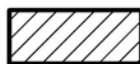




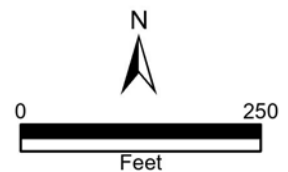
3-D-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



150 Major Reynolds Place 37919
Knollwood Individual H Landmark

Original Print Date: 3/8/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Brian Pittman Johnson Architecture Inc.



Meeting: 3/21/2024
Applicant: Brian Pittman - Johnson Architecture Inc.
Owner: Knollwood Historic Preservation LLC

Property Information

Location: 150 Major Reynolds Place **Parcel ID** 121 A A 02807
District: Knollwood Individual H Landmark
Zoning: C-G (General Commercial)
Description: Neoclassical, c.1851 with modifications dating to 1890s and 1920s
See attached designation report and design guidelines for architectural description of house.

Description of Work

Level II Major Repair or Replacement

Overall exterior rehabilitation project approved in June 2022 (COA attached); this application includes revisions to the previously approved design.

Front door replacement: removal of c.1919 door, sidelights, and transom (previously proposed to be retained and repaired). Installation of new wood door featuring a slightly larger two-thirds light with leaded glass and two small vertical panels beneath. Installation of new sidelights, with the window panes increased in length to reflect the provided historic photo. New single-light transom with leaded glass.

East door: on the right side of the east elevation, a new secondary door was approved in place of a window opening in June 2022, featuring a single-light door flanked by sidelights and a transom to match the existing c.1919 front door and details (shown on lower drawing in application). The new application proposes to recess the door slightly, to accommodate code-required lighting, and surround the door with a scaled-down version of the molding existing on the front door. The sidelights and transom are proposed to reflect the front door as well.

Dormers: the HZC approved two new dormers on the front roof slope in June 2022. The application requests to reduce them in size and proportion, approximately 12" smaller in height and width than initially proposed, and clad in lap siding instead of the initially-proposed slate shingles.

The application also notes that the previously approved "maintenance mezzanine" (ie the rooftop deck and railing) will not be installed, and the carriage house will not be constructed.

Applicable Design Guidelines

Secretary of the Interior's Standards for Rehabilitating Historic Buildings.
See attached design guideline document for Knollwood Individual H Landmark.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive

materials, features, spaces and spatial relationships.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Comments

N/A

Staff Findings

1. Knollwood is an individual historic (H) landmark overlay and listed on the National Register of Historic Places. Knollwood was constructed in 1851, with a porte-cochere addition dating to the late 1880s, a two-story rear addition dating to the early 1900s, and a two-story front porch constructed in approximately 1919. The design guidelines note that the additions “have effectively dated the appearance of Knollwood to some 40 years after its original construction,” and “these additions should be preserved as contributing to the significance of the building.”

2. The front door, transom, sidelights, and leaded glass date to the c.1919 period of restoration and contribute to the overall significance of the building. SOI Standards note that “changes to a property that have acquired historic significance in their own right” should be retained and preserved. The door is operable and able to be repaired, and should be retained.

3. The overall design of the east elevation door was already approved by the HZC. The new application is responding to building codes requirements and recessing the door, using a basic surround similar to the front door instead of the decorative lintel shown on the previous application. The simple square sidelights and transom as proposed are appropriate.

4. The front dormers were proposed at the June 2022 HZC meeting. The staff recommendation was to deny the front dormers, as adding new details on a primary roof slope with no historic precedent detracted from the historic form of the building. After extensive discussion, the Commission approved the front dormers. The front dormers were initially proposed to match the (original) side dormers in size and design. The smaller-sized dormers have already been partially framed out, as contractors in the field noted they could not expand in width due to existing roof framing. The most visible elements of the two different sizes will be the different roof peak height, and the different eave heights, between the front and side dormers. As it would also be inappropriate to reduce the historic side dormers to match the smaller ones on the front, there is little solution beyond removing the front dormers entirely, which would contradict the Commission’s approval in June 2022. Cladding the new dormers in siding to

match the house is appropriate.

