



Staff Report

Knoxville Historic Zoning Commission

File Number: 10-E-24-HZ

Meeting: 10/17/2024
Applicant: Vince Marshall, Marshall Design & Construction Corp.
Owner: Todd and Anita Davis

Property Information

Location: 1916 Emoriland Blvd. **Parcel ID** 69 M B 016
District: Fairmont-Emoriland NC
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Colonial Revival, c.1927

One story frame with brick veneer wall covering, corner quoins. Exterior end brick chimney. Side gable roof with asphalt shingle covering. One story gabled front portico with arched ceiling, replacement columns. Six over six double hung windows. Exterior end brick chimney. Rectangular plan.

Description of Work

Level II Construction of Addition or Outbuilding
New additions.

Front/east addition: new addition to east elevation along the façade, to measure 24'-6" wide by 12'-8" deep and be recessed 1'-5.5" from the front façade of the house. The front addition will feature a side-gable roof with an 8/12 pitch, an exterior of brick veneer, and two bays of 9/9 double-hung windows with "style, size, trim, and sill to match the existing," along with shutters to match the existing. Addition will feature brick quoins and a brick soldier header course above the windows.

Covered porch addition: on the east elevation, located behind the proposed new front addition, a covered porch with a 2/12-pitch, shed roof will extend 22'-9.5" towards the rear of the house.

Garage addition: new three-car garage addition to the rear right corner (east elevation) of the house. The garage addition will measure 25' wide by 36'-1" deep and feature a 6/12 pitch hipped roof, an exterior of brick cladding, and three garage bays facing the east side elevation.

Rear addition: new addition to rear (south elevation) of house. The rear addition measures approximately 32'-2" wide (the full width of the existing house) by 17'-1.5" deep, and features a 6/12 pitch hipped roof and an exterior of brick cladding.

New driveway: new 12' wide driveway extending from Emoriland Boulevard, leading to an approximately 32' wide parking pad area outside the three-car garage.

Applicable Design Guidelines

Fairmont Park Neighborhood Conservation District Design Guidelines, adopted by the Knoxville City Council on

November 26, 2002.

Additions

1. The design of additions and accessory buildings should be consistent with the character of the main structure.
3. The width of side yard setbacks should duplicate the average side yard widths of the three adjacent existing buildings on each side of the subject property.
4. The recommended location for additions is to the rear or side of existing buildings. Additions to the front of buildings are not encouraged, because they obscure the original architectural designs.
8. If additions are to be made to the existing building they should be located at least five feet behind the front facade of the existing building.

Building and Roof Form

3. New buildings and additions should not incorporate round-topped windows, or windows with arched transoms. However, Palladian-design windows with flanking side windows, and flat-topped transoms are acceptable.
4. The minimum roof pitch should be appropriate for the style of house that is being constructed, as shown on the matrix in these guidelines.

Materials

2. If an addition is made to an existing house, the wall cladding materials should duplicate those on the existing house, or as shown on the matrix on page 6.

Access and Parking

1. The carports or doors of attached garages should not face Emoriland or Fairmont Boulevards.
2. Attached garages or carports should be located fifteen feet back of the front facing façade.
4. If driveways are built they should be 9-12' wide. Separate tire strips of aggregate exposed concrete are encouraged.

Landscaping, Walls, and Fencing

1. The maximum lot coverage for impermeable features such as paving and roofs on any lot shall be 40%.
2. If driveways are constructed, they should be as narrow as possible.

Comments

N/A

Staff Findings

1. 1916 Emoriland Boulevard is a contributing resource to the Fairmont Park NC Overlay. The house is a Colonial Revival-style Minimal Traditional house. Minimal Traditional houses are typically modest one-story forms with narrow facades and minimal architectural detail.
2. The proposed additions are significantly large in footprint, approximately doubling the overall square footage of the house.
3. Guidelines recommend that additions are placed on the side or rear of buildings, discouraging additions to the front that obscure original architectural designs. The proposed rear addition and garage additions meet the guidelines for placement. The front/east addition is set back from the façade by only 1'-5.5" and almost doubles the existing façade width. Guidelines note that "if additions are made to the existing building, they should be located at least 5' behind the front façade of the existing building." The front addition is not sufficiently differentiated from the original façade of the house and should be revised in placement.
4. The additions use materials and design elements compatible with the primary structure, including brick cladding, quoin detailing, brick soldier header courses above windows, and windows with sills and shutters to reflect the

existing.

5. Guidelines recommend that doors of attached garages do not face Emoriland Boulevard, and they should be located at least 15' behind the front façade; the design does meet these guidelines. The garage will be large in scale and visible from the street due to the adjacent vacant property. Three-car garages are typically not in character with the neighborhood context. SOI Standards note that new additions "shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment." The Commission should discuss the overall massing of the proposed garage.

6. Guidelines recommend that driveways be "as narrow as possible," 9'-12' wide, and encourage separate tire strips. The driveways are 12', comparable to the minimum required width of 10'. The parking pad outside of the three-car garage is relatively large. Additional landscaping and screening may serve to obscure the large garage and parking pad.

Staff Recommendation

The Commission should discuss the massing of the garage addition and the proposed front/east side addition. Pending input or additional conditions from the Commission, additional conditions of approval should include: 1) front/east addition to be revised in placement to meet the design guidelines; 2) additional landscape planting to be included in final side plan along east side property line to serve as screening for new garage and parking pad.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Vince Marshall

Applicant

9/25/2024

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Owner Contractor Engineer Architect/Landscape Architect

Vince Marshall

Marshall Design & Construction Corp.

