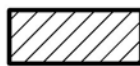




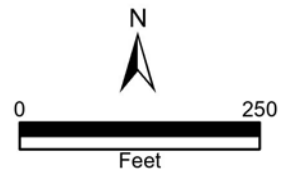
6-I-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



916 Luttrell St. 37917
Fourth and Gill H

Original Print Date: 6/5/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: CPM Partners LLC





Staff Report

Knoxville Historic Zoning Commission

File Number: 6-I-24-HZ

Meeting: 6/20/2024
Applicant: CPM Partners LLC
Owner: CPM Partners LLC

Property Information

Location: 916 Luttrell St. **Parcel ID** 81 M L 017
District: Fourth and Gill H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Colonial Revival, c.1925

Two-story, hipped-roof residence with an exterior clad in brick veneer and a two-story, front-gable roof porch supported by brick-clad columns.

Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation to two-story, shed-roof massing on the rear elevation. The existing shed-roof section included a small upper-story porch, enclosed by a vinyl-sided railing and supported by square wood posts, with a small projecting shed roof with exposed rafter tails below, and an enclosed porch section on the first story which projects out over a basement access on the primary house massing. The first story is enclosed with vinyl siding and features four windows on the rear elevation. A fire escape extends from the first story to the ground level.

The applicant has removed the vinyl siding, removed the porch roofing and fascia, removed a section of the roofline between the first and second story, and enclosed some windows. The upper level was reconstructed to create additional interior space on the right side, and create a 4/12 pitch shed roof between the upper and first stories, at a height slightly higher than the existing shed roof. On the first story, two windows will be removed and enclosed with siding.

Scope of work also includes removal of rear roof cladding, removal existing wood fascia and soffit and replacement with vinyl soffits, and the installation of new fiber cement siding. The applicant also proposes to reconstruct the railing on the façade second-story porch, restoring the railing to measure 36" tall.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Porches

1. Repair porches on historic houses using wood floors, balustrades, porches and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.

Roofs

1. The shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style. Replacement roofs should copy the shape and pitch

of original roofs, and the soffit, fascia, and trim detail between roof and wall should mimic the original.

4. Materials used in roofing existing buildings or new construction should duplicate the original roofing materials if possible. Asphalt or fiberglass shingles can be appropriate, as are slate, standing seam metal, or metal shingle roof coverings.

Windows

1. Vinyl and aluminum replacement windows should not be used.

3. If replacement windows are necessary, they should be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width, and profile. False muntins or grids should not be used.

Comments

N/A

Staff Findings

1. 916 Luttrell Street is a contributing resource to the Fourth & Gill National Register Historic District and local overlay.

2. Design review is after-the-fact; the work was initiated without HZC review or permits but has not been completed.

3. The multi-story porch/fire escape access/interior space on the rear elevation is not entirely an original element of the house. However, a two-story rear massing with a one-story porch and an exterior stair is visible on the 1950 Sanborn Fire Insurance map. The rear elevation is highly modified and the original configuration is not evident from any visual evidence.

4. As the second-story addition is on the rear and a highly modified elevation of the house, enclosing an additional section of the second story's right side does not detract from the overall character of the house. However, the additional hipped roofline to be added to the right side (labeled as "Z" on the rear elevation drawing and "X" on the side elevation drawing), between the first and second stories, is not compatible with the existing roofline on the left side of the massing and does not appear necessary for the enclosure of the upper story. The half of the existing shed roof with exposed rafter tails has already been removed. The Commission should provide input on the revised rooflines on the various enclosed sections.

5. Fiber cement siding has not typically been approved as a replacement material on original houses, only approved for new additions, new construction, or new secondary structures. Wood lap siding with a 4-5" exposure pattern should be used as the siding material instead of the fiber cement as shown.

6. Vinyl is not an appropriate replacement material for wood within the design guidelines. Wood soffits matching the existing in design and size should be installed instead of vinyl.