Staff Recommendation

Staff recommends approval of the east elevation door modifications and after-the-fact approval of the front dormer modifications; staff recommends denial of the front door replacement and preservation of the c.1919 door, transom, and sidelights.



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☐ HISTORIC ZONING (H)
☐ INFILL HOUSING (IH)

Knollwood Historic Preservation LLC

Applicant		3-D-24-HZ
3/4/2024	3/21/2024	
Date Filed	Meeting Date (if applicable)	File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Brian Pittman	Johnson Architecture Inc.
Name	Company
2018 Davenport Road	Knoxville, TN 37920
Address	City State Zip
865-671-9060	bpittman@jainc.com
Phone	Email

CURRENT PROPERTY INFO

Knollwood Historic Preservation LLC	150 Major Reynolds Place	865-686-2661
Owner Name (if different from applicant)	Owner Address	Owner Phone
150 Major Reynolds Place	28.07	
Property Address	Parcel ID	
Knollwood Historic Park / Bearden	H1 C-G-1	
Neighborhood	Zoning	

AUTHORIZATION

	Lindsay Crockett	3.4.24
Staff Signature	Please Print	Date
		
Applicant Signature	Please Print	Date
		March 4, 2024

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☒ Brief description of work: This application is to address updates to the 6-B-22-HZ applicaiton and COA. Updates to the domers, front door assembly, and side door assembly.

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:

Brief description of work:

We propose an articulate, thoughtful, & thorough restoration/renovation of a pre-Civil War house into a private companies office headquarters while sharing the more public spaces, including an expanded-cohesive new landscaped site, with community members and organizations. Structural remediation, maintenance savvy yet respectful details & finishes, new mechanical/electrical/plumbing/ fire protection updates-will all be engaged in returning it back to it's original glory while simultaneously maintaining safer, more versatile modern expectations of day to day usage while conserving its overall historical integrity.

Summary Narratives:

Item 1: Front Door (South)

In the 6-B-22-HZ COA the front door assembly is noted to be restored. With ongoing framing review of the condition of the door we are proposing to replace the front door leaf, transoms, and side lights with a design more in keeping with an older era of the building. We propose this door assembly to remain the s it is built now, in dimensions, proportions, & materiality but remove the later added leaded glass transoms and shorter, leaded glass sidelights will be removed in lieu of simply matching the glazing here to that of the wavy glass being restored currently in all window applications. We wish to drop the sidelight sills enough to allow both sidelights to host a sash window as seen in historic imagery. The glazed opening on the door leaf shall receive the same wavy glass but also will drop its sill to align with that of the sidelights to match the dimensions depicted in the attached photo from the 1888 to 1902 era. All glass in the stained oak replacement assembly will be made with the matching historic replica glass used in all the window restoration for continuity. The surrounding trim shall be maintained.

Refer to page 4, 5, 6 of this packet.

Item 2: Back Door (East)

The new rear east facing entrance, previously approved in the 6-B-22-HZ COA, will mimic the front door assembly with transom, sidelights and a one light door slab maintaining a historic continuity between both main door systems. This new door assembly on the side of the house and its surrounding trim shall stand proud of the masonry face of the house same as the front door assembly but will be reduced in scale slightly (20%) to more appropriately conform with our original historic door assembly and parts.

Refer to page 7 of this packet.

Item 3: Dormers

The two proposed front/south facing dormers need to be reduced in size and proportions to accommodate existing conditions at the roof edge. As a result, the new dormers will not be able to match the exact size as the side/east and west facing dormers. To stay historically accurate the side/east and west facing dormers will maintain their original historic dimensions. All dormers shall match in design, trim profiles/sizing, materiality, and distance off the edge of the roofline, but the front/south facing dormers finished opening will be smaller in size by 12" in height and width. The finished openings of the original side/east and west facing dormers will be 46" high by 45" wide and the finish opening of the front dormers shall be 34" high by 33" wide.

Additionally, it is noted that the sides of the dormers have been historically clad in slate to match the roof slate. We are requesting to clad the sides of all the dormers, old and new, in wood lap siding matching siding consistency overall in all vertical siding applications on the structure.

Refer to page 8 of this packet.

