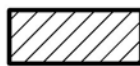




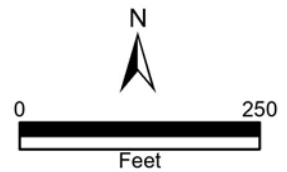
**10-D-24-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**830 Deery St. 37917**  
**Fourth and Gill H**

Original Print Date: 10/8/2024  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Sean Martin, Open Door Architecture





# Staff Report

Knoxville Historic Zoning Commission

File Number: 10-D-24-HZ

**Meeting:** 10/17/2024  
**Applicant:** Sean Martin, Open Door Architecture  
**Owner:** Megan and Brent Waugh

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## Property Information

**Location:** 830 Deery St. **Parcel ID** 94 D E 016  
**District:** Fourth and Gill H  
**Zoning:** RN-3 (General Residential Neighborhood)  
**Description:** Queen Anne, c.1890  
Two-story frame residence with a hipped roof with projecting gables and a two-story porch.

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## Description of Work

Level II Construction of Addition or Outbuilding

Enclosure of existing back porch. All work to take place within existing foundation and roofline. The new section will feature new 6 by 6 square columns with capitals and base trim, nine 3-light casement windows, and a wood knee board below the windows. New section will also feature a multi-light wood exterior door and new wood steps. The existing porch roof, fascia, and guttering will not be modified. Foundation will be enclosed with painted PVC skirt boards between the existing brick foundation piers, which will otherwise not be modified. A new water table trim with a sloped PVC drip cap will be installed above the existing foundation.

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## Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

Additions:

1. Locate attached exterior additions at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building. Proportion is very important.
  2. Design new additions in a manner that makes clear what is historic and what is new.
  3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district. Design for the new work may be contemporary or may reference design motifs from the historic buildings. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, size, texture, scale, relationship of solids to voids, and color.
  5. Rather than expanding the size of the historic building by constructing a new addition, try to alter interior spaces that do not define the character of the building to accommodate the new space needs.
  7. New work should not appear to be as old as the historic building. Do not duplicate the exact form, material, style, and detailing of the historic building in the new addition.
  8. New additions should not cause a lessening or loss of historic character, including the historic building's design, materials, workmanship, location, or setting.
- 

## Comments

## **Staff Findings**

1. 830 Deery Street is a contributing resource to the Fourth and Gill National Register Historic District and local overlay.
  2. The proposed porch enclosure will occur within an existing foundation and roofline on the rear of the house, and will not be visible from the right-of-way. Placement of the addition is appropriate.
  3. The proposed addition uses materials that are compatible with the original house, and it is sufficiently differentiated from the primary structure.
- 

## **Staff Recommendation**

Staff recommends approval of Certificate 10-D-24-HZ as submitted.



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Sean Martin

Applicant

9/27/2024

10/17/2024

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Sean Martin

Open Door Architecture

Name

Company

800 Luttrell Street

Knoxville

TN

37917

Address

City

State

Zip

865-386-8909

seam@opendoorarchitecture.com

Phone

Email

## CURRENT PROPERTY INFO

Megan & Brent Waugh

830 Deery Street

865-804-1288

Owner Name (if different from applicant)

Owner Address

Owner Phone

830 Deery Street

094DE016

Property Address

Parcel ID

Fourth & Gill

H-1 / RN-3

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*

Staff Signature

Please Print

Date

*Sean R. Martin*

Sean R. Martin

9/27/2024

Applicant Signature

Please Print

Date

# REQUEST

DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: enclose a small existing back porch into a new sunroom space. Existing porch roof and foundation will remain. Windows will be all wood casement windows. New door will be a 3/4 glass wood door. new 6x6 columns to receive simple capital and base trim as shown in the attached drawings.

INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

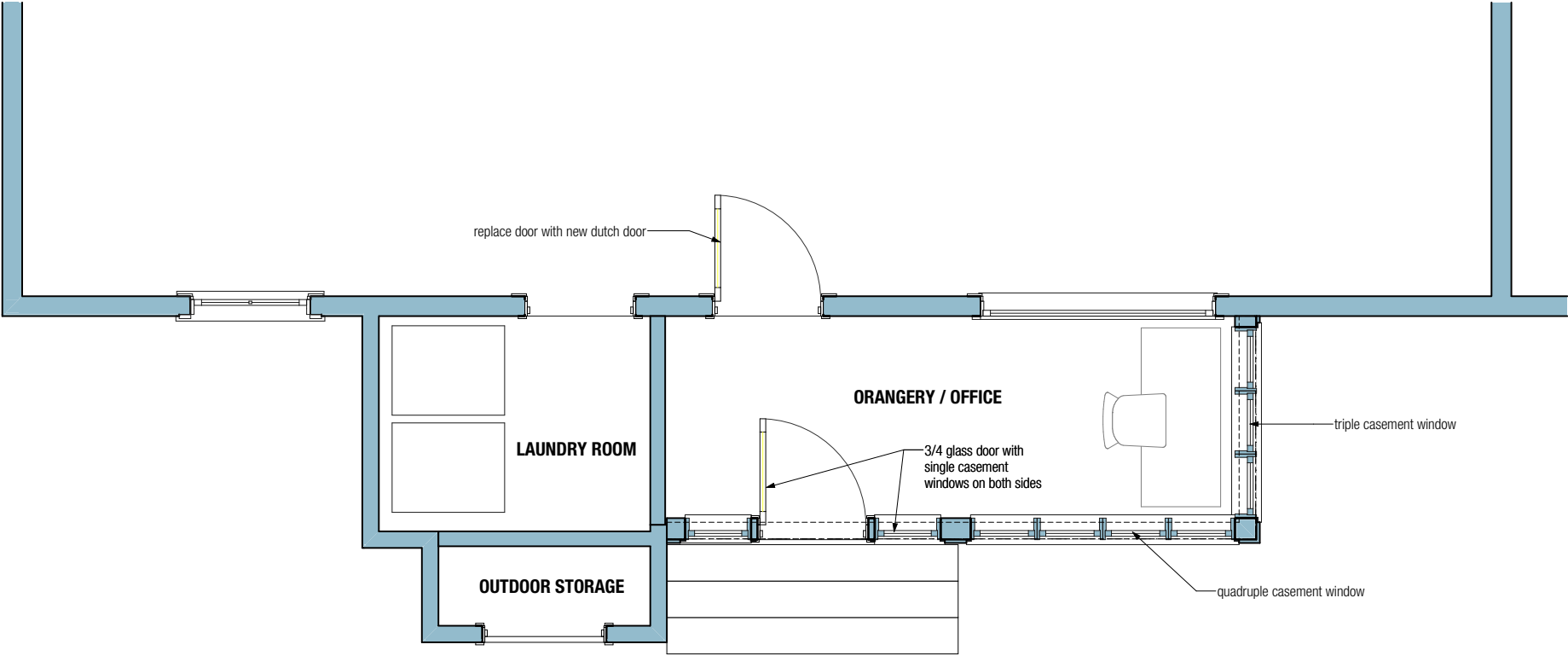
**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>		<b>TOTAL:</b>
<b>FEE 2:</b>		
<b>FEE 3:</b>		

