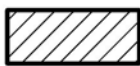




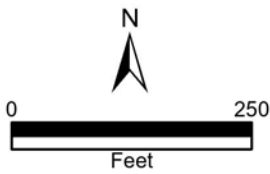
**3-E-24-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



217 E. Scott Ave. 37917  
Old North Knoxville H

Original Print Date: 3/8/2024  
Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Lauren Bush Open Door Architecture



**Meeting:** 3/21/2024  
**Applicant:** Lauren Bush - Open Door Architecture  
**Owner:** Khalid and Jennifer Hattar

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## Property Information

**Location:** 217 E. Scott Ave. **Parcel ID** 81 K F 034  
**District:** Old North Knoxville H  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**Description:** Modified Queen Anne, c.1910

Two-story frame residence with a side-gable roof clad in asphalt shingles, an exterior of vinyl siding, and a brick foundation. Enclosed porch extends the full length of the façade. Multiple secondary entries.

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## Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement

Major exterior rehabilitation and new secondary structure.

Selective demolition on the existing house:

- Remove upper-level addition; remove front porch enclosure; repair to the front porch foundation (or reconstruction, using as much existing brick as possible); repair to front stairs.
- Removal of shed roof addition on left side/rear.; remove left side stair window; removal of non-historic side porches.
- Removal of rear addition (measuring approximately 11'-6" deep).

Restoration scopes:

- Roofline: reconstruction of centered, two-story, front-gable massing on facade, based on footprint on Sanborn map. Reconstruction of original cross-gable roofline; intersecting gable projecting towards rear to remain. New asphalt shingles on all roof slopes.
- New wrap-around front porch, based on footprint on Sanborn map. The proposed porch will be two stories, featuring composite tongue-and-groove porch flooring (Aeratis Heritage or similar), painted wood balustrades with spindles set into top and bottom rails, new painted wood fluted columns, new upper-level newel posts to match design of lower-level columns. The porch overhang will feature rafter tails. New skirtboard above brick foundation under porch.
- Rear elevation: where non-historic shed-roof addition is removed, a new shed-roof, two-story screened-in back porch is proposed for the rear right corner of the house. The porch will feature painted, fluted wood columns, a painted wood balustrade on the second story, and new composite tongue-and-groove flooring.
- Siding: new wood lap siding, cornerboards, and trim, to match original exposure visible on sections of existing house. New decorative wood shingles proposed for front roof gable.
- Windows: at least 8 existing original windows proposed to be restored to working condition; other non-historic

windows proposed to be replaced with new wood double-hung windows with profiles and trim to match original pattern (or simple trim pattern comparable to similar houses in neighborhood).  
One new decorative stair window proposed on the left elevation's second story.  
- Additional: new gutters, new louvered vent on rear elevation roof gable, new stepped masonry side walls on the existing front steps, with a simple cast iron handrail.

Secondary structure (garage and accessory dwelling unit):

New secondary structure, to be located at the rear right (north) corner of the property, in the location of the historic garage based on the Sanborn map. The secondary structure will measure approximately 716 sq. ft. The building is 1.5-stories tall, with a front-gable roof dormer projecting toward the west elevation, a shed dormer projecting to the east. Carriage-style garage doors will be located on the north elevation (fronting the alley), with secondary entries on the south and west elevations. The roof will be clad in asphalt shingles, with a future rooftop solar array proposed for the west elevation, and the building will be clad in smooth-finished fiber cement lap siding with trim and cornerboards to reflect house. Windows are proposed as paintable fiberglass double-hung windows.

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## Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

### A. Roofs

1. The shape of replacement roofs or roofs on new construction shall imitate the shapes of roofs on neighboring existing houses or other houses of the same architectural style.
2. The eaves on additions or new buildings shall have an overhang that mimics existing buildings near the property. A minimum eave overhang of at least eight inches must be retained or used on new buildings or additions to existing buildings.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, bargeboards, and other unique roof features).
4. Materials used in roofing existing buildings or new construction shall duplicate the roofing materials originally found in the neighborhood. Asphalt or fiberglass shingles can be appropriate, as are wood, slate, standing seam metal, or metal shingle or tile roof coverings. The color of roofing materials should be a dark green, charcoal gray, black, or dark reddish brown to simulate the original roof colors.
6. Roofs that are visible from streets shall retain their original shapes. Do not introduce roof elements such as dormers to a roof shape that is original.
7. Gutters shall be half-round if they are replacing half-round gutters; newly installed gutters may be half-round with round downspouts if they are installed on Victorian-era buildings.