Removals:

Removal 1: Maintenance Mezzanine

The complexities required for the additional live-load structural demands of adding the desired mezzanine design proved to be more difficult and vastly more cost-prohibitive than expected. As a result, the maintenance mezzanine was omitted in its entirety leaving the very top of the house roof to look no different than how it has appeared in all our lifetimes and is already noted on the site plans submitted in the most recent plan submission to the city.

Removal 2: Carriage House

Due to the amount of excessive grading required to construct previously approved Carriage House we have also decided to maintain both gate houses but reduce the Carriage House to a covered open-air mechanical and refuse enclosure, omitting all conditioned/occupied spaces from the carriage house proper. This is already noted on the site plans submitted in the most recent plan submission.



ORIGINAL 1851 CONSTRUCTION WITH 1919 PORCH



CURRENT - SOUTH ELEVATION: KINGSTON PIKE (POST 1919)



← MAINTAIN EXISTING PAINTED "SURROUND" AND STAINED ASSEMBLY REPLACING DOOR LEAF, SIDELIGHTS, AND TRANSOM WITH NEW STAINED QUARTERSAWN OAK (BOTH SIDES).

ITEM 1 FRONT DOOR

1) EXISTING CONDITIONS



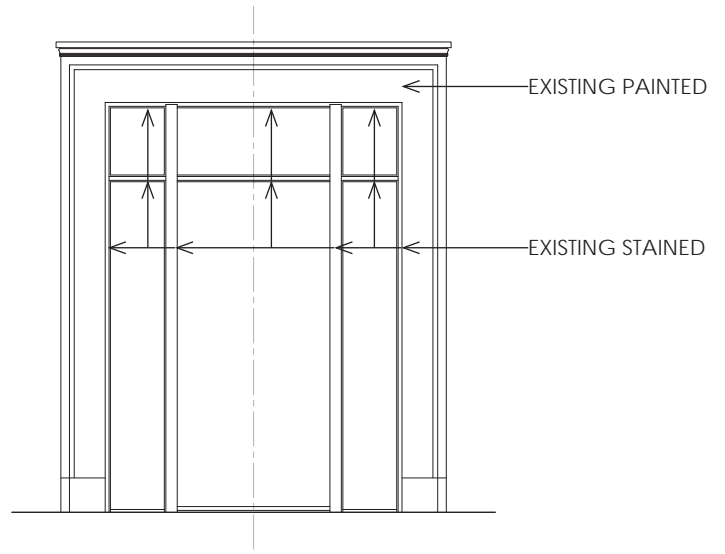
2) EXISTING EVERYTHING -
OMIT LEADED GLASS IN LIEU OF WAVY GLASS
MATCHING SUM OF THE HOUSES RESTORED 2/2 WINDOW
SASHES THROUGHOUT



3) PROPOSED -
MAINTAIN PAINTED MOLDING AND STAINED ASSEMBLY,
SWAPING LEADED GLASS FOR WAVY, WITH DOOR
LEAF, SIDELIGHTS, AND TRANSOMS TO BE REPLACED
IN STAINED QUARTEDSAWN OAK. DROP THE SIDELIGHT
AND DOOR WINDOW "SILLS" SO THEY WILL ALIGN
WITH HISTORIC PHOTO. PANELIZATION TO MATCH ALL
INTERIOR ORIGINAL DOOR PANELIZATION



