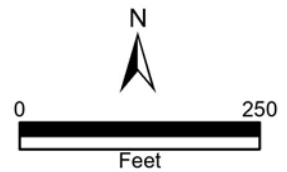
10-F-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1909 Washington Ave. 37916
Edgewood-Park City H

Original Print Date: 10/8/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Matthew Smith





Staff Report

Knoxville Historic Zoning Commission

File Number: 10-F-24-HZ

Meeting: 10/17/2024
Applicant: Matthew Smith
Owner: Matthew Smith

Property Information

Location: 1909 Washington Ave. **Parcel ID** 82 | L 022
District: Edgewood-Park City H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Queen Anne, c.1910

One-story frame residence with a hipped roof with projecting gables, an exterior clad in asbestos shingle siding, and a brick foundation

Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation of secondary structure. Existing garage to be converted to accessory dwelling unit.

Replacement of existing metal roof with new asphalt shingle roof cladding. Replacement of existing 1/1 double-hung windows with new wood 1/1 double-hung windows on the south elevation (facing rear of house). Replacement of wood door with a new four-light door. On the east elevation, the garage opening will be enclosed with a wood clad, full-light screen door on the right side. T-111 plywood siding on gable fields to be replaced with wood shakes.

Applicable Design Guidelines

Edgewood-Park City Design Guidelines, adopted by the Knoxville City Council on July 29, 1997.

Roofs

4. Materials used in roofing existing buildings or new construction shall duplicate the original roofing materials as much as possible. Asphalt or fiberglass shingles can be appropriate, as are slate, standing seam metal, or metal or wood shingle roof coverings. The color of roofing materials should be a dark green, charcoal gray or black or dark reddish brown, to simulate the original roof colors.

Infill Buildings

13. If garages or other outbuildings are constructed, they may resemble servants' quarters or carriage houses, work buildings, or simple one story garages that have been historically constructed in Edgewood - Park City. Their size and construction must use materials which correspond to the original primary buildings on the lot.

Windows

3. If replacement windows are necessary, they must be the same overall size as the originals, with the same pane division, and same muntin style and exterior depth, width, and profile.

Comments

N/A

Staff Findings

1. 1909 Washington Ave is a contributing resource to the Edgewood-Park City and the local overlay. The NRHP nomination notes a one-story frame garage with composition siding; the existing secondary structure is a one-story, CMU garage with a CMU exterior.
 2. All work is concentrated on the secondary structure; no work is proposed for the main house.
 3. Overall, the proposed scope of work meets the design guidelines. The proposed roofing, windows, and door materials are appropriate for the context. Replacing the sliding garage door with additional transparency in full-light patio doors will contribute to the structure. No historic materials or design elements are proposed to be modified.
-

Staff Recommendation

Staff recommends approval of Certificate 10-F-24-HZ as submitted.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Matthew Smith

Applicant

9/17/24

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Matthew Smith

Name

Company

1909 Washington Ave

Knoxville

TN

37916

Address

City

State

Zip

865-771-0747

dreamteam2016@icloud.com

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

Property Address

Parcel ID

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Please Print

Date

Matthew Smith

Matthew Smith

9-17-24

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: To repair existing accessory structure and add additional space to the dwelling. The intent for the exterior of this structure is to repair/ update the siding on gable material while keeping the existing CMU block as the existing exterior skin for the base of the building. New windows and doors are to be added to the facade for proper egress throughout the space. Update MEPs, roofing, framing, and finishes on the interior.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

