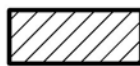




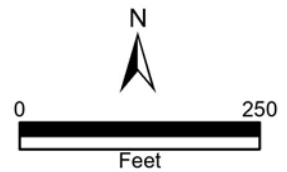
**6-C-24-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**1708 Highland Dr. 37916**  
**Ft. Sanders NC**

Original Print Date: 6/5/2024  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes





# Staff Report

Knoxville Historic Zoning Commission

File Number: 6-C-24-HZ

**Meeting:** 6/20/2024  
**Applicant:** John Holmes  
**Owner:** Evian Partners

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## Property Information

**Location:** 1708 Highland Ave. **Parcel ID** 94 N L 013  
**District:** Ft. Sanders NC  
**Zoning:** RN-5 (General Residential Neighborhood), NC (Neighborhood Conservation Overlay)  
**Description:** Craftsman, c.1925

One-story, side-gable roof residence with a side-gable roof and a shed-roof dormer centered on the roofline. Partial width front porch.

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## Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement

Exterior rehabilitation and new rear addition.

Exterior rehabilitation scopes include the removal of existing vinyl siding and installation of new fiber cement lap siding, repair and replacement in patches to the brick foundation, removal of exterior shutters, and replacement of windows and doors. Front porch will be reconstructed in kind, including new railings and new brick pier supports. Front dormer will be removed and reconstructed to fix structural issues.

New rear addition, to include a 5' deep addition on the rear elevation (continuing the existing side-gable roofline), and a new gable-roof dormer on the rear roof slope. The dormer features paired double-hung windows on the rear elevation, triangular brackets to reflect the primary house, and fiber cement lap siding.

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## Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

### A. Height, Scale, & Massing

1. Foundation heights should be consistent with other pre-1940 buildings in the neighborhood.
2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.

### B. Roofs

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs, and dormers.
3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal, and slate were used.

4. Darker shades of shingles were historically used and should be selected in new construction.

#### C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.

#### D. Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl, shingle (or shingle-like material), or brick should be used.

5. In making additions to existing buildings, wall cladding should complement the original wall covering.

6. Materials that are not typical in pre-1940 construction should not be used. These include cinder block, T-111 siding, and stone facing.

#### E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.

2. Windows should be double-hung sash windows. Vinyl or metal-clad may be used in place of wood frame windows.

2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.

6. The proportions of upper level windows should not exceed the proportion of the first level.

7. Upper level windows should be provided and aligned with doors.

8. There should be at least 50% transparency that is created by windows or French doors and balconies on the recessed breaks between sections of buildings, including buildings joined together.

9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.

10. When parking areas are provided behind buildings, rear entrances are also allowed.

#### F. Parking

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.

2. Provide parking access off the alley or off a side street.

7. Surface parking area shall always be to the rear of the building.

#### G. Landscaping, Fencing, & Retaining Walls

1. Plant one native shade tree (e.g. oak or maple) and one ornamental tree (e.g. dogwood) in both the front and rear yards for every 50 feet of lot width.

#### H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.

3. Transitional space shall be provided between the addition and the existing structure. This should include a courtyard (200 sq. ft. minimum), and a connecting structure (e.g. porch or breezeway). The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' by 6' indentation.

4. Bays at least two feet in depth shall be provided for 50% of the side façade.

5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.

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## Comments

N/A

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## Staff Findings

1. 1708 Highland Ave is a contributing resource to the Fort Sanders National Register Historic District and local NC overlay.
2. The application includes the removal of exterior vinyl siding and the installation of fiber cement lap siding, which meets the Fort Sanders design guidelines. The project should incorporate appropriately sized vertical cornerboards and window trim, along with retaining existing details such as the rectangular louvered vent in the front dormer. The drawings indicate the triangular brackets and exterior brick chimney will be retained.
3. Reconstruction of the front porch and columns meet the design guidelines. The brick piers should be reconstructed with the same design and dimensions as the existing. The elevation drawings indicate the right side of the façade will be reconstructed, removing the brick piers that remain from a previously-enclosed porch; the applicant should clarify work to be completed on this elevation.
4. In general, the placement of a new addition on the rear elevation is appropriate within the design guidelines. The 5' rear addition and the new rear dormer are compatible with the overall scale of the existing house, and the dormer incorporates a roof pitch and details comparable to the house. The reconstructed front dormer should replicate the size, placement, and roof details of the existing.
5. The replacement door on the facade should meet the design guidelines ("similar proportions and features to pre-1940 architecture").
6. Final modifications to the site plan will be necessary to meet City Engineering standards for parking. The house and parking area should remain within the impervious surface requirements for the base zoning. The final site plan could be approved by staff, provided there are no substantial modifications to the addition's design and placement.