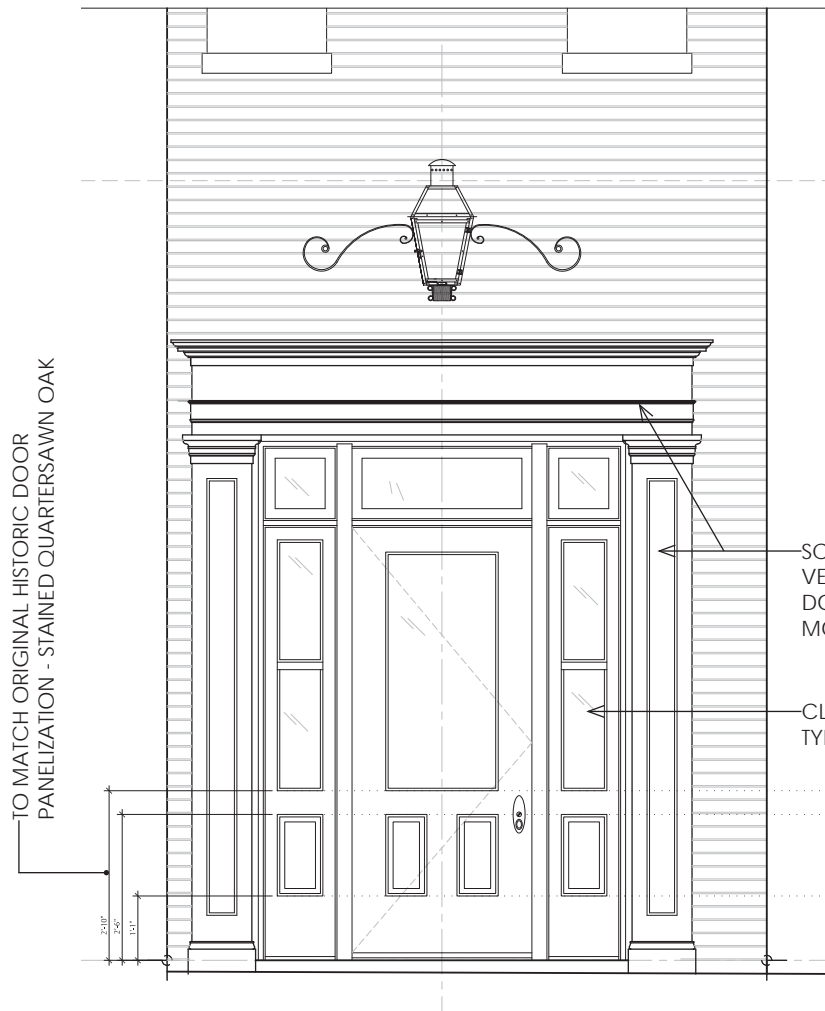
4) EXISTING MOLDING AND ASSEMBLY CALLOUTS



ITEM 1 FRONT DOOR



ITEM 1 FRONT DOOR: EXISTING EXTERIOR CONDITIONS



EXISTING SIDE WALL TO RECIEVE NEW DOOR



EXISTING FRONT DOOR

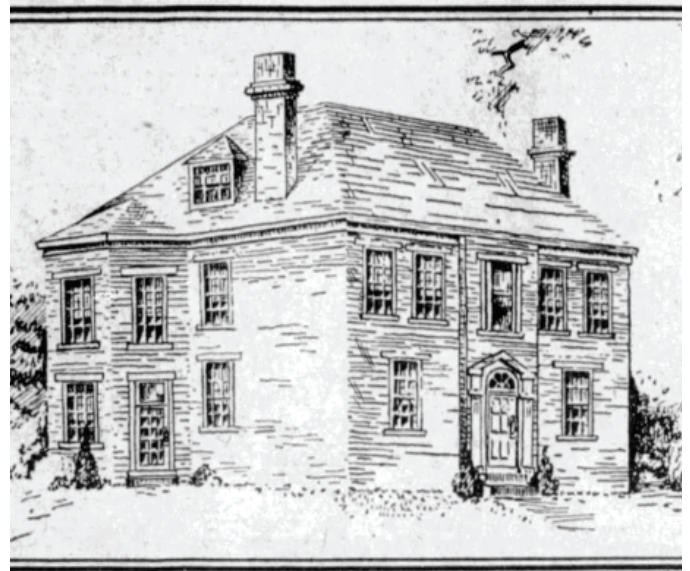


ITEM 2 BACK DOOR

SCALE: 1" = 20'



ITEM 3 DORMERS



HISTORIC PHOTOS FOR REFERENCE



Johnson Architecture Inc. 865.671.9060

2018 Davenport Road, Knoxville, Tennessee 37920

DESIGN GUIDELINES

Introduction

Knollwood, at 6411 Kingston Pike, is a historic house on a 13.8 acre site that has been maintained as a residence since its construction. The historic house and its site are listed on the National Register of Historic Places. A developer who intends to convert the site to commercial and office uses has optioned the property. Citizen interest in saving the house has been very strong. West Knoxville neighborhood associations, elected officials, Knoxville Heritage, the East Tennessee Historical Society and the Civil War Roundtable and many private citizens have all indicated a concern that the house be protected. This has encouraged the developer to seek a local historic zoning designation (H-1 overlay) which will guide development on the site and place restrictions on the eventual rehabilitation or reuse of the house itself. If the setting, which is a part of the National Register listing, is significantly altered, the property could be decertified and removed from the National Register. This could preclude the application of preservation tax incentives to assist in reusing the house.