Name

Company

1201 Heartland Dr.

Maryville

TN

37801

Address

City

State

Zip

865-314-1252

mdcc04@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Todd & Anita Davis

1916 Emoriland Blvd.

973-462-4772

Owner Name (if different from applicant)

Owner Address

Owner Phone

1916 Emoriland Blvd.

069LG049

Property Address

Parcel ID

Knoxville

RN-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Please Print

Date

Vince Marshall

Vince Marshall

2024.09.25 17:59:20 -04'00'

Vince Marshall

9/25/2024

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- Brief description of work: Adding addition to the existing home.
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-

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- Brief description of work: Adding addition to the existing home.
-
-

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

- Brief description of work: _____
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STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

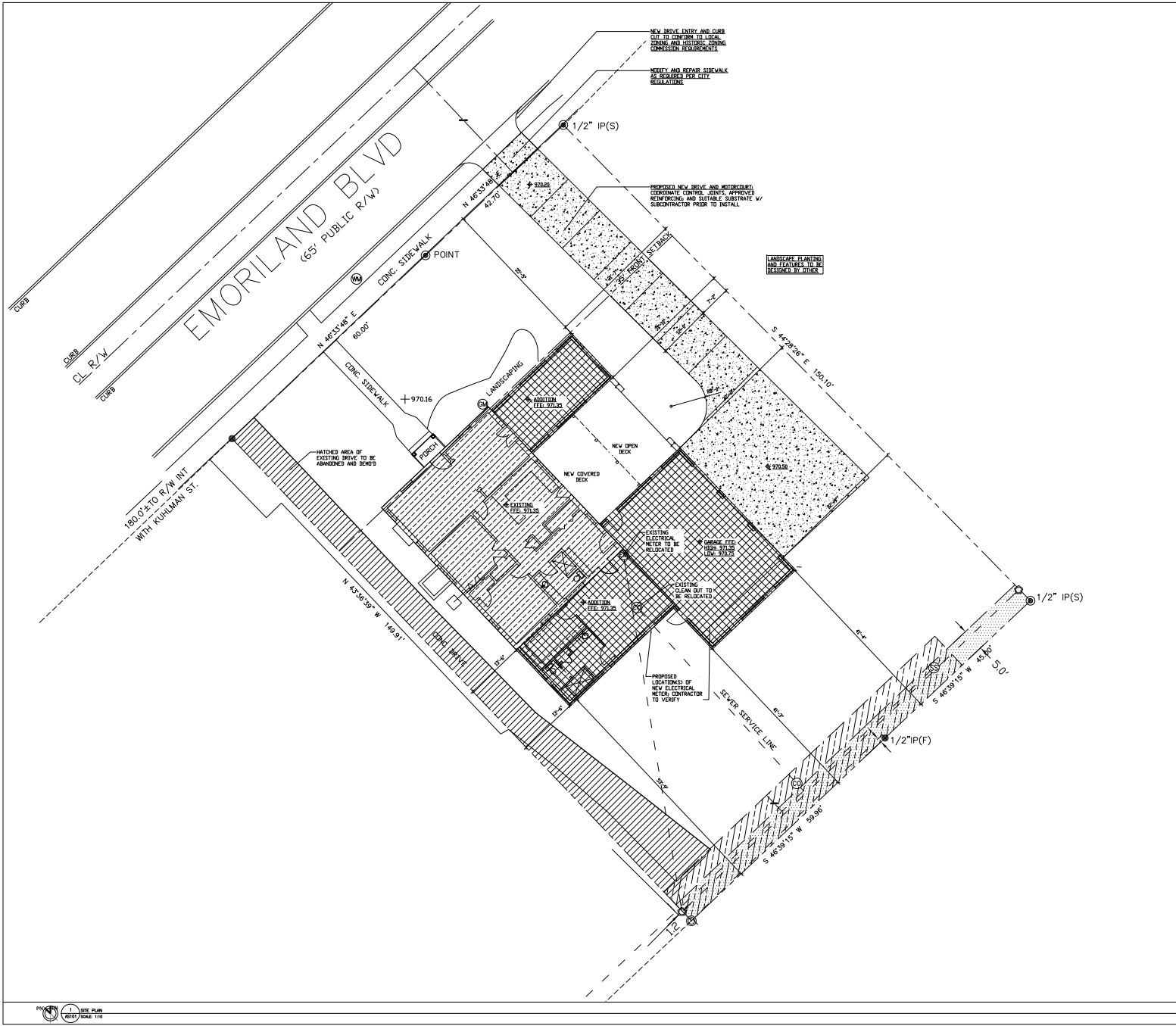
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:



ZONING INFORMATION: (PER PLAT DATED 06-30-2017)	
ADDRESS: 1916 EMORILAND BLVD	
PARCEL ID: 069M016	
DISTRICT:	
WARD: 16	
SUBDIVISION: EMORILAND PARK ADD	
JURISDICTION:	
- CITY: KNOXVILLE	
- COUNTY: KNOX COUNTY	
ZONE: RN-2	
SETBACKS:	
- FRONT: 35'	
- SIDE: 5' (NO LESS 15' COMBINED)	
- REAR: 25'	
IMPERVIOUS AREA CALCULATIONS: (KNOXVILLE CODE OF ORDINANCE ARTICLE 4.3 TABLE 4-1)	
- MAXIMUM IMPERVIOUS SURFACE PER CODE: 40%	
- MAXIMUM BUILDING COVERAGE: 30%	
- TOTAL LOT AREA: 15,534 SF	
- TOTAL IMPERVIOUS AREA: 5,760 SF	
A. TOTAL EXISTING HOUSE: 1,461 SF	
B. TOTAL NEW ADDITION: 1,872 SF	
C. DECK: 524 SF	
D. TOTAL DRIVEWAY & SIDEWALK AREA: 1,903 SF	
- PERCENTAGE OF PROJECT BUILDING COVERAGE: 24.83% (INCLUDES HOUSE AND DECK)	
- PERCENTAGE OF PROJECT IMPERVIOUS AREA: 37.08%	
- SITE INFORMATION IS BASED ON CURRENT PLAT RECORDED IN CABINET 6, SLIDE 98-8 IN THE REGISTER OF DEEDS OFFICE IN ANDERSON COUNTY, TN & IS BEING PROVIDED TO DEMONSTRATE BUILDING PERMIT & ZONING COMPLIANCE ONLY. FINAL TOPOGRAPHY AND PROPERTY DATA TO BE VERIFIED BY CONTRACTOR AND SURVEYOR PRIOR TO CONSTRUCTION.	
SITE PLAN & PROJECT ORIENTATION	
PN TN 	
TN: TRUE NORTH (PER SITE PLAN) PN: PROJECT NORTH (PROPOSED PLAN ORIENTATION)	
SITE PLAN LEGEND	
	PROPERTY LINE
	SETBACK LINE
	NEW ONE-STORY ADDITIONS
	EXISTING ONE-STORY HOUSE
	EXISTING DRIVEWAY TO BE DEMO'D AND ABANDONED
	NEW DRIVEWAY
GENERAL NOTES:	
1. CONTRACTOR TO VERIFY AND PROVIDE CURB CUTS AS REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION ZONING ORDINANCE REQUIREMENTS	
2. CONTRACTOR TO COORDINATE SITE UTILITIES AND TIE-INS AS REQUIRED W/ OWNER AND LOCAL UTILITY PROVIDERS.	
3. CONTRACTOR AND OWNER TO COORDINATE FINAL SEPTIC RED'S.	
4. TREE REMOVALS AND REQUIREMENT TO BE COORDINATE BY CONTRACTOR WITH OWNER.	
5. CONTRACTOR TO VERIFY FINAL GRADING REQUIREMENTS PRIOR TO CONSTRUCTION.	