7. As the windows proposed for enclosure on the first story are not original elements and not visible from the street, enclosure is appropriate within the design guidelines. The application does not include specifications for proposed new windows. If any new windows are to be installed, final specifications should be submitted to staff for approval and should meet the design guidelines.

8. While restoring a railing to meet building code requirements can be appropriate within the guidelines, especially when the railing may not be original to the structure, a railing detail drawing should be provided to staff for review. The railing should feature balusters set into the top and bottom rails.

9. Additional building code elements may affect the proposed design with regards to the existing fire escape and

the square post foundation under the enclosed porches.

Staff Recommendation

Staff recommends approval of the following elements: removal of the existing vinyl siding, repair to the existing fascia and soffits, enclosure of the second-story right side massing, and removal of two windows on the first story. Staff recommends denial of the proposed fiber cement lap siding, with wood lap siding to be substituted and denial of the proposed vinyl soffits, with wood soffits to be installed. Staff recommends a revised roofline drawing for the rear elevation, pending Commission input; a railing detail drawing; and the final window specifications, to be submitted to staff for approval. Additional revisions may be necessary related to building code modifications; items not aligning with design guidelines or the HZC review may require further review by the Commission.

(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices or email it to applications@knoxplanning.org.

Reset Form



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

CPM Partners LLC

Applicant

6/3/24

Date Filed

6/20/24

Meeting Date (if applicable)

6-I-24-HZ

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

CPM Partners LLC

Name

Company

1492 Twin Coves Dr.

Address

Lenoir City

City

TN

State

37772

Zip

865-567-3215

Phone

CPMPartners@yahoo.com

Email

CURRENT PROPERTY INFO

Chuck Masciol 1492 Twin Coves Dr., Lenoir City, TN 37772 865-567-3215

Owner Name (if different from applicant)

Owner Address

Owner Phone

916 Luttrell St - Knoxville, TN 37917

Property Address

Parcel ID

081ML017

Gills Add

Neighborhood

MultiFamily

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

6.3.24

Date

[Signature]

Applicant Signature

Charles Masciol

Please Print

6/3/24

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: Remove vinyl siding on previous rear addition and replace with hardie board. Remove previous roof & back porch addition from rear of apartment 3. Emergency exit to stairs will remain. Remove 1 window from rear of Apartment 1, 2 windows will remain. Front porch railing on top floor to be built up to 36" per building code.

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Replace rotted wood soffit with vinyl soffit.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

