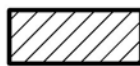




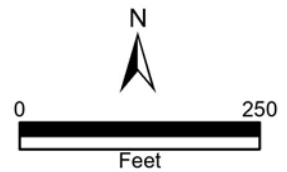
**5-H-24-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**129 E. Oklahoma Ave. 37917**  
**Old North Knoxville H**

Original Print Date: 5/6/2024  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: William Pearson





# Staff Report

Knoxville Historic Zoning Commission

File Number: 5-H-24-HZ

**Meeting:** 5/16/2024  
**Applicant:** William Pearson  
**Owner:** William Pearson

---

## Property Information

**Location:** 129 E. Oklahoma Ave. **Parcel ID** 81 N G 009  
**District:** Old North Knoxville H  
**Zoning:** RN-1 (Single-Family Residential Neighborhood)  
**Description:** Queen Anne, c.1895

Two-story frame residence with a hipped roof with paired front-gable dormers projecting to the front elevation. Two-story, three-quarter width front porch with round wood columns.

---

## Description of Work

Level II Major Repair or Replacement

Proposed removal of brick masonry chimney on rear (northwest) roof slope. Two brick masonry chimneys on front roof slope will receive masonry repairs and custom caps. The scope of work also includes repair to the existing roof where the chimney will be removed.

---

## Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

Roofs

3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, bargeboards, and other unique roof features).

Masonry

4. Identify and preserve masonry features that define the historic character of the building, including walls, railings, foundations, chimneys, columns and piers, cornice and door and window pediments.

---

## Comments

N/A

---

## Staff Findings

- 129 E. Oklahoma Ave is a contributing resource to the Old North Knoxville National Register Historic District and local historic overlay.
  - Demolition of original or historic chimneys is evaluated on a case-by-case basis, depending on the condition of the chimneys, their location and design, and visibility from the primary street.
-

3. The proposed chimney to be removed is a secondary chimney, smaller in size than the primary chimneys on the front roof slope, and located on the rear roof slope. The chimney is minimally visible from the right-of-way on Oklahoma Ave.

4. The two chimneys on the primary roof slope will be retained, and will receive masonry repair, repointing, waterproofing, and new chimney caps.

---

## **Staff Recommendation**

Staff recommends approval of Certificate 5-H-24-HZ as submitted.



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

William Pearson

Applicant

04/16/2024

May 16, 2024

5-H-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect


William Pearson

Name	Company		
129 E Oklahoma Ave	Knoxville	TN	37917
Address	City	State	Zip
865-809-8792	wtpearson@gmail.com		
Phone	Email		

## CURRENT PROPERTY INFO

William Pearson	129 E Oklahoma Ave	865-809-8792
Owner Name (if different from applicant)	Owner Address	Owner Phone
129 E Oklahoma Ave	081NG009	
Property Address	Parcel ID	
Old North Knoxville	RN-2 / H1	
Neighborhood	Zoning	

## AUTHORIZATION

	Lindsay Crockett	4.17.24
Staff Signature	Please Print	Date
	Will Pearson	04/16/2024
Applicant Signature	Please Print	Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

- Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

- Brief description of work: Removal of old deteriorated chimney below the roofline to remediate water intrusion. The chimney will be disassembled to a level below the roofline and the roof will be sealed and repaired with matching shingles. The two primary fireplace chimneys will remain in place and receive masonry repairs and custom metal caps installed. See attached documents for additional details.