### B. Windows

1. Original windows shall be reused if possible. It will be much less expensive and much better historically to retain the original windows, and it is inappropriate to replace them with new windows that differ in size, material, and pane division.
2. If replacement windows are necessary, they shall be the same overall size as the originals, with the same pane division and the same muntin depth, width, and profile. They shall be the same materials as the original windows, which were generally wood.
3. True divided lights shall be used in replacement window sashes with more than one pane.
5. It can be appropriate to design and install additional windows on the rear or another secondary elevation. The design must be compatible with the overall design of the building.
7. Storm windows can be allowed as a way to increase the energy savings of a historic house. Interior storms should be considered. Exterior storms can be appropriate, if they are designed so their meeting rail duplicates that of the original window, and if they are wood or color clad metal, matching the building's trim. Exterior windows shall not be used unless they do not damage or obscure the original window and frames.

### C. Porches

1. Historic porches on houses in Old North Knoxville should be repaired, or may replicate the original porch if documentation of its size and design can be discovered.
2. Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood posts and/or columns and sawn and turned wood trim when appropriate.

### D. Entrances

4. A replacement entrance shall not create a false appearance. A new entrance or porch must be compatible in size, scale, and material.
6. Service (rear) entrances may not be altered to make them appear to be formal entrances by adding paneled doors, fanlights, transoms or sidelights.
7. Secondary entrances must be compatible with the original in size, scale, and materials, but clearly secondary in importance.

### Wood

3. Replacement siding must duplicate the original. Trim and patterned shingles that must be replaced must also duplicate the original material.
5. Wooden features shall be repaired by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or compatible substitute materials, when elements remain and can be copied.
6. Wood features that are important in defining the overall historic character of the building shall not be removed.
7. Replace only deteriorated wood. Reconstructed in order to achieve a uniform or "improved," "new" appearance is inappropriate because of the loss of good historic materials.
8. An entire wooden feature that is too deteriorated to repair or is completely missing shall be replaced in-kind. If features are replaced, the materials they are made from shall be compatible with the original in size, scale, and material. Replacement parts should be based on historical, pictorial, and physical documentation.

### Masonry

7. Match replacement mortar to the original mortar in color, composition, profile, and depth. If necessary, analyze the original mortar to determine the proportions of lime, sand, and cement. A scrub technique shall not be used to repoint. The width or joint profile shall not be changed unless the change will return the joint to its original appearance. Sound mortar should not be removed.

### Additions

1. Locate exterior additions at the rear of or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building, and using appropriate proportions.
2. Design new additions so that it is clear what is historic and what is new.
3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district. Additions shall be distinguishable from the historic building, but shall be compatible in terms of mass, materials, size, texture, and scale. Additions shall be designed so they can be removed without destroying the form of the historic building.
4. New additions should not be visible from streets.
6. Do not cause a loss of historic character through a new addition.

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## Comments

N/A

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## Staff Findings

1. 217 E. Scott Ave is listed as a contributing resource the ONK local historic overlay, with a designation dating to 1981, and to the ONK National Register Historic District, with a determination made in 1992. The original form of

the house is obscured by multiple additions to the front, side, and rear elevations. The house also features multiple secondary entrances to provide access to interior apartments, an exterior of vinyl siding, non-historic replacement windows, and an enclosed front porch which would not meet adopted design guidelines. The City of Knoxville proposed to demolish the house in 2022 which was ultimately denied by the HZC. The house was sold to the current owners, who are proposing a major exterior rehabilitation which retains as much of the historic fabric as possible.