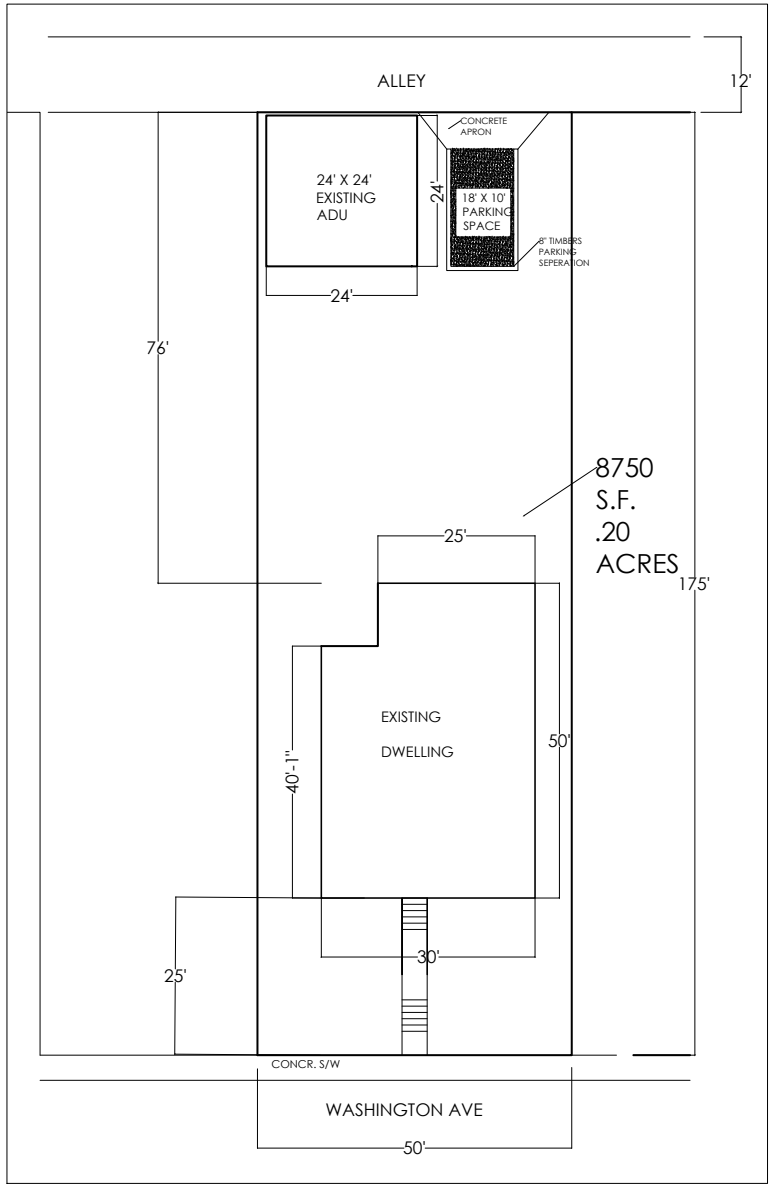
- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
1002		
FEE 2:		
		\$100.00
FEE 3:		