These guidelines, which accompany and are a part of the designation, are intended to accomplish two things: 1) to allow a sensitive development of the site, providing space for commercial buildings, while preserving Knollwood and a suggestion of its environment; and, 2) to protect Knollwood itself, so that the exterior of the house will exhibit the architecture which has led to its National Register listing and which reflects the history of the eras in which it was built and later modified.

The site where Knollwood is located slopes steeply upward away from Kingston Pike. This slope, particularly in front of the house, has formed the prominent position of the house as viewed from Kingston Pike, and has allowed users of the historic house unparalleled views to the south and west. Views into the site are currently restricted to approximately forty percent of the frontage on Kingston Pike. This viewshed should be preserved by allowing open views of the house from Kingston Pike to continue. Those unobstructed views should total forty percent of the street frontage, but may be split into separate view corridors as provided in these design guidelines.

The architectural appearance of Knollwood is that of a late 19th century brick estate home. Even though the core of the house was constructed in 1851, the late 19th century addition of a porte cochere on the west elevation and a sun room on the east, as well as the two story front porch, have effectively dated the appearance of Knollwood to some 40 years after its original construction. These additions should be preserved as contributing to the significance of the building.

Guidelines

Maintain the appearance and materials of Knollwood, the historic house on the property:

- Any future alterations to the exterior of Knollwood shall be made in conformance with the Secretary of Interior's *Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*.

Maintain the prominence of the historic building on the site.

- Buildings in the commercial area to the sides of the site must be designed with articulated bays. The intent of including these articulations is to reduce the apparent size of the new construction on site.
- The design of new buildings constructed on site must be sympathetic in materials and construction to Knollwood.
- If new construction is carried out behind Knollwood, it shall frame the house and provide background texture for it. Any new construction to the rear should be accompanied by tree plantings that shall further screen the buildings into the background.
- Parking shall be terraced behind berms and landscaping so that the appearance of the slope in front of Knollwood and leading to it from Kingston Pike is retained. The intent is to utilize the berms and landscaping to carry a ribbon of green with minimal visual interruption to the historic house.
- New buildings or parking at the edges of the site must be partially screened with trees that will reach a mature height of 30 to 40 feet planted on 40 foot centers, and must be at least 8 feet high at installation. Consideration should be given to preserving existing mature trees.
- The visual connection between Knollwood and Kingston Pike shall be preserved. Approximately forty percent of the 900' frontage on Kingston Pike is now unobscured and provides an open view of a grassy slope leading to Knollwood. Future development shall be clustered to preserve forty percent of the Kingston Pike frontage as open, landscaped space, so that open areas continue from Knollwood to Kingston Pike at the property's edge. There may be no more than four open corridors leading from Kingston Pike to Knollwood; one of those should be a landscaped "boulevard" forming the central focus for viewing Knollwood, and providing access to development on the site. None of the vistas formed from Knollwood to Kingston Pike can be less than 80-100 feet in width, measured at the Kingston Pike edge of the property. Some of the vistas may be used as locations for parking to serve new buildings constructed on site. The combined width of the primary boulevard's pavement and landscaping shall be at least 80 feet without the inclusion of parking; if parking areas are to be provided off that boulevard, they should be provided outside the 80 foot dimension.

- A "yard" or open grassy area shall be preserved in front of Knollwood. This yard should have a minimum depth of 50 feet. The view corridors or vistas noted above shall connect visually the "yard" or open grassy area to be preserved in front of Knollwood.
- As much as possible, new buildings constructed in front of Knollwood should be located near the sides of the parcel, to preserve the open character of the site in front of Knollwood.
- All new buildings at the front of the lot shall screen roof-mounted equipment from the view of Kingston Pike traffic by using parapets or screens.