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## Staff Recommendation

Staff recommends approval of Certificate 6-C-24-HZ, subject to the following conditions:

- 1) final drawings to indicate appropriately sized cornerboards and window trim, and to incorporate existing triangular brackets, rectangular vent, and roof details;
- 2) brick columns on reconstructed front porch to match existing in size and design;
- 3) final site plan to meet City Engineering standards and requirements of the base zoning.



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

5/16/24

6.20.2024

6-C-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

John Holmes

Name

Company

PO Box 1335

Morristown

tn

37816

Address

City

State

Zip

423-231-4980

jholmes6@gmail.com

Phone

Email

## CURRENT PROPERTY INFO

Evian partners

PO Box 1335, Morristown, TN 37814

Owner Name (if different from applicant)

Owner Address

Owner Phone

1708 Highland Ave

094NL013

Property Address

Parcel ID

Ft Sanders

RN-5, NC-1

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*  
Staff Signature

Lindsay Crockett

5.28.24

Please Print

Date

*John Holmes*  
Applicant Signature

John Holmes

5/16/24

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: new siding, new roof, fascia, soffits, all exterior replaced, windows, doors, front porch rebuilt and rebuild brick columns  
Replace brick foundation Rebuild front stairs, porch and railings, remove all shutters. Remove and rebuild front dormer and surrounding roof structure  
which is sinking as is whole front roof. 5' rear addition and dormer.

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

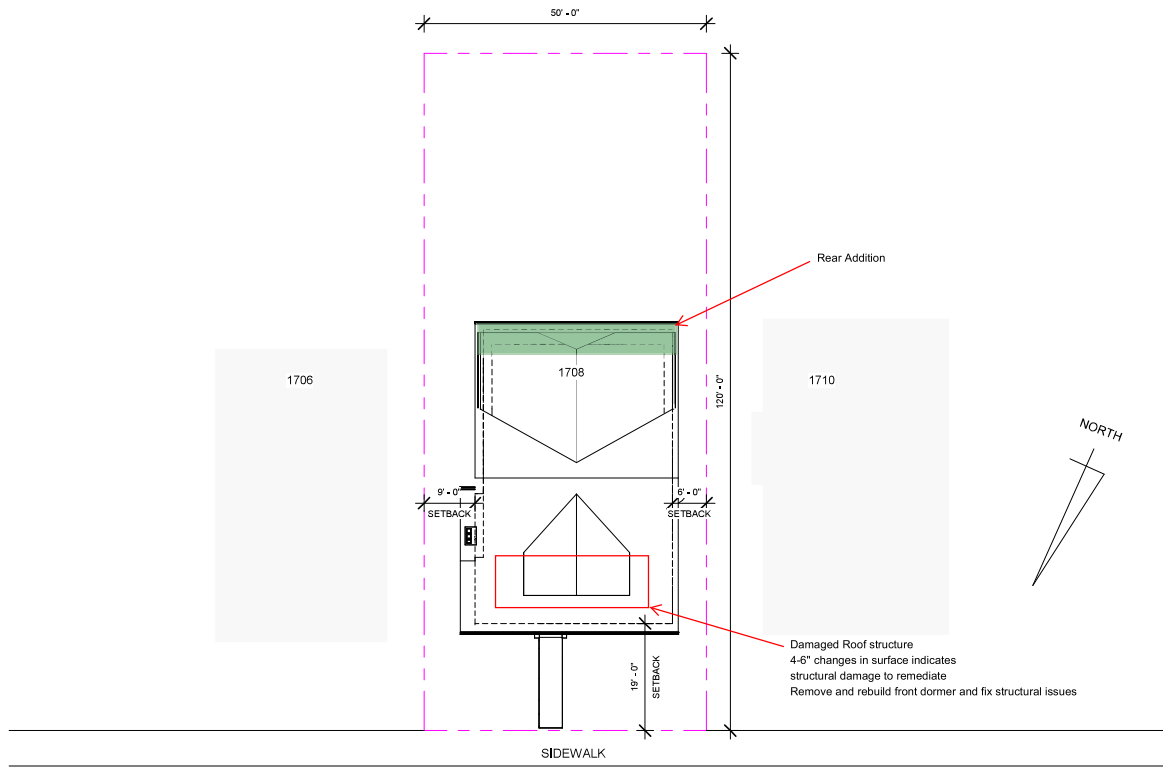
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100.00		
<b>FEE 2:</b>		
<b>FEE 3:</b>		