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A ADDITION FOR THE
DAVIS RESIDENCE
1916 EMORILAND BLVD,
KNOXVILLE, TN

RELEASE:
HZC REVIEW

REVISIONS

No.	Description	Date

Project Number: 24016H
Date: 09/25/2024
Drawn By: JPG
Scale: AS NOTED

SITE & ZONING
PLAN

AS-101



5 EXISTING EXTERIOR PHOTO
AD-101



4 EXISTING EXTERIOR PHOTO
AD-101



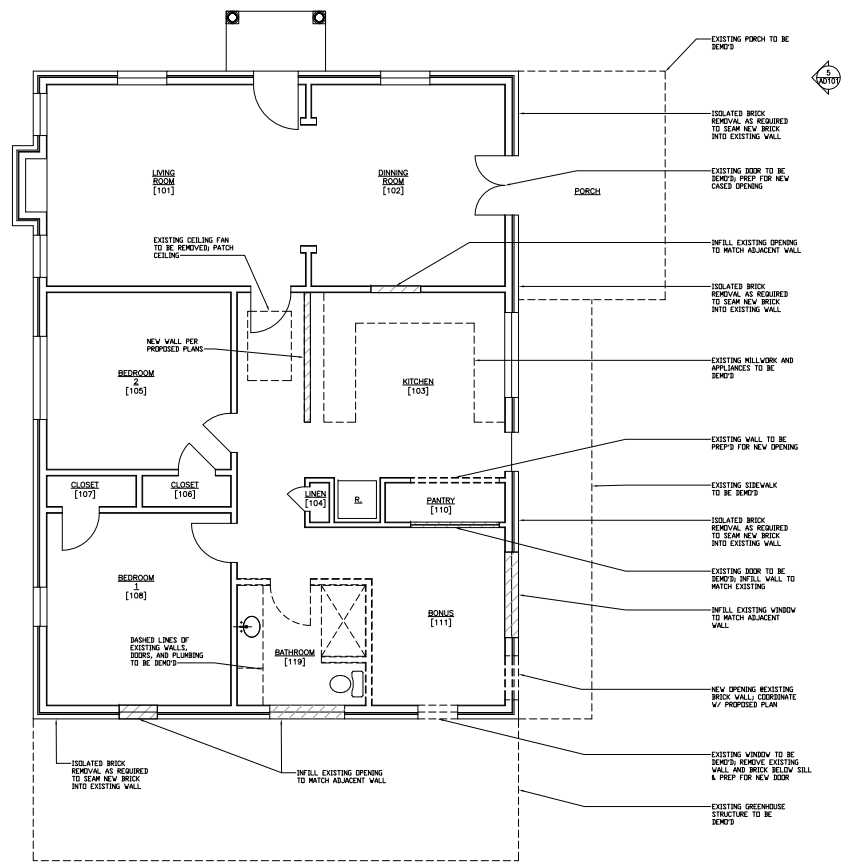
3 EXISTING EXTERIOR PHOTO
AD-101



2 EXISTING EXTERIOR PHOTO
AD-101

GENERAL NOTES:

1. REQUIRED PIPING & DUCT RANG FOR ALL NEW PLUMBING AND HVAC TO BE COORDINATED BY CONTRACTOR IN FIELD AND IN COORDINATION WITH PROPOSED PLANS. PRIOR TO CONSTRUCTION NOTIFY ARCHITECT OF ANY EXISTING ISSUES THAT MAY AFFECT THE DESIGN INTENT.
2. REMOVE EXISTING ROOFING, GUTTERS, DOWNPOUTS, & FACIAS WHERE REQUIRED FOR NEW ADDITION. PATCH/REPAIR FOR SEAMLESS TRANSITION.
3. COORDINATE REMOVAL, SALVAGE, AND STORAGE REQUIREMENTS FOR ALL APPLIANCES AND FIXTURES TO BE NOTIFIED OR REPLACED WITH OWNER PRIOR TO DEMOLITION.
4. COORDINATE EXISTING POWER, DATA, & AV COMPONENTS WITH OWNER PRIOR TO CONSTRUCTION & IN COORDINATION WITH PROPOSED PLANS.
5. WHERE MODIFYING EXTERIOR WALLS, DOORS, & WINDOWS PATCH/REPAIR ALL WEATHER BARRIERS, FLASHING, & INSULATION TO MEET CURRENT CODE REQUIREMENTS.
6. IF, DURING DEMOLITION, CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRELUDE FOLLOWING THE DESIGN INTENT, GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL METHODS OF CONSTRUCTION AND COORDINATION OF THE SAME, INCLUDING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL, & PLUMBING UNLESS NOTED OTHERWISE.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS PROPERLY BRACED DURING DEMOLITION AND RENOVATION.
9. NO TRASH OR REBIS SHALL BE STORED ON SITE. REMOVE ALL UNDESIRABLE MATERIALS FROM SITE DAILY, UNLESS NOTED TO BE SALVAGED FOR REUSE.
10. THE GENERAL CONTRACTOR SHALL COORDINATE INTERRUPTION OR DISCONNECTION OF UTILITIES WITH APPROPRIATE AGENCIES AND AUTHORITIES. NOTIFY OWNER 48 HOURS IN ADVANCE OF SCHEDULED INTERRUPTIONS.
11. PATCH AND REPAIR ALL DAMAGED WALLS, FLOORS, AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES. REPLACE EXISTING DAMAGED FINISHES WITH NEW FINISHES, OR REFINISH ENTIRE AREA OF CONCERN w/ NEW TO MATCH EXISTING OR AS OTHERWISE INDICATED ON DRAWINGS AND SCHEDULES.
12. ALL AREAS TO RECEIVE NEW CONSTRUCTION ARE TO BE STRIPPED OF EXISTING FINISHES AND PREPARED TO RECEIVE THE NEW CONSTRUCTION & FINISHES WITH A PROPER BRID. COORDINATE w/ OWNER EXTENT OF EXISTING FLOOR.
13. ALL ABANDONED DUCTING, PIPING, CONDUIT, ETC IS TO BE REMOVED, AS WELL AS ALL ABANDONED WIRING, WHICH SHALL BE REMOVED FROM SOURCE, INCLUDING ELECTRICAL PANELS, WIRING, AND DATA. UNWANTED EXISTING EQUIPMENT, PIPING, DUCTS, ETC ARE REQUIRED TO BE REMOVED. SUCH REMOVAL IS TO INCLUDE ALL NICKERS, HANGERS, TERMINATING ETC. AFTER REMOVAL, ALL FLOORS, WALLS AND CEILING SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES AND SCHEDULES.
14. ALL DEMOLITION WORK SHALL BE COORDINATED WITH ALL SUBCONTRACTORS TO INSURE UNINTERRUPTED PROGRESS OF NEW CONSTRUCTION WORK.
15. ALL DEMOLITION, CUTTING AND PATCHING SHALL BE DONE TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE, AND IS TO PROVIDE A SMOOTH FINISHED APPEARANCE WHEN COMPLETED.
16. ALL WALLS INDICATED TO BE DEMOLISHED SHALL BE REMOVED FULL HEIGHT UNLESS NOTED OTHERWISE. AFTER REMOVAL, FLOORS, CEILING AND ADJACENT WALLS SHALL BE REPAIRS & PREPARED FOR FINISH TO MATCH EXISTING OR AS OTHERWISE INDICATED ON DRAWINGS AND SCHEDULES.
17. ALL EXISTING FLOOR FINISHES IN WORK AREA TO BE REMOVED. PREP FLOORS TO RECEIVE NEW FINISH AS INDICATED IN FINISH SCHEDULE.
18. ALL EXISTING POWER RECEPTACLES & SWITCHES TO BE RELOCATED WHERE COMPLETED BY NEW CONSTRUCTION - COORDINATE NEW LOCATIONS AS WITH OWNER OR PER PLANS - PREP WALLS FOR NEW LOCATIONS AT HEIGHT TO MATCH EXISTING.
19. STRIP AND REFINISH ALL EXISTING CEILINGS.