New signage and lighting should respect the historic character of Knollwood and its site.

- Signage will be a necessary part of site development for Knollwood. Signs should be divided into four categories: 1) directional/identification signs appearing within the development; 2) a directory or information sign which fronts on Kingston Pike and directs users into the site; 3) Wall signs or banners on building walls; and 4) awnings or marquees that also contain signs.
 - Directional/identification signs within the development may be permitted within required setbacks. The directional/identification signs may be no more than 3 feet high and may contain no more than nine square feet per tenant. If, in the alternative, identification for several tenants is combined on one directional/informational sign, the sign may not exceed a maximum of fifteen square feet and be no more than three feet high.
 - There may be one identification or directory sign for the development, located at the entrance on Kingston Pike, which should not be more than 8 feet wide and 14 feet high.
 - A wall sign or banner may be allowed for each building wall or articulated wall plane that faces into the site. It may not exceed a vertical height of 5 feet or a maximum area of 40 square feet. Buildings fronting on Kingston Pike may display an additional internally lit wall sign for each building that faces Kingston Pike, not to exceed a vertical height of 5 feet or a maximum area of 40 square feet.
 - Awnings or marquees can also contain signs, provided the signed area falls within the 40 square foot. maximum allowed for wall signs or each building or articulated wall plane.
- All signs must conform with the provisions contained in the *Zoning Ordinance for Knoxville, Tennessee* and must be approved by Knoxville Engineering Department.
- New lighting standards on the site shall not exceed 22' in height.

A landscaped setting shall be maintained for Knollwood and its site.

- An attempt shall be made to preserve mature trees located on the site.
- Trees must frame Knollwood and be used as a backdrop, as well as partially screening views of new construction to the rear of Knollwood. A partial screen shall be planted with trees that will reach a mature height of 30 to 40 feet planted on 40 foot centers, and must be at least 8 feet high at installation.
- Views of new construction on Kingston Pike must be partially screened by trees and landscaping so that they do not interfere with the prominence of Knollwood.



Certificate of Appropriateness

Knoxville Historic Zoning Commission

File Number: 6-B-22-HZ

A Certificate of Appropriateness is hereby granted for the following property by the Knoxville Historic Zoning Commission:

Property Address: 150 Major Reynolds Place
Parcel ID: 121 A A 02807
District: Knollwood Individual H Landmark
Owner: Knollwood Historic Preservation, LLC
Applicant: Brian Pittman Johnson Architecture, Inc

Level of Work: Level II

Construction of Addition or Outbuilding, Major Repair or Replacement

Work Items:

Accessory Structure, Architectural Feature, Doors, Guttering, Masonry Repair or Painting, Parking Lot or Driveway Paving, Porch Elements, Roofing, Shutters, Siding, Storm Windows or Doors, Windows

Description of Work:

Comprehensive exterior rehabilitation, new secondary structure, and modifications to site design.

Repair scopes include:

- Repair and restoration of existing double-hung, one-over-one windows. Window repair to meet Secretary of the Interiors Standards for window repair. Installation of new pre-finished aluminum storm windows, custom built to fit existing openings, with meeting rails to align with meeting rails of existing windows.
- Repair to existing wood lintels, sills, and decorative medallions, including replacement in-kind to those elements which are deteriorated.
- Removal of non-original wood louvered shutters on the façade (south elevation) and installation of new shutters. See application packet for materials and design of shutters and shutter dogs; applicant proposes custom-made, smooth-finished, V-groove panel shutters with a decorative cut-out (applicant notes the cut-out is optional) made of Boral composite material, featuring simple shutter dogs appropriate for era of house.
- Removal of asphalt shingle roof and installation of new slate roof with copper flashing, new copper half-round gutters, and downspouts. Due to weight of slate roofing materials, roof repair will also require reconstruction of the roof with a structural steel frame. Original roofline will be maintained.
- Repair to existing dentiled wood cornice.
- Repair and repointing to any compromised mortar joints. Masonry restoration will also include removal of salmon-colored paint/stain on exterior brick through dry ice blasting.
- Repair to wood front door, transom, and sidelights.
- Repair as needed to front porch columns. Column work also includes raising the column torus (decorative raised base) to add 2" to existing concrete base, to accommodate new Tennessee marble terrace.
- Brick chimneys to be repointed or rebuilt from the roofline up, pending conditions assessment. Salvageable original brick will be saved and reused to reconstruct the chimneys. The reconstructed chimneys will reuse the first line of existing corbelling and add three courses of simple brick corbels to the top.
- New copper chimney flue caps (see two options in page 9 of application packet - louvered, flat copper chimney caps or half-barrel chimney caps).