**Waugh Residence**

Schematic Design  
September 27, 2024

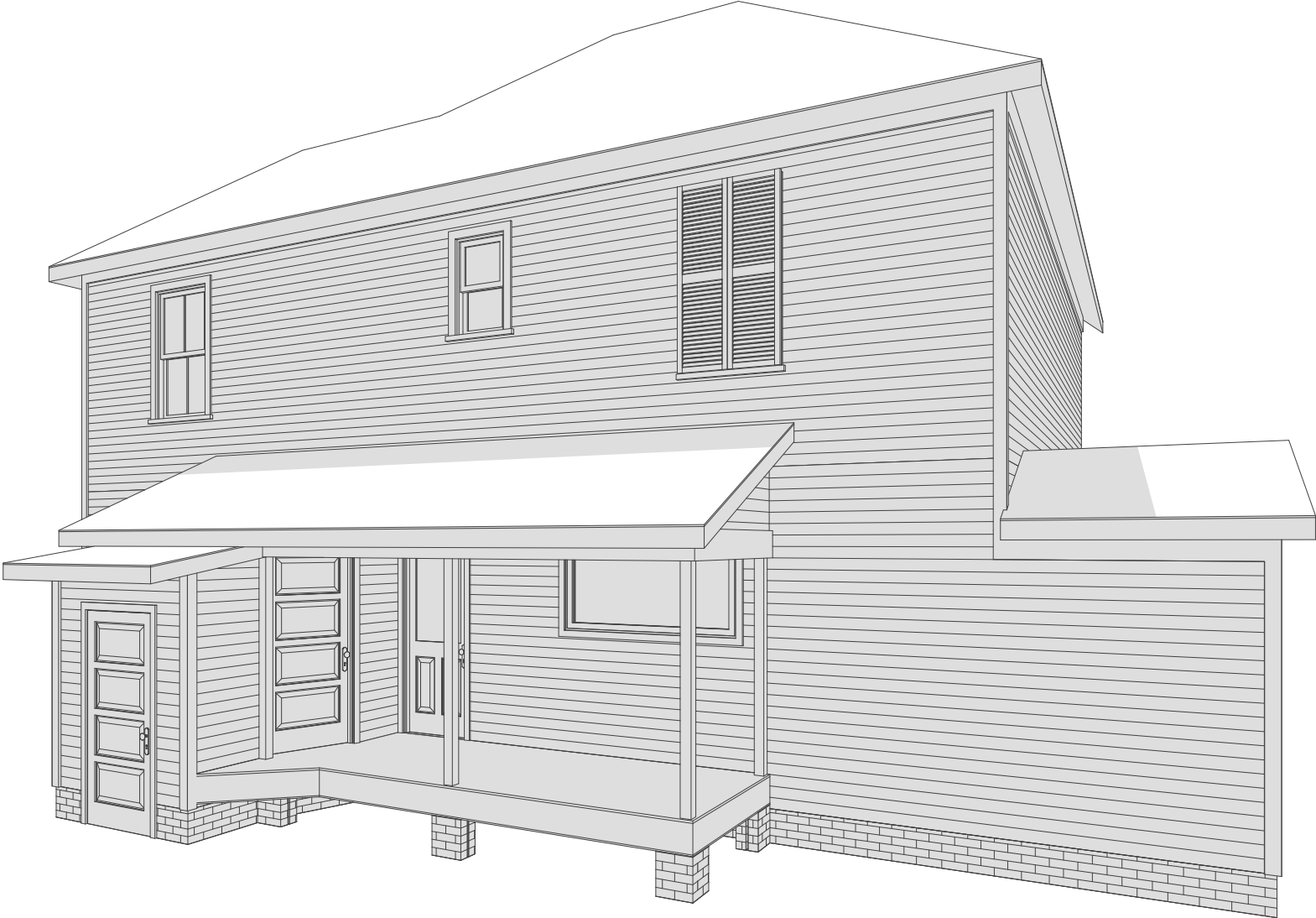
**schematic plan**



**Waugh Residence**

Schematic Design  
September 27, 2024

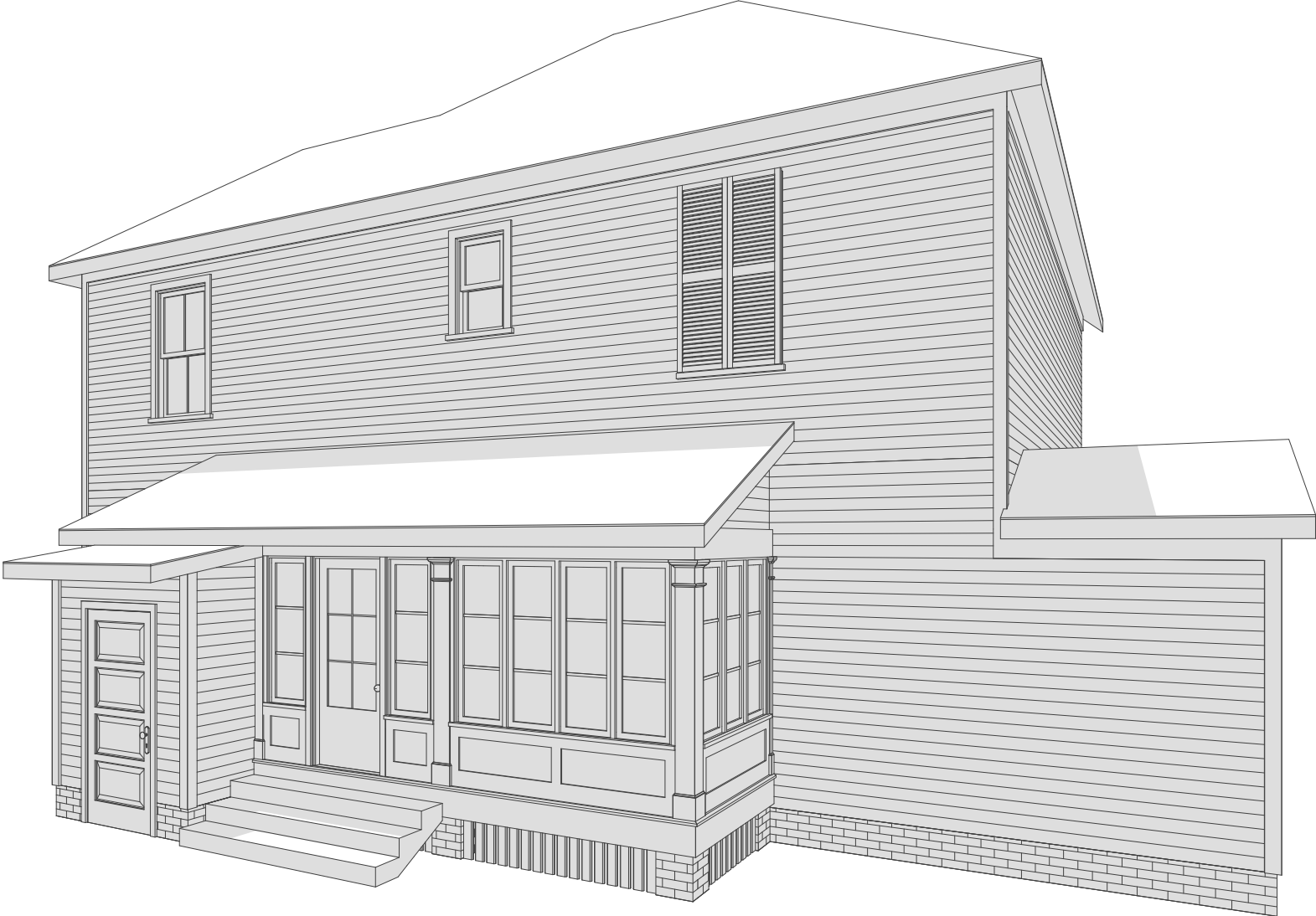
**exterior view - existing**



**Waugh Residence**

Schematic Design  
September 27, 2024

**exterior view - proposed**





**Waugh Residence**

Schematic Design  
September 27, 2024

**enlarged exterior elevation - proposed**