1 DEMOLITION PLAN (EXISTING 1,461 SF)
AD-101 SCALE: 1/4" = 1'-0"

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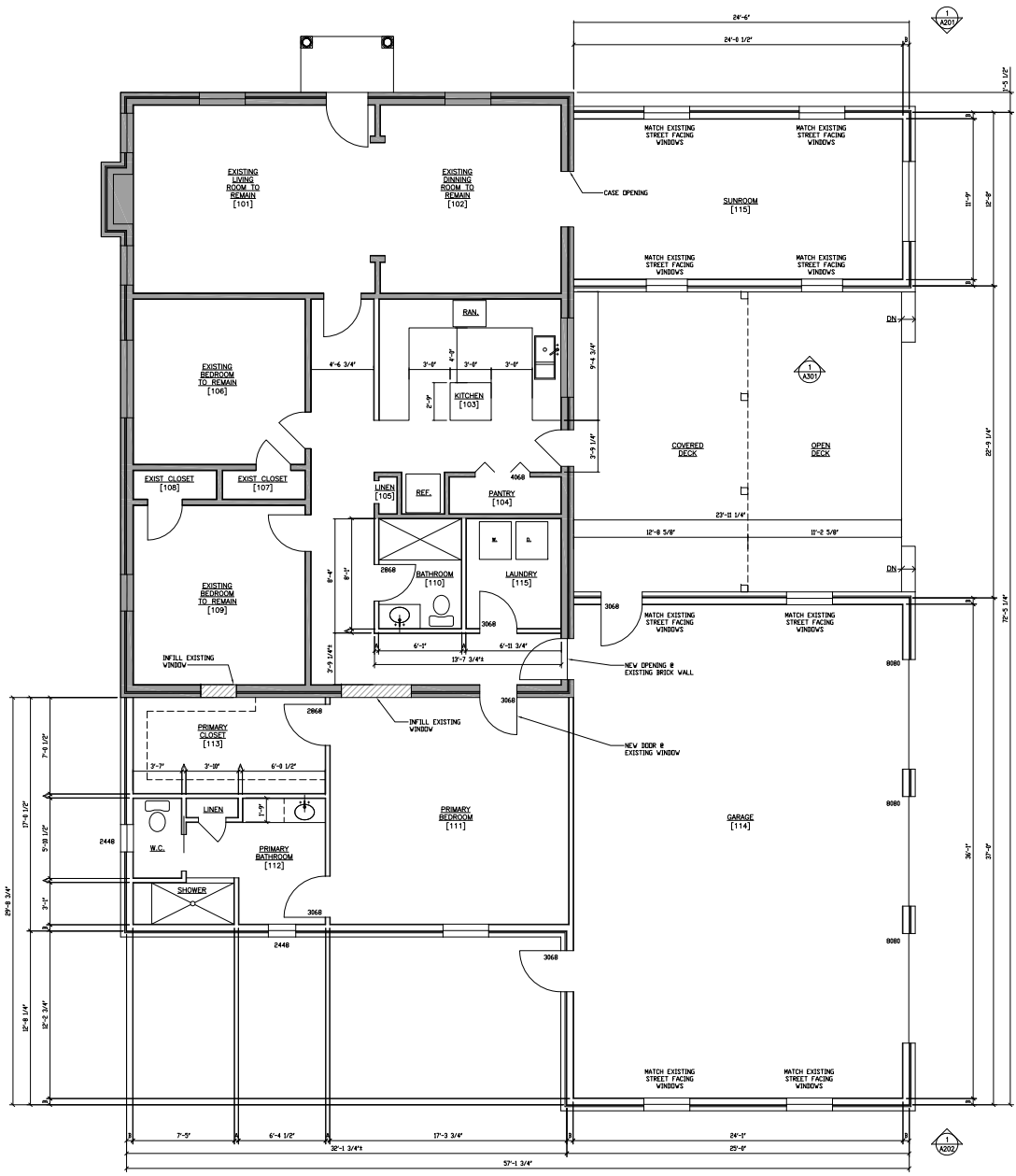
RELEASE:
HZC REVIEW