# PROPOSED DWELLING AT 1708 HIGHLAND AVE



Owner	
Project Name	
COVER	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A200	
Scale	



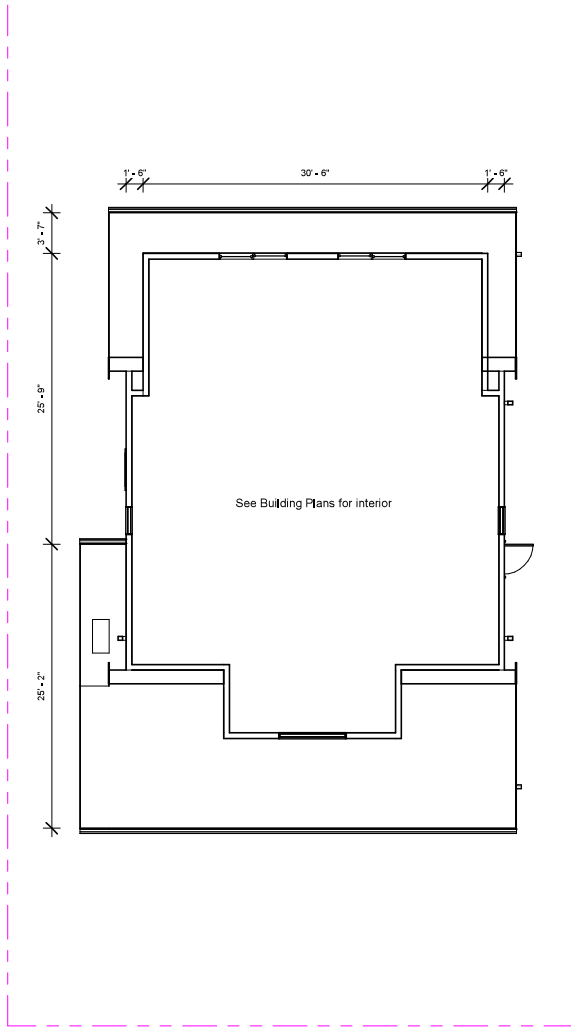
HIGHLAND AVE

CENTERLINE OF RIGHT-OF-WAY

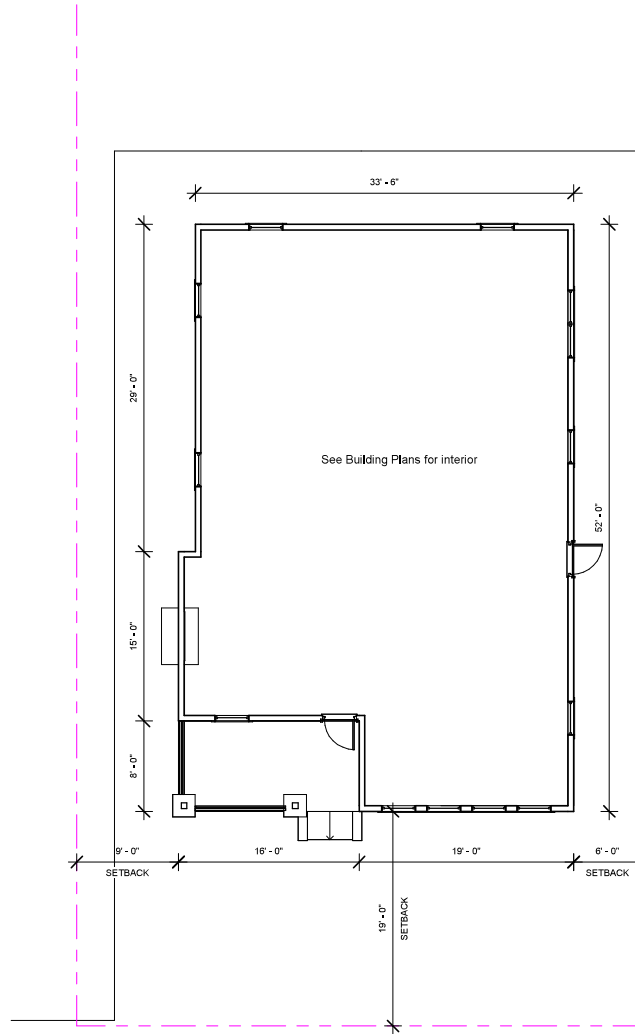
① SITE PLAN  
1/16" = 1'-0"