2. No historic photographs of the house have been located. The application draws from the house's physical evidence and a Sanborn Fire Insurance Map of the footprint for the proposed work.
3. Several of the non-historic additions, porch enclosures, and entrances are extremely deteriorated. Removal of the non-historic porch enclosures, additions, siding materials, and windows as proposed is appropriate. Removing these elements will assist in identifying original elements of the house to continue to guide the rehabilitation.
4. Overall, the building footprint as proposed will reflect that depicted on the 1917 Sanborn Fire Insurance Map.
5. Reconstruction of the roofline as proposed is appropriate, as it draws from physical evidence on the existing house and the footprint depicted on the Sanborn map. The restored roofline will eliminate the non-historic additions and create a more consistent cross-gable roofline, with a pitch matching what is visible from the original, and reflects roof pitches similar to comparable existing houses on the block. The proposal includes eave overhangs, fascia and continuous frieze boards, and louvered vents compatible with the style. New asphalt shingles meet the design guidelines.
6. The proposed front porch reflects the footprint as visible on the Sanborn map, and meets the guidelines of "replicating the original porch if documentation of its size [...] can be discovered". Both stories of the porch incorporate design elements recommended within the guidelines (tongue-and-groove floors, balustrades with spindles set into top and bottom rails, wood columns). The proposed composite tongue-and-groove porch flooring material has been approved by the HZC as a replacement material in Old North Knoxville. The Commission should discuss the second-story porch element; there is no historic evidence of a second-story porch on the house, and the level of decoration/detail on the proposed porches.
7. Replacing the non-historic shed-roof addition on the rear elevation with a shed-roof, two-story, screened-in porch is compatible with the footprint and design details of overall house and will not be visible from the right-of-way.
8. The proposed wood lap siding in a 4" exposure, trim, and cornerboards draw from the limited sections of visible original wood siding and meet the design guidelines. The Commission should discuss the proposed shingles in the front gable, which lack historic evidence but are visible in similar houses in the neighborhood.
9. Overall, the proposed window repair and replacement meets the design guidelines. The final specifications for windows, including the decorative stair window, should be provided to staff for approval.
10. Additional repair elements like repair and reconstruction of the porch foundation, the installation of new half-ground gutters and downspouts, etc are appropriate.
11. The secondary structure/garage and ADU meets the design guidelines for new accessory structures. Placement of the building at the rear of the property, minimally visible from the right-of-way, is appropriate. Final site plan for the ADU, and any related driveway, should meet the City zoning and Engineering standards.
12. The secondary structure is compatible in design with the primary house. Smooth-finished fiber cement lap siding and painted fiberglass windows have been approved for new secondary structures in ONK. The proposed solar panels are on a less visible roof slope.

## Staff Recommendation

The Commission should discuss the proposed second-story porch, the level of detail for the porch columns and balustrade, and the proposed shingles on the front gable.

Pending approval of, or any additional conditions related to those elements, staff recommends approval of Certificate 3-E-24-HZ, subject to the following conditions: 1) final window selections to be provided to staff for approval; 2) final site plan, including ADU and new driveway, should meet the City Zoning Code and City Engineering standards; minor revisions may be approved by staff.



(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices or email it to [applications@knoxplanning.org](mailto:applications@knoxplanning.org).

Reset Form



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☐ INFILL HOUSING (IH)

Lauren Bush		
Applicant		
March 4, 2024	March 21, 2024	3-E-24-HZ
Date Filed	Meeting Date (if applicable)	File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.


- ☐ Owner
- ☐ Contractor
- ☐ Engineer
- ☒ Architect/Landscape Architect

Lauren Bush		Open Door Architecture	
Name		Company	
800 Luttrell Street	Knoxville	TN	37917
Address	City	State	Zip
423-653-7817	lauren@opendoorarchitecture.com		
Phone	Email		

CURRENT PROPERTY INFO

Khalid & Jennifer Hattar	217 E Scott Ave.	626-274-7874
Owner Name (if different from applicant)	Owner Address	Owner Phone
217 E Scott Ave.	081KF034	
Property Address	Parcel ID	
Old North Knoxville	H / RN-2	
Neighborhood	Zoning	

AUTHORIZATION

	Lindsay Crockett	3.4.24
Staff Signature	Please Print	Date
	Lauren Bush	March 4, 2024
Applicant Signature	Please Print	Date

REQUEST

DOWNTOWN DESIGN

Level 1:

☐ Signs    ☐ Alteration of an existing building/structure

Level 2:

☐ Addition to an existing building/structure

Level 3:

☐ Construction of new building/structure    ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HISTORIC ZONING

Level 1:

☐ Signs    ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

☒ Major repair, removal, or replacement of architectural elements or materials    ☐ Additions and accessory structures

Level 3:

☐ Construction of a new primary building

Level 4:

☐ Relocation of a contributing structure    ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☒ Brief description of work: The project is a whole-house renovation plus primary suite addition and deck additions (front & back) aa well as a garage ADU accessory structure.  
The scope includes, repair and restoration of original windows & doors, new windows to satisfy bedroom egress requirements and to replace missing front porch windows,  
repair or in-kind replacement of original siding where damaged or replaced, new gutters, masonry repair, new porch columns and newell posts, and roof repair.