REVISIONS		
No.	Description	Date

Project Number: 24016H
Date: 09/25/2024
Drawn By: JPG
Scale: AS NOTED

DEMOLITION PLAN

AD-101



DIMENSION LEGEND
 A 3 1/2" WOOD STUD B 5 1/2" WOOD STUD (BEHIND ALL TOILETS)

GRAPHIC LEGEND
 EXISTING WALLS TO REMAIN

CONSTRUCTION GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL PLAN & FRAMING DIMENSIONS ARE TO OUTSIDE FACE OF EXISTING HOME EXTERIOR WALL SHEATHING OR CENTERLINE OF COLUMN.
- IF ANY DIMENSIONS ARE ABSENT OR UNCLEAR, CONTACT ARCHITECT IMMEDIATELY FOR INSTRUCTIONS.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD.
- MINIMUM PRESERVATIVE TREATMENT REQUIREMENTS: (PER IRC SECTION R317)
 - R317.1 LOCATIONS REQUIRED: (AS RELEVANT TO THIS PROJECT)
 - WOOD JOISTS WHERE CLOSER THAN 18" TO GRADE.
 - WOOD GIRDERS WHERE CLOSER THAN 12" TO GRADE.
 - WOOD FRAMING THAT RESTS ON CONCRETE OR MASONRY EXTERIOR FOUNDATIONS WALLS AND ARE LESS THAN 8" TO EXPOSED GROUND.
 - R317.1.1 FIELD TREATMENT
 - FIELD-CUT ENDS, NOTICES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE W/ ANPA M4.
 - R317.1.4 WOOD COLUMNS:
 - WOOD COLUMNS SHALL BE APPROVED WOOD OR NATURAL DECAY RESISTANCE OR APPROVED PRESSURE PRESERVATIVE TREATED WOOD.
- *LOGGINGS:
 - DECK POSTS SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING NOT LESS THAN 1 INCH ABOVE A CONCRETE FLOOR OR 6" ABOVE EXPOSED EARTH.
- CONTRACTOR TO VERIFY CONDITION OF EXISTING BUILDING FRAMING AND EVALUATE FURTHER STRUCTURAL REVIEW PRIOR TO CONSTRUCTION.
- ALL PLUMBING FIXTURES, APPLIANCES, & ASSOCIATED COMPONENTS TO BE SELECTED BY OWNER IN COORDINATION W/ CONTRACTOR. COORDINATE SLAB TRIMMING AND RECESSED SHOWERS AS REQUIRED.
- FLOOR FINISHES, MILLWORK, AND CASEWORK TO BE DETERMINED BY OWNER W/ CONTRACTOR. INTENT SHOWN FOR PLANNING PURPOSES.
- INSULATION REQUIREMENTS TO MEET IECC 2018 W/ LOCAL AMENDMENTS
 - WALLS & CEILING: R-13
 - WOOD STUD R-19
 - CMU R-8 CONTINUOUS AT INTERIOR SIDE
 - WOOD FLOOR FRAMING OVER UNFINISHED: R-19
 - SLAB EDGE: R-10 TO 2'-0" VERTICAL, OR HORIZONTAL
 - EXEMPTION: U-S-G GLAZED EXEMPTION SCHED. JH 040
- ALL POWER, LIGHTING, & MECHANICAL SYSTEM DESIGN TO BE COORDINATED BY OWNER WITH CONTRACTOR.
- CONTRACTOR TO COORDINATE SMOKE AND CARBON MONOXIDE DETECTION SYSTEM
 - AS REQ'D PER 2018 IRC AND W/ OWNER

ELECTRICAL NOTES:

- FINAL LIGHT FIXTURES TO BE COORDINATED BY CONTRACTOR W/ OWNER.
- EXTERIOR LIGHTS: COORDINATE FINAL FLOOD LIGHT LOCATIONS W/ OWNER.
- COORDINATE EXHAUST FAN REQ'S W/ MECHANICAL SUBCONTRACTOR AND OWNER.
- SWITCHES: U.O.A.L. LOCATE SWITCHES @ 48" AFF AND 1" (10" MAX) FROM FINISH JAMB TO CENTERLINE OF SWITCH (RST GANG IF MULTI-GANG). SWITCHES AT CABINETS: RUN WIRES LONG FOR CUT-IN BOX. INSTALLATION: FINAL LOCATIONS TO BE DETERMINED IN FIELD. EXTERIOR IN-USE BOXES SHALL BE RECESSED TYPE. FINAL LOCATIONS TO BE COORDINATED WITH OWNER.
- ALL EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE & SHALL CONFORM W/ LOCAL LIGHTING CODES AND ORDINANCES.

RECEPTACLE NOTES:

INSTALLATION AND LOCATION OF ALL POWER TO BE COORDINATED W/ CURRENT NEC REQUIREMENTS. LOCATE RECEPTACLES VERTICALLY @ 17" ABOVE SUBFLOOR. COORDINATE FINAL LOCATIONS WITH OWNER. INSTALL GFI RECEPTACLES @ BATHS & KITCHEN @ CABINETS: RECESSED LONG FOR GFI/CUT-IN BOX. INSTALLATION: FINAL LOCATION T.B.D. IN FIELD. PLUG MOLD: FACE DOWN AT BACK OF CABINET. RECESSED WITH OWNER. VERIFY FINAL W/ OWNER. EXTERIOR LOCATIONS TO BE VERIFIED W/ OWNER. INSTALL @ 2' AFF, VERT. ALIGN CENTERLINE W/ NEAREST SINK COUNSEL. USE WATERPROOF BOX.

DOOR/WINDOW NOTES:

WHERE NOT DIMENSIONED, INTERIOR DOORS THAT APPEAR CENTERED ON WALL SHALL BE INTERIOR DOORS APPEARING DIRECTLY ADJACENT TO WALL SHALL BE INSTALLED W/ JAMB R.O. 6" FROM WALL FRAMING.