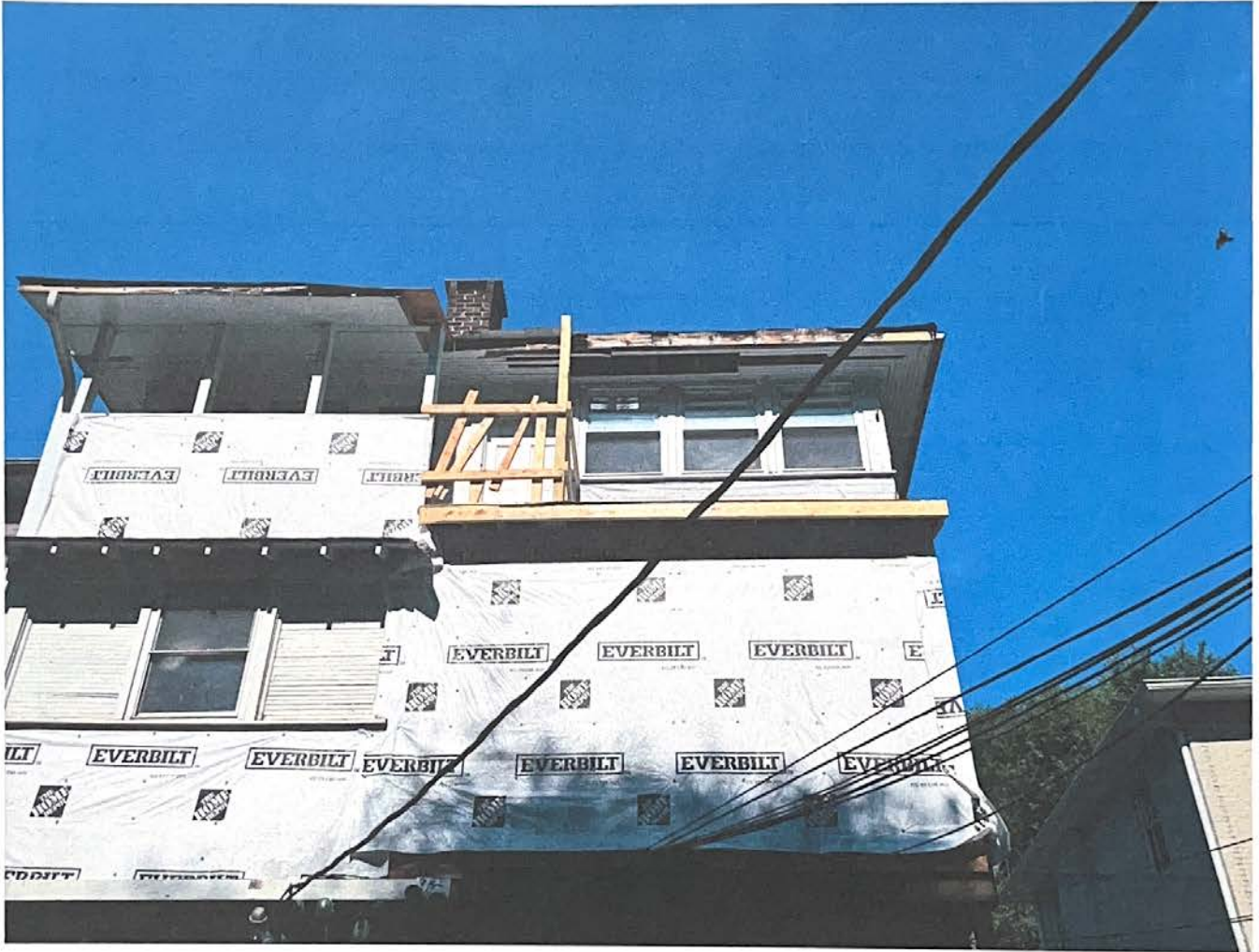
Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1: \$100.00	TOTAL: \$100.00
FEE 2:	
FEE 3:	



Sold: \$795,000 (-- beds, -- baths, 3,826 Square Feet)