INFILL HOUSING

Level 1:

☐ Driveways, parking pads, access point, garages or similar facilities    ☐ Subdivisions

Level 2:

☐ Additions visible from the primary street    ☐ Changes to porches visible from the primary street

Level 3:

☐ New primary structure  
☐ Site built    ☐ Modular    ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STAFF USE ONLY

ATTACHMENTS

☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	TOTAL:  100.00
100.00	
FEE 2:	
FEE 3:	

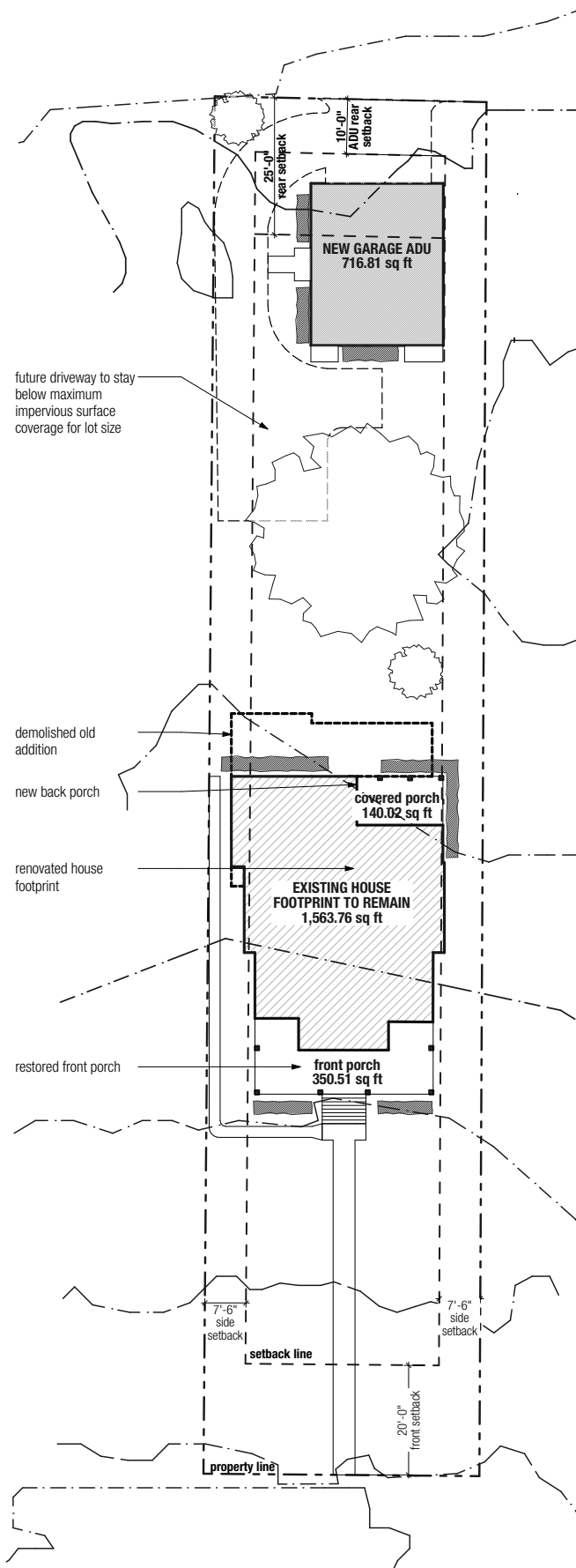


# Hattar Residence - 217 E Scott Avenue

Historic Zoning Submittal  
March 4, 2024

## SITE PLAN

1" = 20'