- EXTERIOR WINDOWS AND DOORS SHALL MEET CURRENT CODE U VALUE, SHGC, & DP RATINGS. WINDOW MANUF. & CONTRACTOR TO VERIFY ALL EXCESS WINDOW REQ'S ARE MET. WINDOW MANUF. & CONTRACTOR TO VERIFY TEMPERED GLAZING REQUIREMENT MEET CURRENT CODE. WRAP HEAD, JAMB, AND SILL W/ MEMBRANE FLASHING AND PROVIDE CAP & SILL PAN FLASHING PER CURRENT CODE & MANUF. REQ'S. STRAIGHT FLASH ALL RAFTERS.
- ALL DOORS SEPARATING UNCONDITIONED FROM UNCONDITIONED SPACES SHALL BE PROVIDED W/ APPROVED WEATHER SEALS & GASKETING. EXTERIOR LOCATION TO HAVE APPROVED THRESHOLDS AND RAIN GUARD.
- ALL INTERIOR DOORS TO BE SELECTED BY OWNER.

FINISH NOTES:

- EXTERIOR FINISHES/WALLS/FLOORS:**
 - TYPICAL EXTERIOR WALL FINISH TO BE PAINTED BRICK TO MATCH EXISTING HOUSE OVER 1" AIR SPACE OVER (1) LAYERS WEATHER BARRIER OVER 1/2" EXTERIOR GRADE SHEATHING OVER 2X6 WOOD STUDS @ 16" O.C. W/ R-21 BATT INSULATION AND INTERIOR FINISH PER NOTES BELOW. COORDINATE LOCATION W/ ELEVATIONS.
 - SLAB ON GRADE TO BE 4" STEEL REINFORCED CONCRETE SLAB OVER 6 MIL VAPOR BARRIER, OVER 4" WASH STONE WITH R-10 FROD INSULATION INSTALLED MINIMUM 2" AT FULL PERIMETER. HAND TROWEL FINISH AT GARAGE AND SLOPE 1/4" PER FOOT TO GARAGE DOOR.
- ROOF FINISH:**
 - SINGLES TO MATCH EXISTING HOUSE OVER #30 FELT OVER 3/4" ICE AND WATER-SHELD, FULL COVERAGE, OVER 3/4" EXTERIOR GRADE SHEATHING OVER WOOD FRAMING.
- CUTTERS & DOWNSPOUTS:**
 - MATCH EXISTING HOUSE FINISH AND STYLE. FINAL SIZE AND LOCATION BY CONTRACTOR TO MATCH EXISTING WATER AWAY FROM HOUSE.
 - FASCIA AND TRIM TO BE WOOD TO MATCH EXISTING HOUSE. PROVIDE METAL DRIP FLASHING @ EAVES & RAKES.
- GUARDRAILS & STAIR HANDRAIL:**
 - 3/4" TYP. MIN. ABOVE FINISHED FLOOR WHERE 1" SPINDLE CANNOT PASS THROUGH PICKETS PER CODE. 1 3/4" HANDRAIL TYPICAL. FINISH AND GENERAL CONFIGURATION TO BE COORDINATED BY CONTRACTOR WITH OWNER.
- INTERIOR WALLS/CEILING/FLOORS:**
 - 1/2" GYP. BOARD AT TYPICAL WALLS AND CEILING. ALLOWANCE FOR TILE AT BATHROOM FLOORS, SHOWER, AND 48" BATHROOM MANICOTT. CROWN BASE, AND CASINGS TO MATCH EXISTING. TYPICAL FLOORS TO BE WOOD OVER 3/4" ADHESIVE SUBFLOOR. FINAL FINISH SELECTIONS BY OWNER.

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 1916 EMORLAND BLVD,
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RELEASE: HZC REVIEW

REVISIONS

No.	Description	Date



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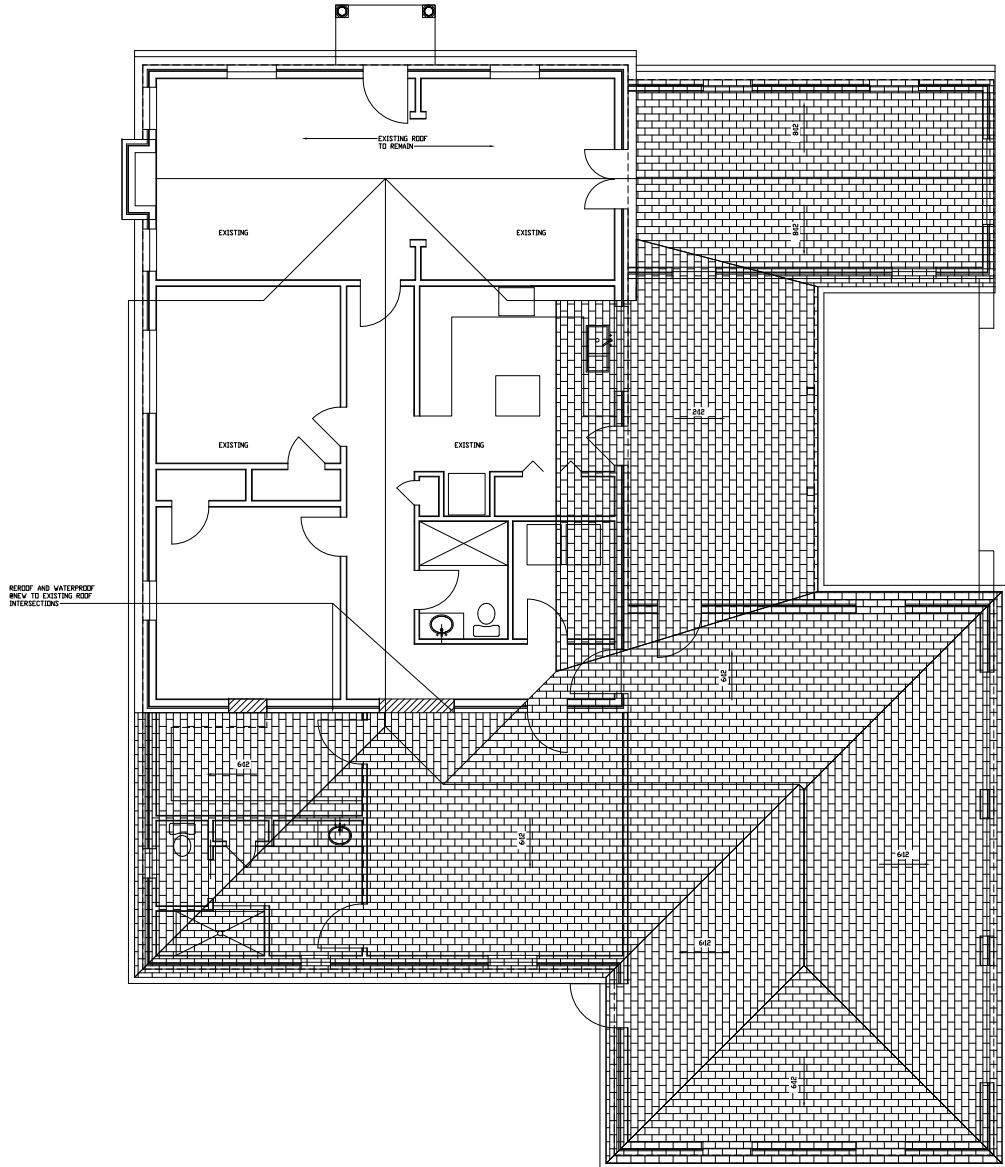
PROPOSED PLAN