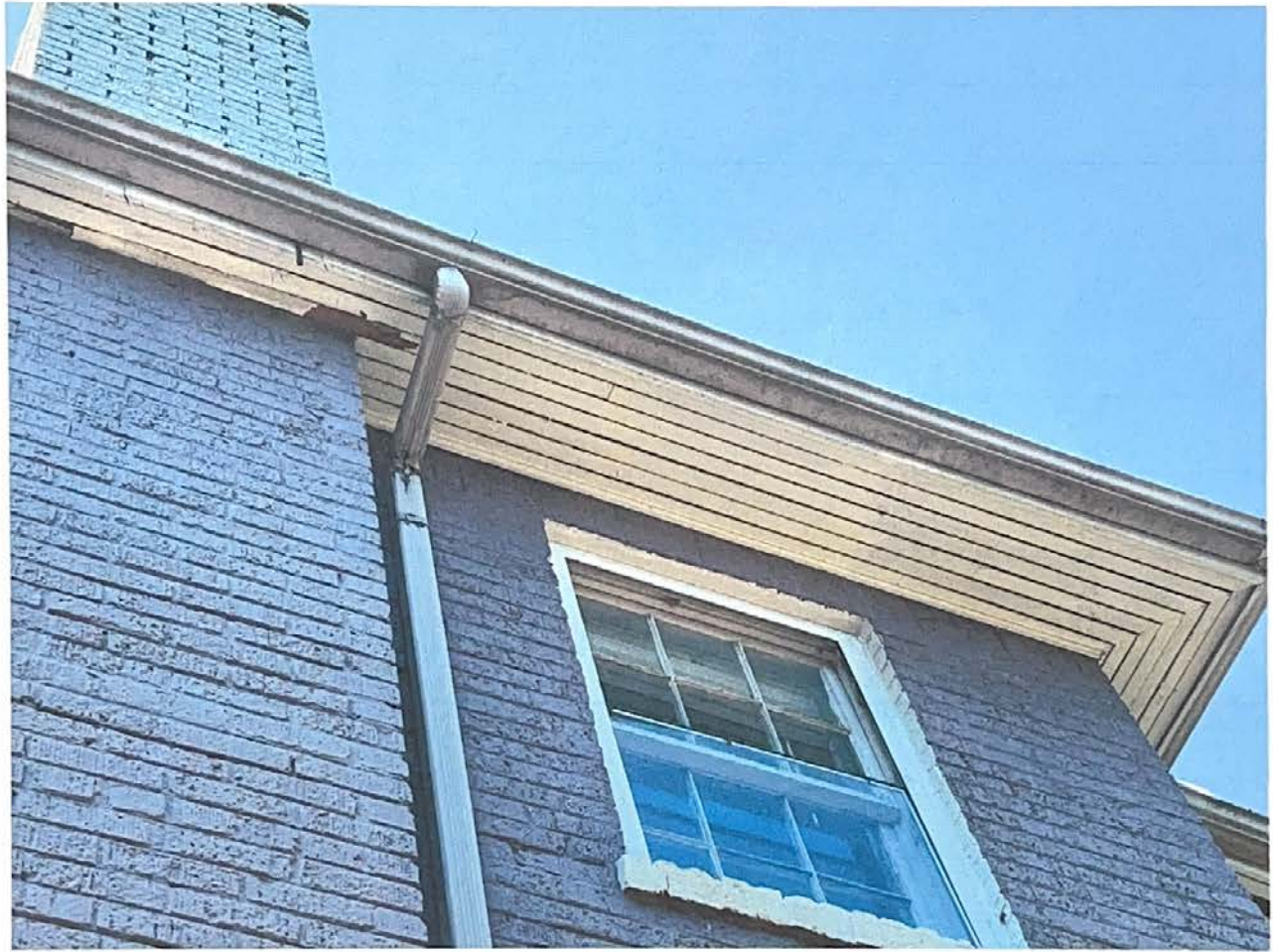
- Rear exterior prior to improvements



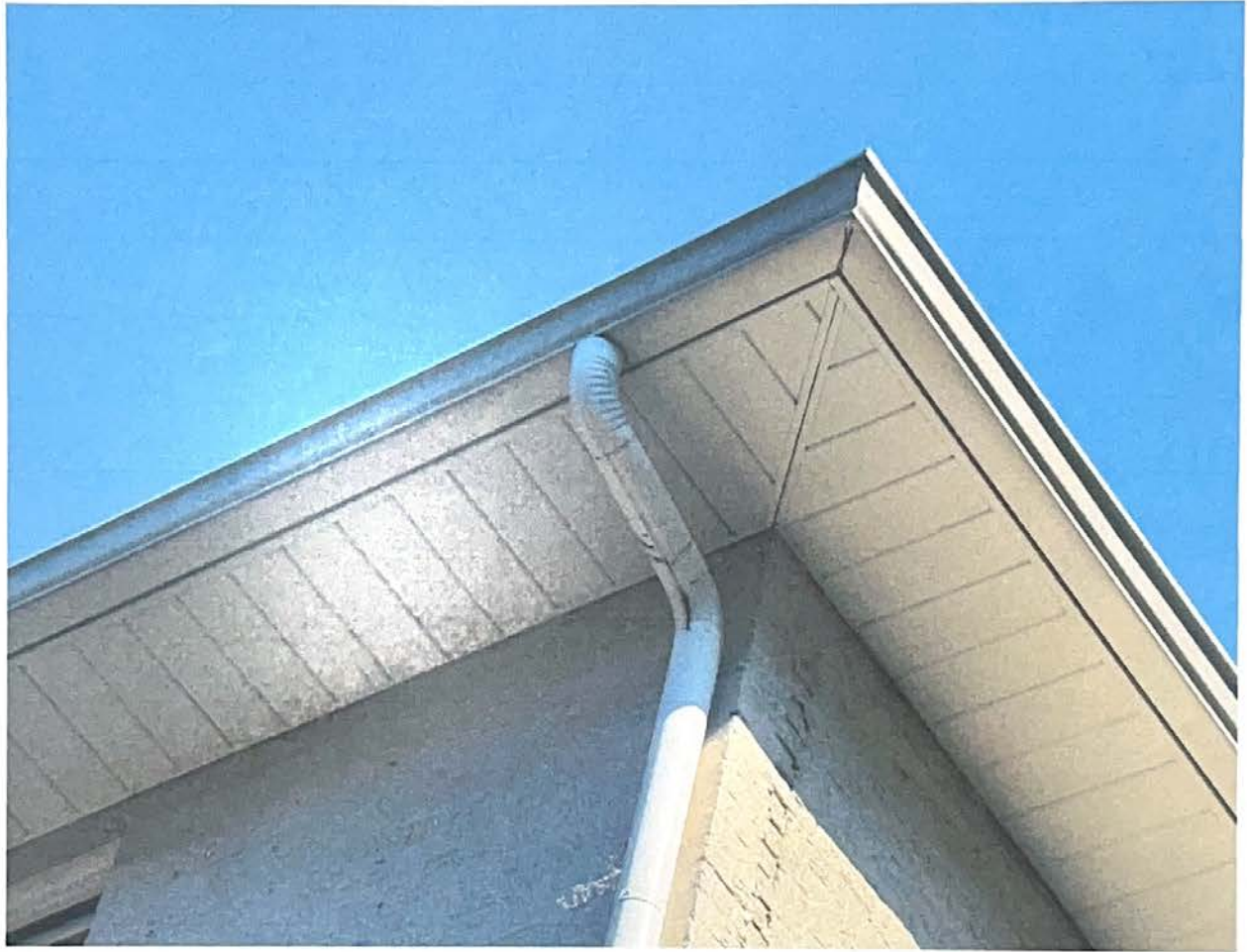
- Exterior revisions



- Current front railing



- Current rotted wood soffit



- Will use same vinyl soffit as neighbor to the left.

EXISTING - 916 Luttrell Ave.



- Issues:
- A** Downspot but no gutters ←
 - B** Fascia Failures
 - C** Wall and Joist Failure

Existing side view

House Roof Line

Porch Roof Line

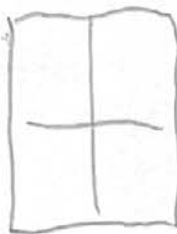
A B

Fascia

Exterior Porch to Fire Escape

(Porch Roof Posts)

RAILING



Vinyl Siding

Vinyl siding

Unit 3



2nd floor

A B

TAR/GRAVEL

C

Enclosed Porch Space Unit 1



Vinyl siding

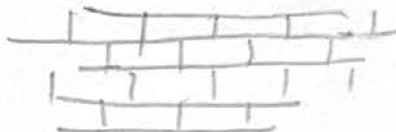
BRICK

Note!

Tar/Gravel Roof Floor failed allowing water penetration leading to failure of top wall and floor/roof joists.

1st floor

Unit 1



STUCCO

(Supports)

BASEMENT

DRIVEWAY

ISSUES!