New elements on primary structure include:

- Installation of one new window on first story, right (east) elevation, towards rear. New window will be vertically and horizontally aligned with existing windows, and feature a design, materials, and dimensions to match the existing (including wood lintel and sill).
- Installation of new entry on right side (east) elevation (currently a window). Half-light door will feature a header aligned with the adjacent sunroom headers, a transom, and sidelights.
- Reconstruction/opening of east (right side) sunroom. Sunroom was originally an open air porch and enclosed with wood single-light windows and lap siding. Concrete plank flooring, round wood columns, and roof joists are deteriorating and declared unstable by a structural engineer. Porch will be reconstructed with matching footprint and new roofline, roof details, columns, and balustrade to match the existing.
- Modification to sunroom on right side (east) and rear (north) elevation. Sunroom was enclosed with glass storefronts and wood lap siding; non-historic glass and wall enclosures will be replaced with paired French doors alternating with sidelights and transom windows. Original posts, decorative brackets, and roofline will be retained and repaired.
- Installation of new balustrade on flat-roof section of primary roofline. "Maintenance mezzanine" will be created with Trex decking and a simple 48" tall black iron railing.
- Two new dormers on the façade roof slope. Dormers would flank the front portico and match the existing c.1851 dormers on the east and west roof slopes in design, window proportions, and materials.
- North (rear) second-story balcony to receive a new exterior door, with new balustrade to match existing original balusters elsewhere on the house. New Trex decking on balcony.
- Replacement of rotted wood louvered vent on west elevation dormer with a copper louvered vent to match existing in dimensions, placement, and design.
- Replacement of low-slope TPO roof on north sunporch with a copper roof.
- New exterior light fixtures (see specifications in application packet).

New secondary structure (carriage house):

- New carriage house to be located in the northeast corner of the property. Carriage house will feature a primary hipped-roof massing, with two smaller hipped-roof massings projecting to the sides. Carriage house will be clad in a brick complimentary to main house, featuring one-over-one windows and trim details compatible with the primary house. Carriage house project also features a security gate for vehicular entrance and small hipped-roof gatehouse structure.

Site work includes: new landscaping and garden areas, new Tennessee marble steps accessing the porte cochere area, and a new Tennessee pink marble terrace on the façade elevation. New ramps for accessibility. New masonry "grotto" structure near east site stairs, integrated with existing and new hardscaping. See landscape drawing (sheet 1) for new site design, parking area, and landscaping elements.

CONDITIONS APPROVAL PER 6.21.22 HZC MEETING:

- 1) All brick masonry repair and paint removal to meet standards of NPS Preservation Brief 2;
- 2) Meeting all relevant standards of the City zoning code for off-street parking and landscaping;
- 3) Final site plan to meet City Engineering standards, with minor revisions to be approved by staff
- 4) and providing final details on carriage house windows and doors to staff for approval.

Action: Approved with Conditions

Certified By: Lindsay Crockett

Date Certified: 6/23/2022

COA Expiration Date (3 years): 6/22/2025

This Certificate Is Not A Building Permit

To obtain a building permit, drawings stamped as approved by the Historic Zoning Commission (HZC) staff must be submitted along with this Certificate of Appropriateness to the City of Knoxville Plans Review and Inspections Department or the Knox County Codes Administration Department, as appropriate. Any deviation from the drawings and written conditions approved by the HZC will require subsequent review and approval by the HZC or its staff.

Contact the appropriate building inspections office for permit requirements:

City of Knoxville Development Services: 865-215-2992 or 865-215-2991

Knox County Building Codes Administration: 865-215-2325