### LOT COVERAGE:

LOT SIZE = 12,600 SF

EXISTING HOUSE, COVERED PORCH, & SHED = 2610 SF

EXISTING DRIVEWAY & SIDEWALK = 438 SF

EXISTING BUILDING COVERAGE = 20.7%

EXISTING IMPERVIOUS SURFACE = 24.2%

PROPOSED ADDITION = 2054.29 SF + 716.81 SF = 2771 SF

PROPOSED BUILDING COVERAGE = 22%

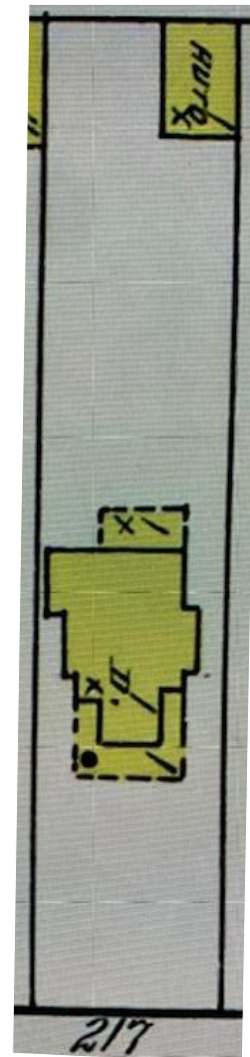
PROPOSED IMPERVIOUS SURFACE = 38% (not to exceed 40% max coverage)

MAX ACCESSORY FOOTPRINT: 750 sf or building footprint whichever is less.

PROPOSED ACCESSORY STRUCTURE FOOTPRINT: 717 SF

MAX ADU SQUARE FOOTAGE: 1000 SF or 40% or primary dwelling floor area (626sf max for proposed footprint without covered porches)

PROPOSED ADU SQUARE FOOTAGE: 600 SF



sanborn map

## Hattar Residence - 217 E Scott Avenue

Historic Zoning Submittal

March 4, 2024

## Existing Conditions



Remove upper level addition, there is evidence on the chimney and sanborn maps that a centered gable was located above the lower level footprint. A new primary suite addition will be located in its approximate location/pitch while accommodating the height needs of the program.

Remove old porch enclosure addition. A new wrap around front porch will be built in the old footprint.

The masonry foundation wall under the former porch is failing, the wall is to be reconstructed/repared to be structurally sound using existing brick as much as possible. Front stair to be repaired as well.

Replace aluminum basement windows with wood casement windows; reduce height by 1' to raise off of grade.

Remove shed roof addition to restore symmetry to gable

Remove old addition (approx. 11'6" deep) with modified shed roof from the back of the house to return to the suspected original house footprint. We think the old windows in this part of the house were part of old additions to the home and not part of the original home. They also do not meet egress requirements.

Remove high stair window, replace with decorative window at stair landing once restored on interior.

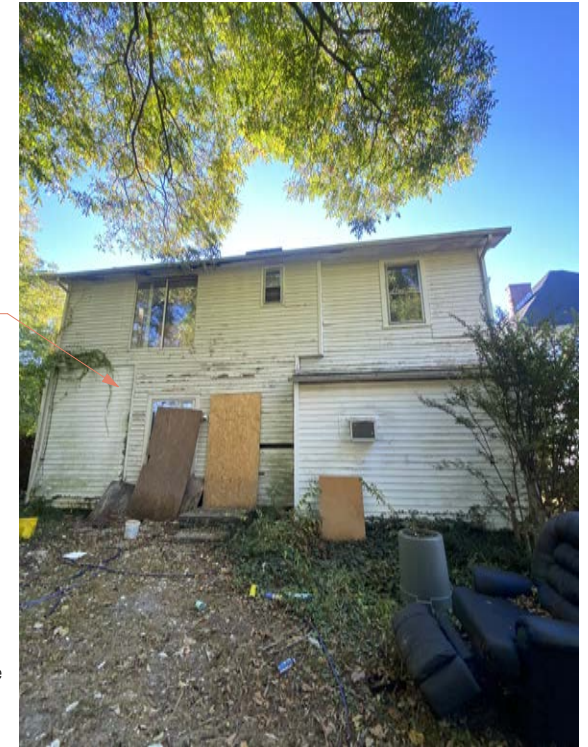
Remove tacked on side porches



Remove old addition (approx. 11'6" deep) with modified shed roof from the back of the house to return to the suspected original house footprint. We think the old windows in this part of the house were part of old additions to the home and not part of the original home. They also do not meet egress requirements.

Remove upper level addition, there is evidence on the chimney and sanborn maps that a centered gable was located above the lower level footprint. A new primary suite addition will be located in its approximate location/pitch while accommodating the height needs of the program.

Remove old porch enclosure addition. A new wrap around front porch will be built in the old footprint.



