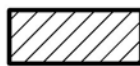




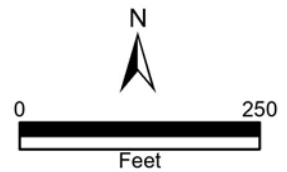
6-D-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1710 Highland Dr. 37916
Ft. Sanders NC

Original Print Date: 6/5/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes





Staff Report

Knoxville Historic Zoning Commission

File Number: 6-D-24-HZ

Meeting: 6/20/2024
Applicant: John Holmes
Owner: Evian Partners

Property Information

Location: 1710 Highland Ave. **Parcel ID** 94 N L 012
District: Ft. Sanders NC
Zoning: RN-5 (General Residential Neighborhood), NC (Neighborhood Conservation Overlay)
Description: Craftsman, c.1925

1.5-story frame residence with a clipped side gable roof, an exterior of stone veneer, and a stone veneer-clad foundation. Clipped-gable roof dormer on the façade and a smaller dormer on the rear roof slope. Full-length, shed-roof front porch.

Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement
Exterior rehabilitation and dormer addition.

Exterior rehabilitation scopes include the removal of stone veneer siding and the installation of new fiber cement lap siding, repair and replacement in patches to the brick foundation, and replacement of windows and doors. The front porch will be reconstructed, to feature new wood posts on brick piers and a new railing. Reconstruction of window wells on side elevation basement level, removal of rear steps to basement level.

New rear dormer addition. Existing clipped-gable dormer will be removed and a larger rear dormer will be installed, featuring two pairs of double-hung windows.

Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

A. Height, Scale, & Massing

1. Foundation heights should be consistent with other pre-1940 buildings in the neighborhood.
2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.

B. Roofs

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs, and dormers.
3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal, and slate were used.

4. Darker shades of shingles were historically used and should be selected in new construction.

C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.

D. Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl, shingle (or shingle-like material), or brick should be used.

5. In making additions to existing buildings, wall cladding should complement the original wall covering.

6. Materials that are not typical in pre-1940 construction should not be used. These include cinder block, T-111 siding, and stone facing.

E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.

2. Windows should be double-hung sash windows. Vinyl or metal-clad may be used in place of wood frame windows.

2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.

6. The proportions of upper level windows should not exceed the proportion of the first level.

7. Upper level windows should be provided and aligned with doors.

8. There should be at least 50% transparency that is created by windows or French doors and balconies on the recessed breaks between sections of buildings, including buildings joined together.

9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.

10. When parking areas are provided behind buildings, rear entrances are also allowed.

F. Parking

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.

2. Provide parking access off the alley or off a side street.

7. Surface parking area shall always be to the rear of the building.

G. Landscaping, Fencing, & Retaining Walls

1. Plant one native shade tree (e.g. oak or maple) and one ornamental tree (e.g. dogwood) in both the front and rear yards for every 50 feet of lot width.

H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.

3. Transitional space shall be provided between the addition and the existing structure. This should include a courtyard (200 sq. ft. minimum), and a connecting structure (e.g. porch or breezeway). The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' by 6' indentation.

4. Bays at least two feet in depth shall be provided for 50% of the side façade.

5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.

Comments

N/A

Staff Findings

1. 1710 Highland Ave is a contributing resource to the Fort Sanders National Register Historic District and local NC overlay.
 2. The application includes the removal of stone veneer cladding and the installation of new fiber cement lap siding which meets the Fort Sanders design guidelines. The project should incorporate appropriately sized vertical cornerboards and window trim. The drawings indicate the triangular brackets will be retained and installed on the rear dormer addition. The drawings also indicate the retention and recreation of the house's unique clipped gable.
 3. Reconstruction of the front porch and columns meet the design guidelines. The removal of the stone veneer on the porch railings and columns is appropriate, and the reconstructed porch details are appropriate for the house's Craftsman style.
 4. In general, the placement of a new addition non the rear roof slope is appropriate within the design guidelines. The new dormer is the same height as the existing and the width is compatible with the overall scale of the existing house. The dormer incorporates roof details compatible with the house, including the clipped gable detail and the triangular brackets.
 5. Final modifications to the site plan will be necessary to meet City Engineering standards for parking. The house and parking should remain within the impervious surface requirements for the base zoning. The final site plan could be approved by staff, provided there are no substantial modifications to the addition's design and placement.
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Staff Recommendation

Staff recommends approval of Certificate 6-D-24-HZ, subject to the following condition: 1) final site plan to meet City Engineering standards and requirements of the base zoning.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

5/16/24

5.28.24

6-D-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

John Holmes

Name

Company

PO Box 1335

Morristown

tn

37816

Address

City

State

Zip

423-231-4980

jholmes6@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Evian partners

PO Box 1335, Morristown, TN 37814

Owner Name (if different from applicant)