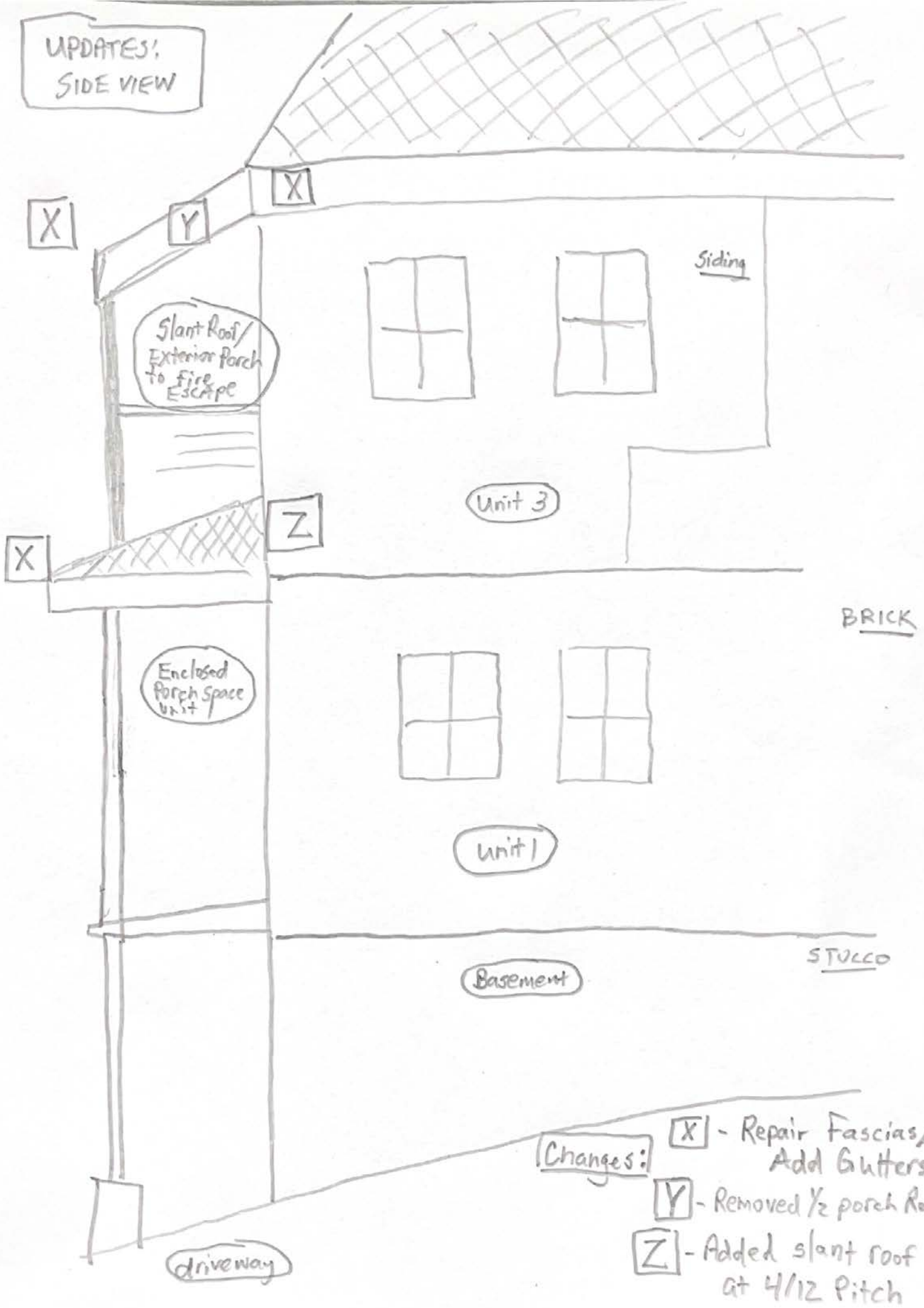
- A Downspout but no Gutters.
- B Fascia Failures
- C Wall and Joist Failures

Updates: 916 Luttrell Ave



- Changes:**
- Repair Fascias/Add Gutters
 - Removed Half Porch Roof + Posts to Access and Repair Wall + Joists
 - Added Slant Roof at 4/12 Pitch
 - 3 windows becomes 2 for better framing

UPDATES!
SIDE VIEW



Slant Roof Design

