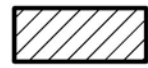


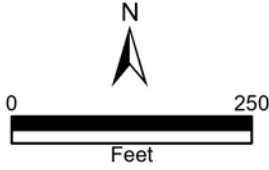


7-D-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

 **1321 Dora St. 37921**
Mechanicsville H

Original Print Date: 7/2/2024
Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Jose Elpidio Aguilar



Meeting: 7/18/2024
Applicant: Jose Elpidio Aguilar
Owner: Karly Harrod and Joel Brogan

Property Information

Location: 1321 Dora St. **Parcel ID** 94 F K 001
District: Mechanicsville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Folk Victorian, c.1890.

One story frame with asbestos shingle wall covering. Front gable roof with asphalt shingle roof covering. Double hung one over one windows. One story full front and side wrap around porch with turned wood columns, concrete block balustrade. Interior central brick chimney. Brick foundation. Projecting bay on side elevation. Shotgun plan.

Description of Work

Level II Major Repair or Replacement

Reconstruction of existing rear addition. Addition currently measures 6' deep by 22' wide and features a low-slope shed roof, T-111 plywood siding, three vinyl double-hung windows, and a non-historic door. The proposed addition will replicate the same footprint and roof pitch. The addition will feature an asphalt shingle roof and an exterior clad in fiber cement shingle siding, intended to simulate the asbestos shingle siding on the primary house.

Applicable Design Guidelines

Mechanicsville Design Guidelines, adopted by the Knoxville City Council on September 20, 2011.

E. Rules for Wood Wall Coverings

1. Synthetic siding is inappropriate and is not allowed either as replacement siding on existing buildings or new siding in new construction.
3. Replacement siding must duplicate the original. Replacing trim and patterned shingles must also duplicate the original material.
11. If artificial siding is present on any elevation of a building and must be removed in order to repair the building structurally, it can be replaced on the building if no more than 25% of any elevation's artificial siding is removed. If more than 25% of the artificial siding on any elevation is removed for repair, it cannot be replaced.

T. Additions

1. Locate exterior additions at the rear of or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building, and using appropriate proportions.
 2. Design new additions so that it is clear what is historic and what is new.
 3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district. Additions shall be distinguishable from the historic building, but shall be compatible in terms of mass, materials, size, texture, and scale. Additions shall be designed so they can be removed without destroying the form of the historic building.
-

4. New additions should not be visible from streets.
 5. Before expanding the size of the historic house with a new addition, try reconfiguring interior space that does not define the historic character of the building in order to accommodate the new space needs.
 6. Do not cause a loss of historic character through a new addition.
-

Comments

N/A

Staff Findings

1. 1321 Dora Street is a contributing resource to the Mechanicsville National Register Historic District and local overlay.
 2. Removal and reconstruction of a deteriorating, non-historic rear addition is appropriate. The house's footprint will not be modified and the addition is compatible with the main house in mass and scale.
 3. The floor plan indicates only one existing double-hung window to be retained, while the renderings show three windows. While retaining the existing double-hung window may be appropriate within the guidelines, the applicant should clarify the rear elevation window placement. Any new windows should meet the guidelines and be submitted to staff for approval. If the existing door is not retained, any new doors should be submitted to staff for approval.
 4. The design guidelines state that "synthetic siding is inappropriate as replacement siding on existing buildings," and "replacement siding must duplicate the original." The guidelines also state that "if artificial siding is present and must be removed to repair the building structurally, it can be replaced if no more than 25% of the siding is removed. If more than 25% of the artificial siding on any elevation is removed, it cannot be replaced." The siding will be installed for structural purposes, as the structure of the rear elevation will be reconstructed. The siding proposed for replacement includes the entire rear elevation and smaller sections of the side elevations.
 5. The primary house is clad in asbestos shingle siding, which is not proposed for replacement at this time. The existing addition is clad in T111 plywood siding and asbestos shingles, which does not meet the guidelines. Recognizing the minor scope of the repairs and the lack of original siding on the building, the installation of a small section of fiber cement siding to reflect the asbestos shingles will not further detract from the house's architectural integrity. Replacement of the existing house's asbestos shingle siding would require further review by the HZC and would need to meet the design guidelines, which call for wood.
-

Staff Recommendation

Staff recommends approval of Certificate 7-D-24-HZ, subject to the following conditions: 1) applicant to provide clarification on rear elevation elements, with any new windows or doors to be submitted to staff for approval.