A-101

1 PROPOSED PLAN (EXISTING 1,461 SF, NEW ADDITION EXCLUDING PATIO & GARAGE 900 SF, PATIO 538 SF, GARAGE 956 SF)
 A-101 SCALE: 1/4" = 1'-0"

ROOF PLAN GRAPHIC LEGEND:

 SHINGLE ROOF TO MATCH EXISTING HOUSE, SEE A-101
 FINISH NOTES FOR DETAILS



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**PROPOSED
 ROOF PLAN**

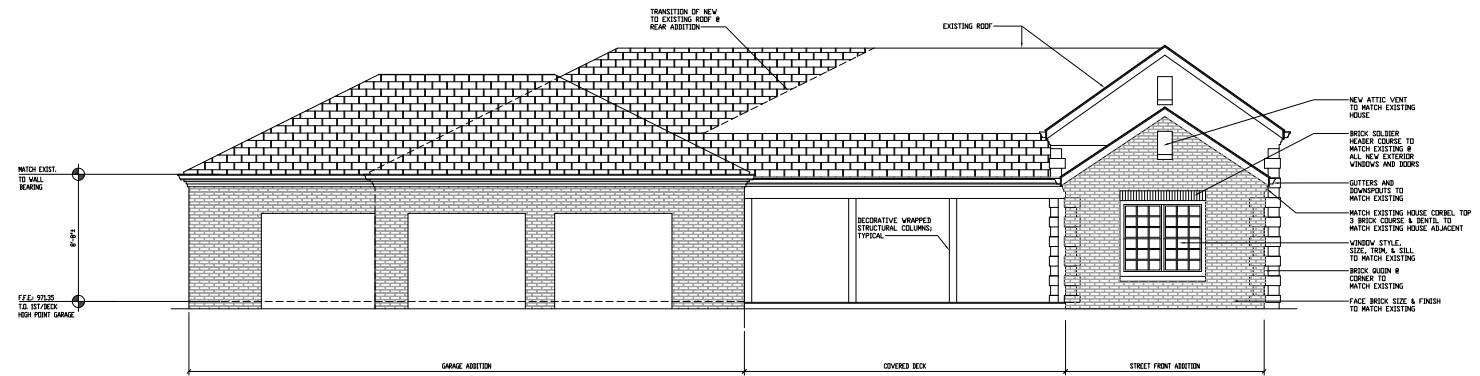
A-102

ELEVATION GRAPHIC LEGEND:

- PAINTED BRICK TO MATCH EXISTING HOUSE, VERIFY IN FIELD
- SHINGLE ROOF TO MATCH EXISTING HOUSE, SEE A-101 FINISH NOTES FOR DETAILS



1 FRONT ELEVATION
A-201 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
A-201 SCALE: 1/4" = 1'-0"

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HZC REVIEW

REVISIONS



No.	Description	Date

Project Number: 24016H
Date: 09/25/2024
Drawn By: JPG
Scale: AS NOTED

ELEVATIONS

A-201

ELEVATION GRAPHIC LEGEND:

-  PAINTED BRICK TO MATCH EXISTING HOUSE, VERIFY IN FIELD
-  SHINGLE ROOF TO MATCH EXISTING HOUSE, SEE A-101 FINISH NOTES FOR DETAILS

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 615.524.3880
 www.diahomes.com/realty/diahomes/