Owner	
Project Name	
SITE PLAN	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A201	
Scale	1/16" = 1'-0"



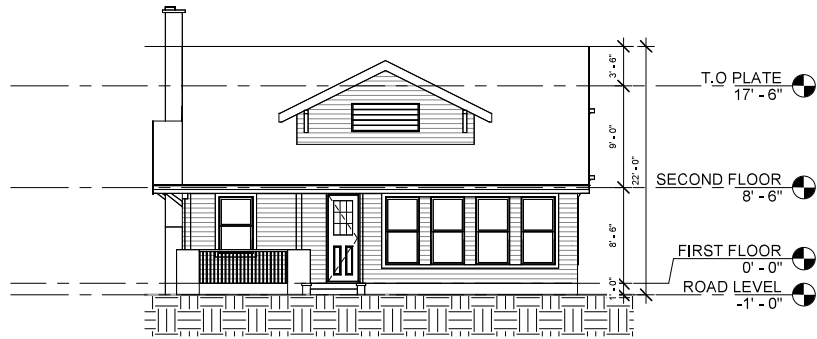


② SECOND FLOOR  
1/8" = 1'-0"



① FIRST FLOOR  
1/8" = 1'-0"

Owner	
Project Name	
<b>FLOOR PLANS</b>	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
<b>A202</b>	
Scale	1/8" = 1'-0"

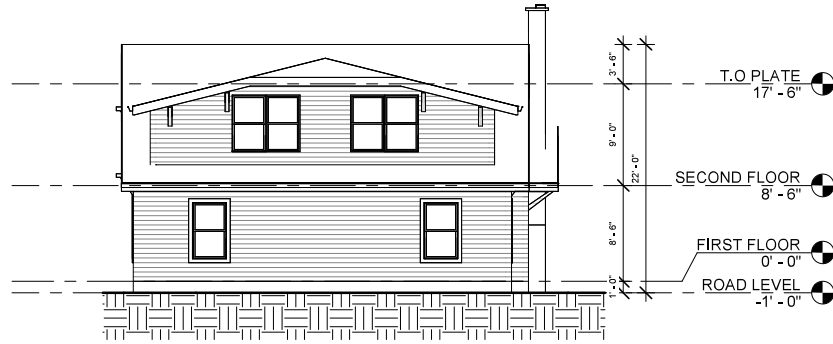


② FRONT ELEVATION  
1/8" = 1'-0"

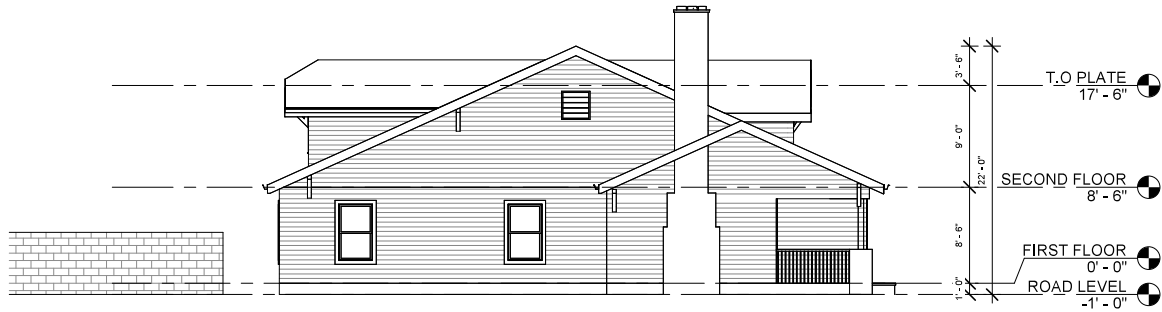


① SIDE ELEVATION 1  
1/8" = 1'-0"

Owner Project Name	
<b>ELEVATIONS</b>	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
<b>A203</b>	
Scale	1/8" = 1'-0"



② REAR ELEVATION  
1/8" = 1'-0"



① SIDE ELEVATION 2  
1/8" = 1'-0"

Owner	
Project Name	
<b>ELEVATIONS</b>	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
<b>A204</b>	
Scale	1/8" = 1'-0"



FOR RENT  
FALL 2018  
14.5K