## Hattar Residence - 217 E Scott Avenue

Historic Zoning Submittal

March 4, 2024

## Front Elevation

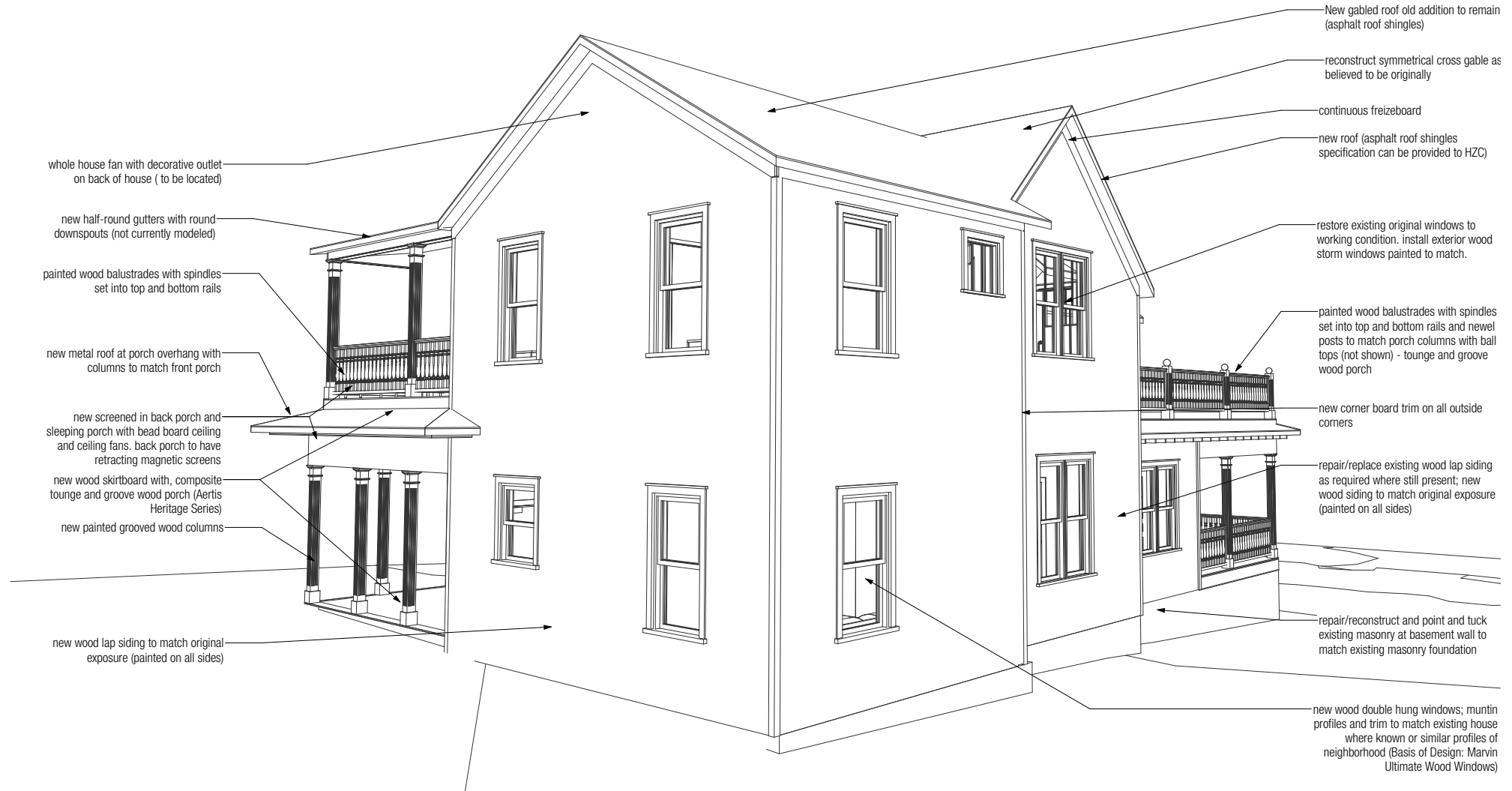


## Hattar Residence - 217 E Scott Avenue

Historic Zoning Submittal

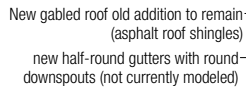
March 4, 2024

## Back Elevation





Historic Zoning Submittal  
March 4, 2024



- alternate stair window: restore existing window to working condition with exterior wood storms and casing to match the rest of the house

—new decorative stair window to ease the tightness of the window on the old addition (final design to be submitted to HZC for approval))

- new roof (asphalt roof shingles specification can be provided to HZC)

—painted wood balustrades with spindles  
set into top and bottom rails and newel  
posts to match porch columns with ball  
tops (not shown) - tounge and groove  
wood porch

new corner board trim on all-  
outside corners

repair/replace existing wood lap siding  
as required where still present; new  
wood siding to match original exposure  
(painted on all sides)

new wood double hung windows; muntin-profiles and trim to match existing house where known or similar profiles of neighborhood (Basis of Design: Marvin Ultimate Wood Windows)

- restore existing original wood door to working condition.