**A ADDITION FOR THE
 DAVIS RESIDENCE
 1916 EMORLAND BLVD,
 KNOXVILLE, TN**

**RELEASE:
 HZC REVIEW**

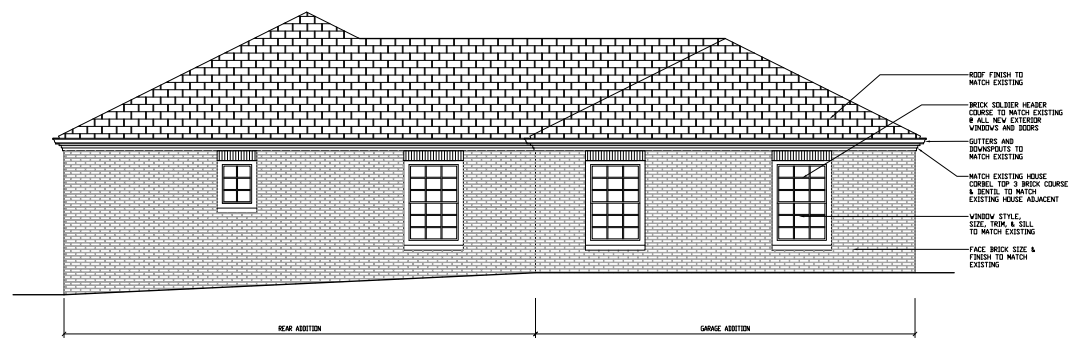
REVISIONS

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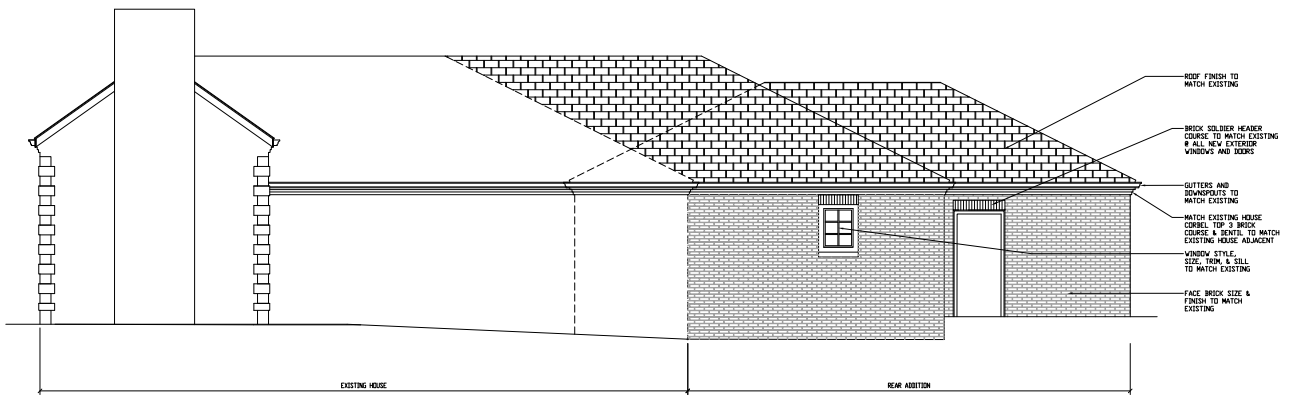
ELEVATIONS

A-202



- ROOF FINISH TO MATCH EXISTING
- BRICK SOLDIER HEADER COURSE TO MATCH EXISTING & ALL NEW EXTERIOR WINDOWS AND DOORS
- GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
- MATCH EXISTING HOUSE CORBEL TOP 3 BRICK COURSE & DENTIL TO MATCH EXISTING HOUSE ADJACENT
- WINDOW STYLE, SIZE, TRIM & SILL TO MATCH EXISTING
- FACE BRICK SIZE & FINISH TO MATCH EXISTING



1 SIDE ELEVATION
 A-202 SCALE: 1/4" = 1'-0"



- ROOF FINISH TO MATCH EXISTING
- BRICK SOLDIER HEADER COURSE TO MATCH EXISTING & ALL NEW EXTERIOR WINDOWS AND DOORS
- GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
- MATCH EXISTING HOUSE CORBEL TOP 3 BRICK COURSE & DENTIL TO MATCH EXISTING HOUSE ADJACENT
- WINDOW STYLE, SIZE, TRIM & SILL TO MATCH EXISTING
- FACE BRICK SIZE & FINISH TO MATCH EXISTING

2 REAR ELEVATION
 A-202 SCALE: 1/4" = 1'-0"

ELEVATION GRAPHIC LEGEND:

-  PAINTED BRICK TO MATCH EXISTING HOUSE, VERIFY IN FIELD
-  SHINGLE ROOF TO MATCH EXISTING HOUSE, SEE A-101 FINISH NOTES FOR DETAILS

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**RELEASE:
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REVISIONS

No.	Description	Date

Project Number: 24016H

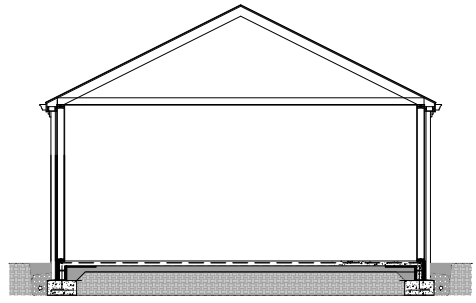
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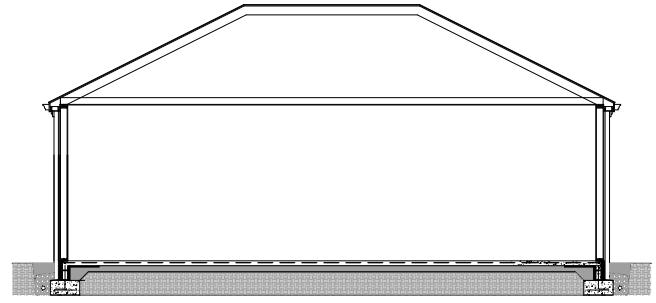
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SECTIONS

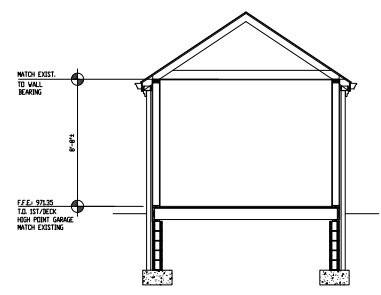
A-301



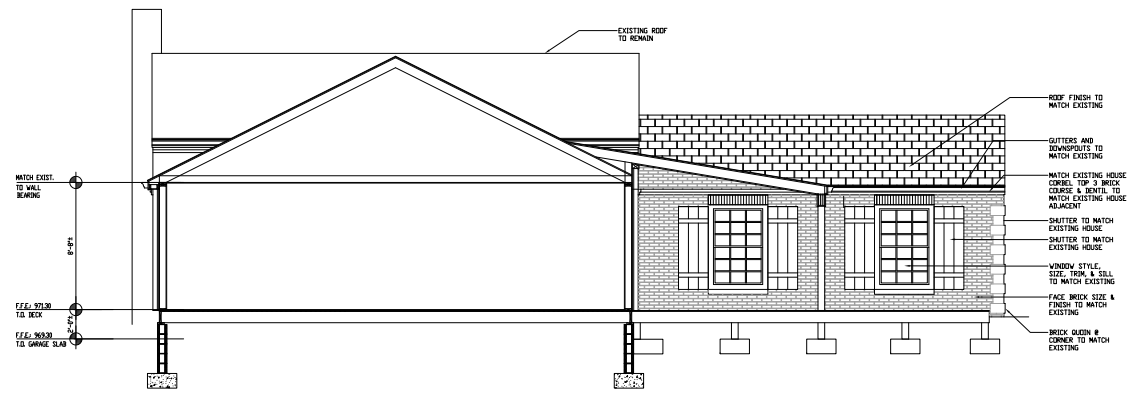
3 SECTION
 A-301 SCALE: 1/4" = 1'-0"



4 SECTION
 A-301 SCALE: 1/4" = 1'-0"



2 SECTION
 A-301 SCALE: 1/4" = 1'-0"



1 SECTION
 A-301 SCALE: 1/4" = 1'-0"