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

- Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

**FEE 1:**

100

**FEE 2:**

**FEE 3:**

**TOTAL:**

100

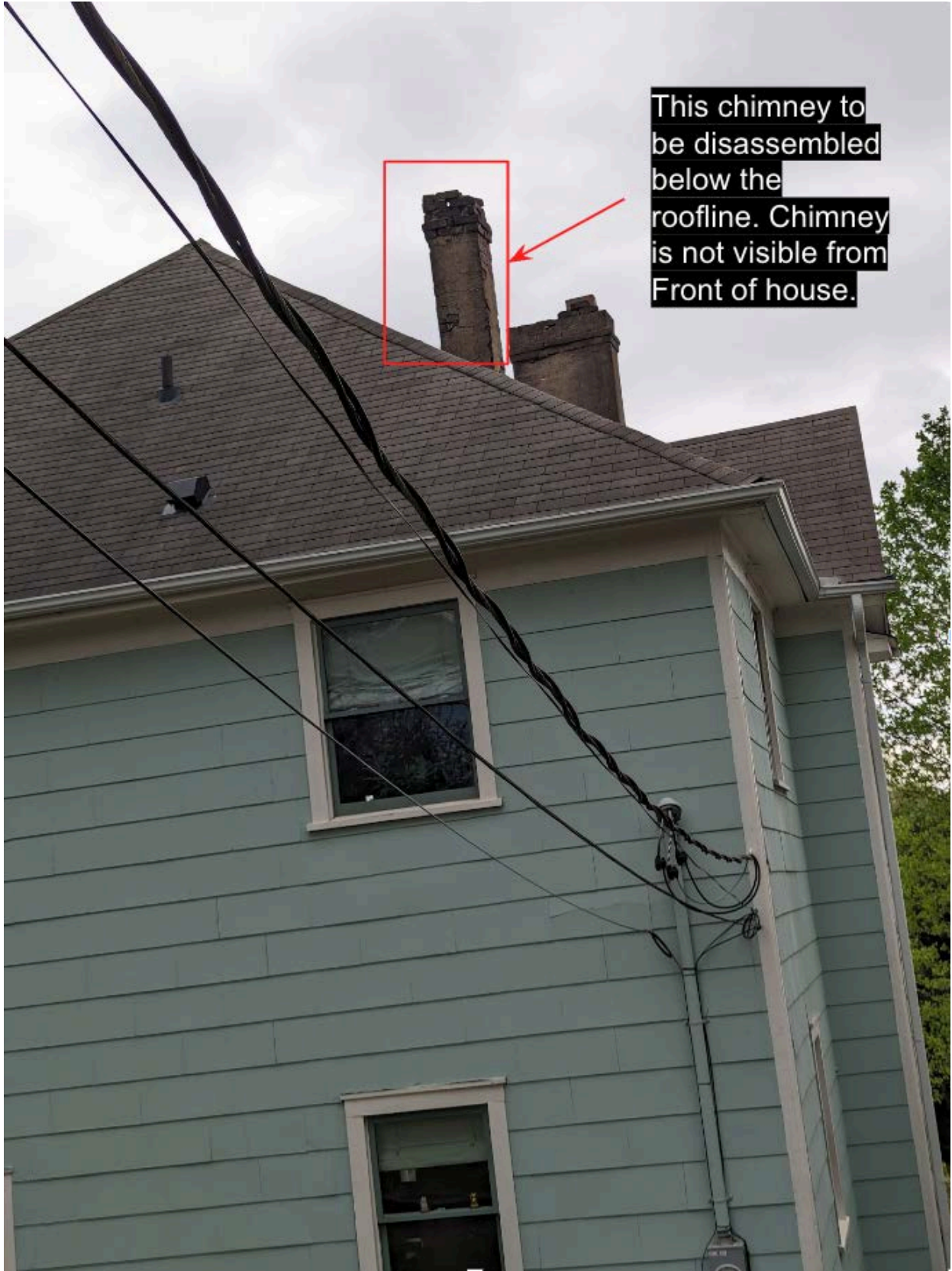
Hello, my name is Will Pearson and I reside at 129 E Oklahoma Ave. We are having some water intrusion issues with one of our chimneys, which is badly deteriorated. I had Ashbusters Chimney Service come out for an inspection and their recommendation is removal of the damaged chimney below the roofline.

The chimney in question is an old wood stove or furnace chimney that is not visible from the street. Our house has two additional large chimneys that we would like to repair (but not remove). The damaged chimney will be disassembled to a level below and the roof and capped with masonry cement. The roof hole will be repaired with new plywood sheathing, water shield, and new matching shingles.

The two primary fireplace chimneys will receive a full exterior masonry restoration. This includes repair to any parts of damaged masonry on the chimneys, by tuck pointing them, repouring or repairing the concrete at the top, applying a heavy duty waterproofing material to the masonry to help keep water from absorbing above the roofline, and then installing full coverage caps on the chimneys to protect the chimneys.



Two primary  
fireplace chimneys  
will receive Masonry  
repair and Custom  
caps



This chimney to be disassembled below the roofline. Chimney is not visible from Front of house.