Historic Zoning Submittal  
March 4, 2024



# Hattar Residence - 217 E Scott Avenue

Historic Zoning Submittal  
March 4, 2024

## GARAGE ADU ELEVATIONS

1/4" = 1'-0"



south elevation



north elevation

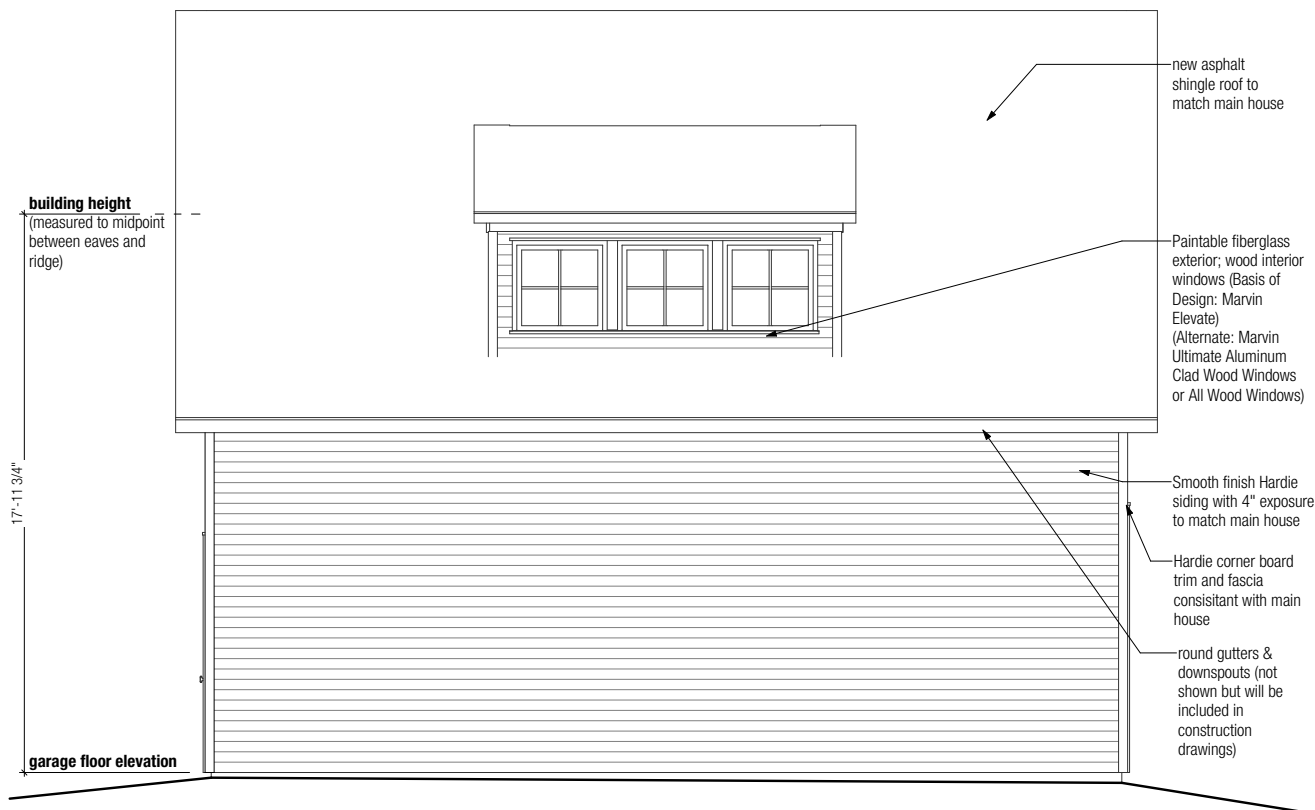


# Hattar Residence - 217 E Scott Avenue

Historic Zoning Submittal  
March 4, 2024

## GARAGE ADU ELEVATIONS

1/4" = 1'-0"



### east elevation



### west elevation