Owner Address

Owner Phone

1710 Highland Ave

094NL012

Property Address

Parcel ID

Ft Sanders

RN-5, NC-1

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett

5.28.24

Please Print

Date

John Holmes
Applicant Signature

John Holmes

5/16/24

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: new siding, new roof, fascia, soffits, all exterior replaced, windows, doors, front porch rebuilt and rebuild brick columns
Replace brick foundation, remove fake stone around house, Rebuild front stairs, porch and railings, remove all shutters
Remove and rebuild rear dormer, rebuild the side window wells, remove rear steps to basement

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

100.00

FEE 2:

FEE 3:

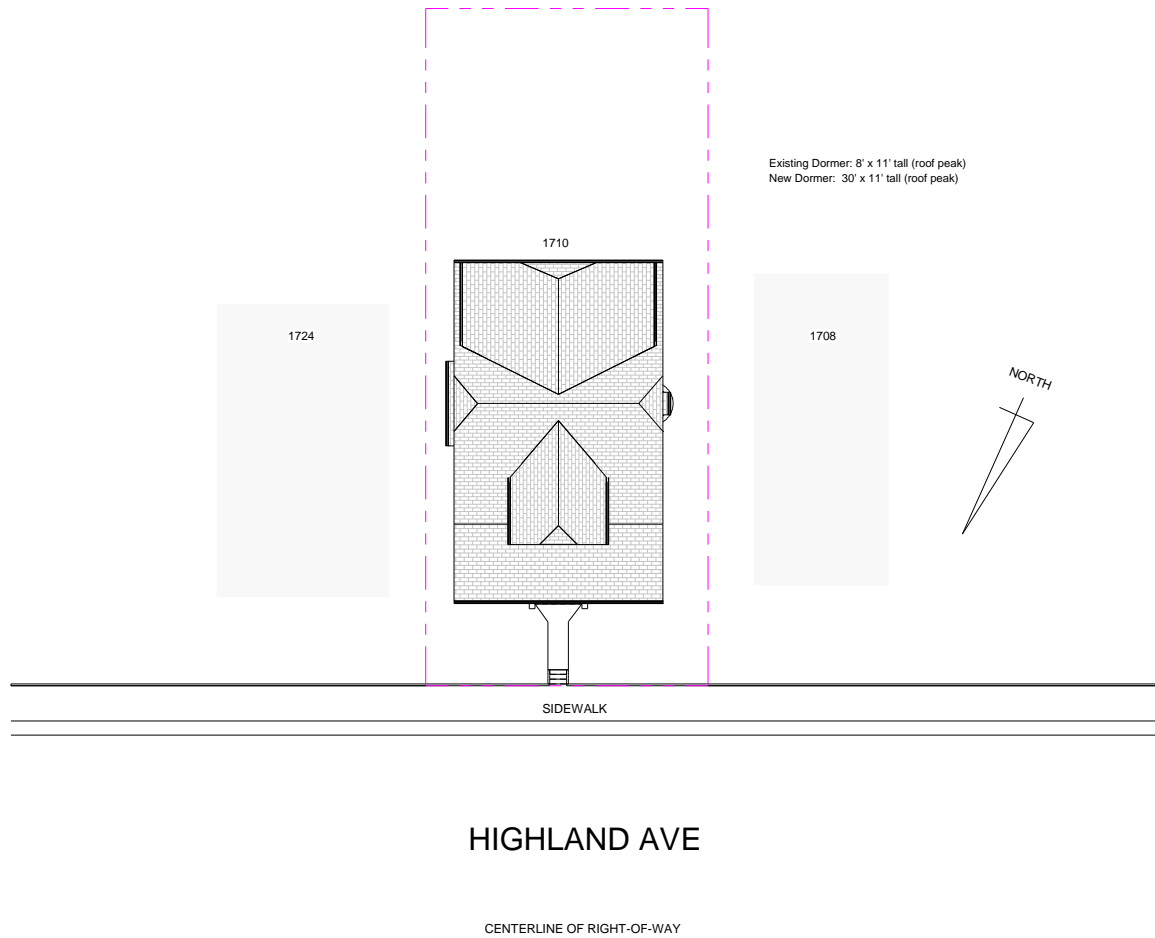
TOTAL:

100.00

PROPOSED DWELLING AT 1710 HIGHLAND AVE

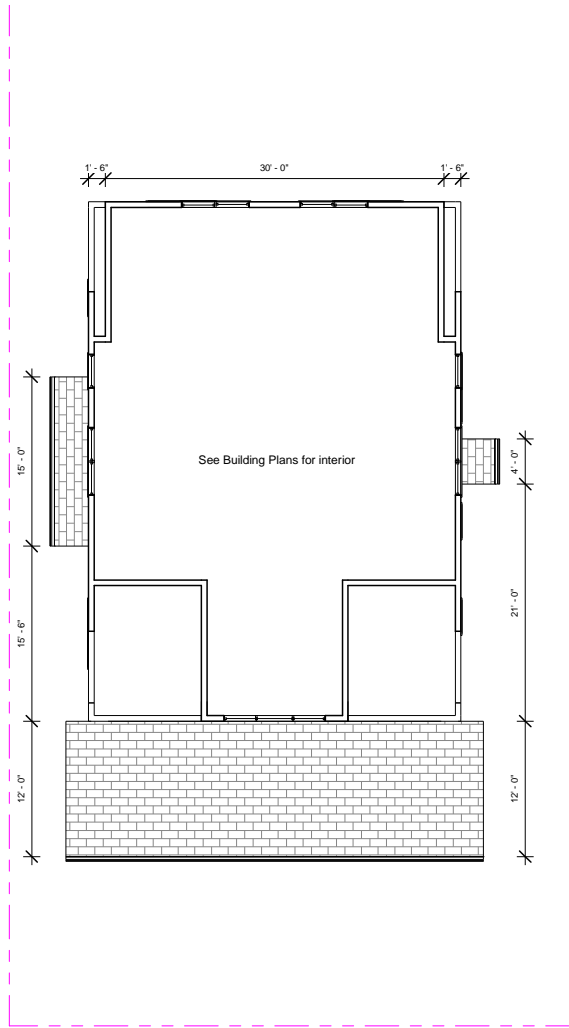


Owner	
Project Name	
COVER	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A200	
Scale	

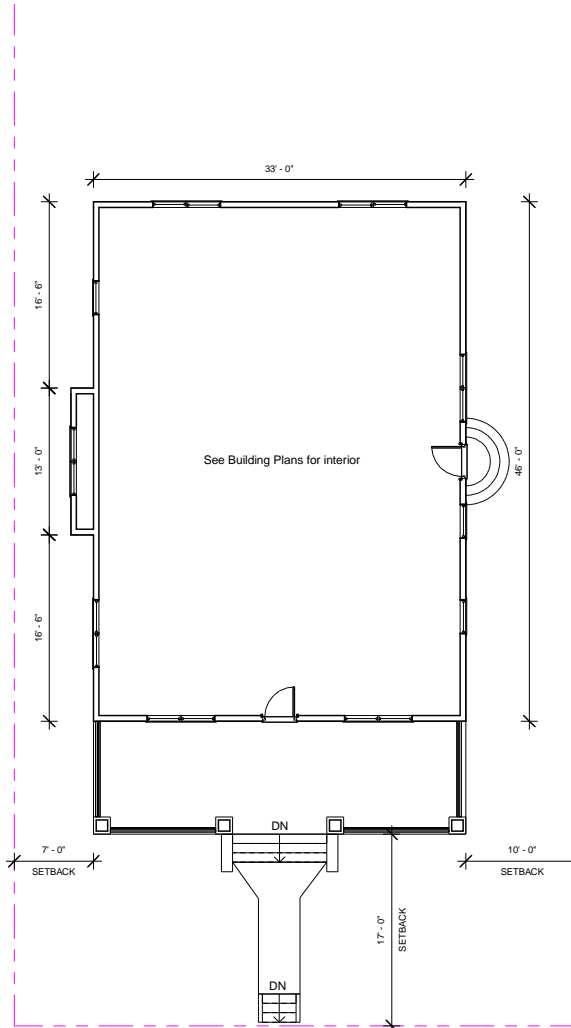


① SITE PLAN
1/16" = 1'-0"

Owner	
Project Name	
SITE PLAN	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A201	
Scale	1/16" = 1'-0"



② SECOND FLOOR
1/8" = 1'-0"



① FIRST FLOOR
1/8" = 1'-0"

Owner Project Name	
FLOOR PLANS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A202	
Scale	1/8" = 1'-0"



All siding is new
Brick is "old English" by general shale

② FRONT ELEVATION
1/8" = 1'-0"



① SIDE ELEVATION 1
1/8" = 1'-0"

Owner Project Name	
ELEVATIONS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A203	
Scale	1/8" = 1'-0"



② REAR ELEVATION
1/8" = 1'-0"



① SIDE ELEVATION 2
1/8" = 1'-0"

Owner Project Name	
ELEVATIONS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A204	
Scale	1/8" = 1'-0"



1710

FRIDAY
7:00







LIVE



LIVE