GENERAL NOTES

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VALLEN DESIGNS

SITE / FOUNDATION PLAN

REVISIONS

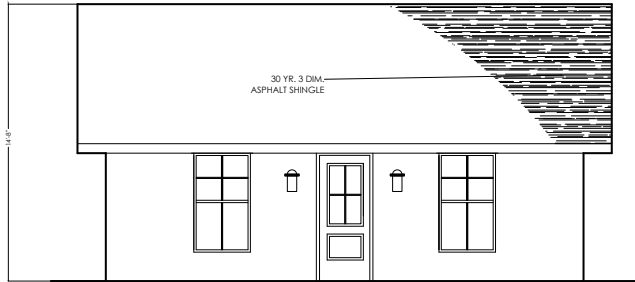
CLIENT :
MATTHEW SMITH

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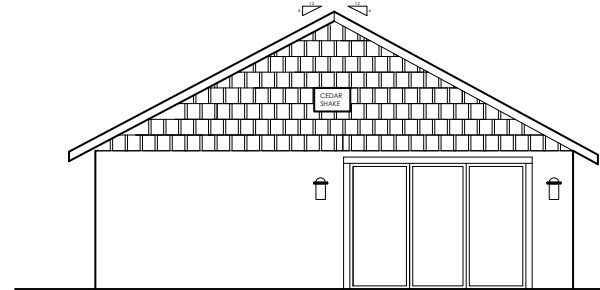
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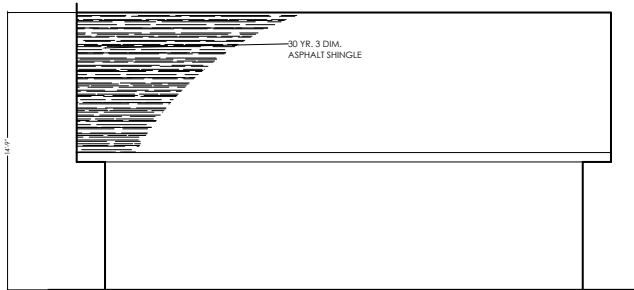
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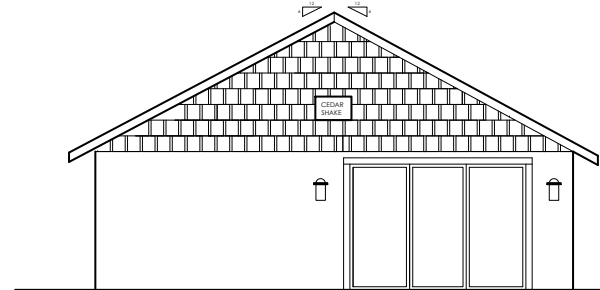
WEST ELEVATION
SCALE : 0'-3/8"= 1'-0"



SOUTH ELEVATION
SCALE : 0'-3/8"= 1'-0"



EAST ELEVATION
SCALE : 0'-3/8"= 1'-0"



NORTH ELEVATION
SCALE : 0'-3/8"= 1'-0"

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VALLEN DESIGNS

ELEVATIONS

SCALE : 0-3/8"= 1'-0"

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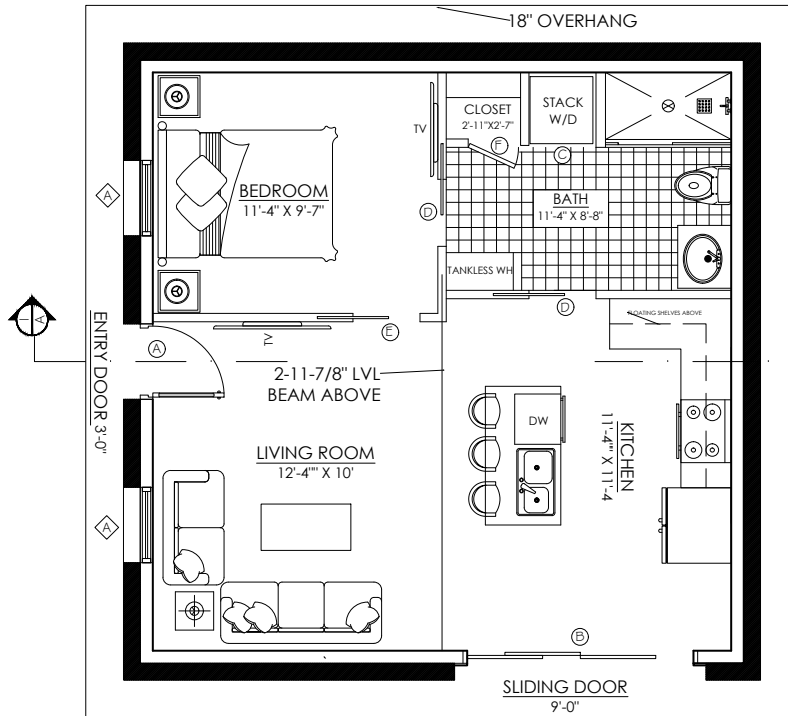
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DOOR SCHEDULE		
	SIZE	ROOM
(A)	4-36"X80" FRONT ENTRY DR.	LIVING RM.
(B)	1-9" X 80" REAR SLIDING DR.	PATIO
(C)	1-48"X80" CASED OPNG.	LAUNDRY
(D)	2-32"X80" POCKET DOOR	BATHROOM
(E)	1-32"X80" POCKET DOOR	BEDRM.
(F)	1-24"X80" INTERIOR DOOR	BEDRM. CLOSET

WINDOW SCHEDULE		
	SIZE & #	ROOM
(A)	1-36"X60"	LIVING RM.
		BATHROOM
		KITCHEN
		LAUNDRY
(A)	1-36"X60"	BEDRM.

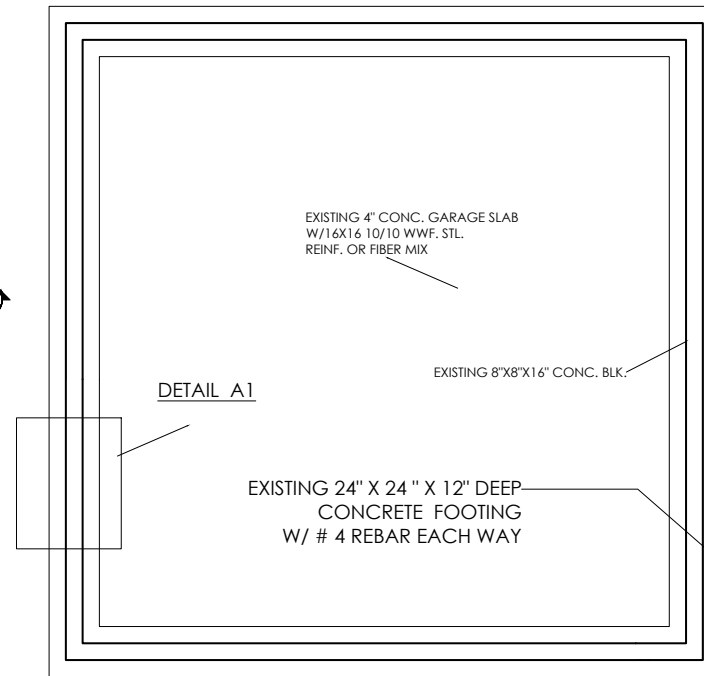
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FLOOR PLAN
SCALE : 1/2"=1'-0"

SQUARE FOOTAGE
TOTAL HEATED AREA: 576 SQ. FT



FOUNDATION PLAN
SCALE : 1/2"=1'-0"

PROPERTY ADDRESS :
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KNOXVILLE, TN 37917

VALLEN DESIGNS

FLOOR/ FOUNDATION PLAN

SCALE : 0-1/2"= 1'-0"

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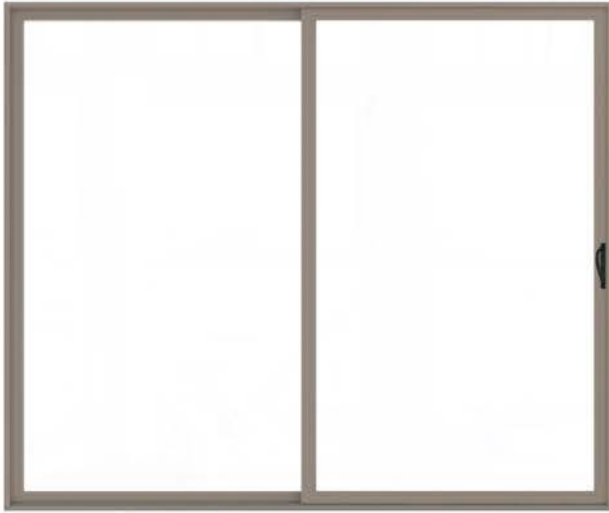




Great Job!

You have designed **your perfect** patio door.

100 Series Gliding Patio Door



INTERIOR

EXTERIOR



SIZING

INTERIOR

HARDWARE

GRILLES

EXTERIOR

GLASS

SUMMARY

[Clear My Choices](#)

Product ID#

100GD2P8068

Unit Width

95 1/4"

Unit Height

79 1/2"

Interior Color

Sandtone

Glass

Low-E4® Glass

Hardware

Afton, Black

Grille Pattern

None

Exterior Door Color

Sandtone

A-SERIES DOUBLE-HUNG WINDOW

LEARN

DESIGN IT

TECH SPECS

A-SERIES DOUBLE-HUNG WINDOW



Interior



Exterior

Summary

Product ID#	ADH3050
Unit Width	35 1/4"
Unit Height	59 1/4"
Interior Color	Oak
Interior Stain	Unfinished Oak



Hardware	Lock and Keeper, Black
Optional Hardware	Traditional Hand Lift, Black
Grille Pattern	None
Exterior Color	Sandtone
Exterior Trim Profile	None
Exterior Trim Color	Sandtone

Explore other double-hung windows