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☒ HISTORIC ZONING (H)
☐ INFILL HOUSING (IH)

Jose Elpidio Aguilar

Applicant

06/12/2024

7-D-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Owner ☒ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Jose Elpidio Aguilar

ASR Construction

Name

Company

334 Russell Rd

Rockford

TN

37853

Address

City

State

Zip

(865) 684 7970

piyoagu6@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Karlynn Harrod & Joel Brogan

1312 Dora St. Knoxville TN 37921

(612)220 2240

Owner Name (if different from applicant)

Owner Address

Owner Phone

1321 Dora St Knoxville TN 37921

094FK001

Property Address

Parcel ID

Old Mechanicsville

level 1

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

6/21/24

Date

Jose Elpidio Aguilar

Applicant Signature

Jose Elpidio Aguilar

Please Print

06/12/2024

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work:

HISTORIC ZONING

Level 1:

- ☐ Signs ☒ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☐ Brief description of work: Remodeling work on the back part of the house that is need of an update

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work:

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

FEE 2:

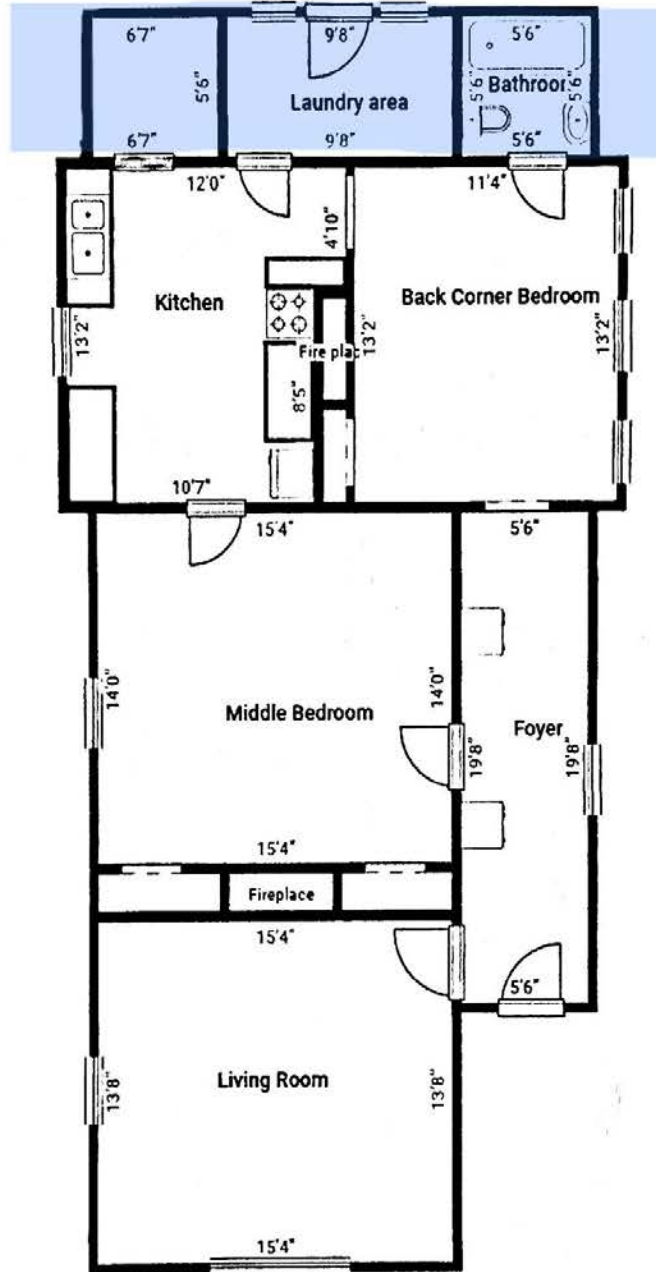
FEE 3:

TOTAL:

1321 Dora Street Knoxville TN 37921: 1st floor

Area in blue, floor and walls will get replaced.

original existing rooms
Layout

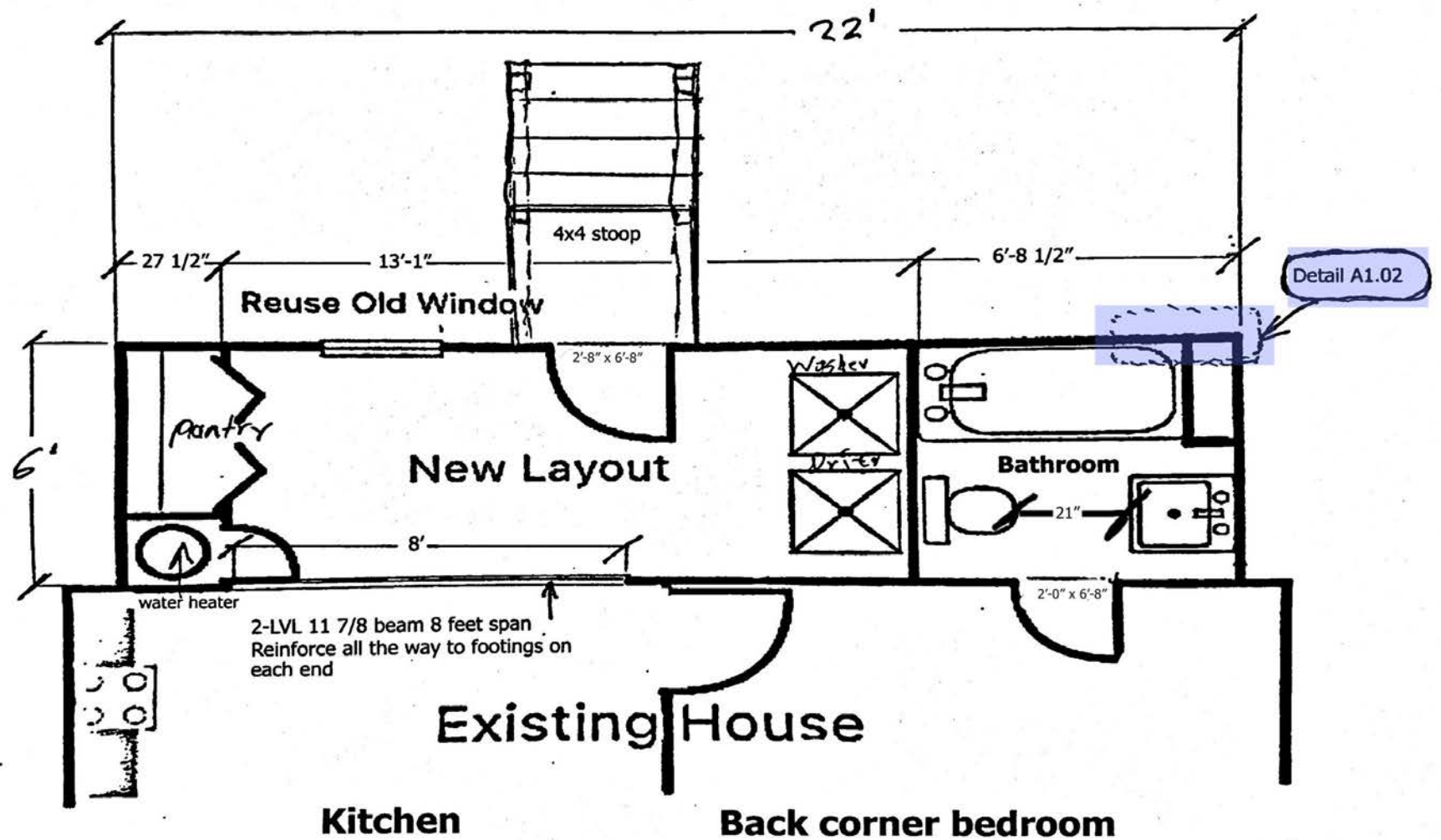


Scale 1/8" = 1ft

A1,R1-floor plan

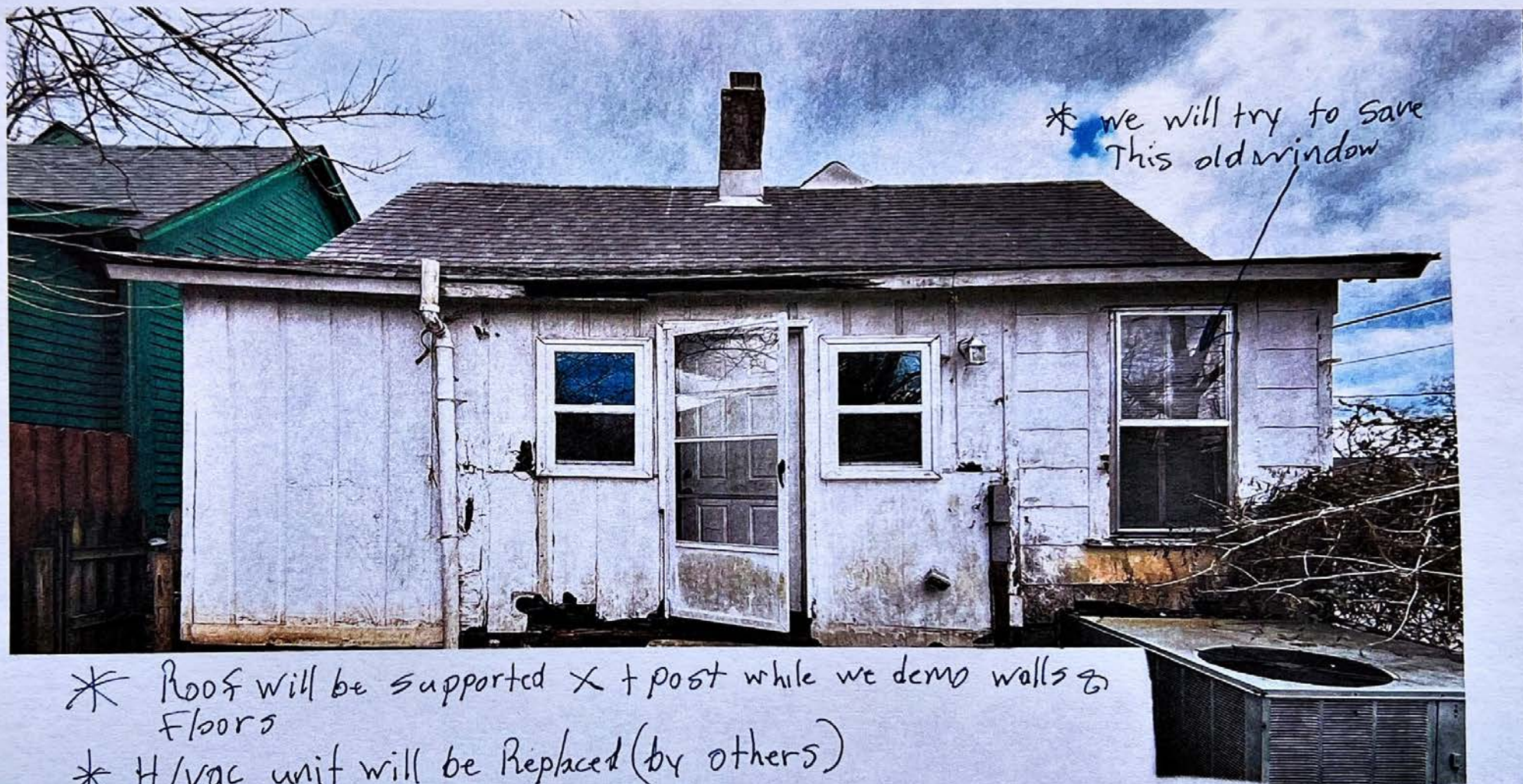
Disclaimer: the floor plan is for illustrative purposes only. The measurements contained therein are an approximation and may not be exact. While we do not doubt the floor plan's accuracy to within +/- 5%, we make no guarantee or representation and grant no warranty, express or implied, regarding the floor plan or its accuracy or completeness.

You or your advisors must conduct an independent investigation of the property to confirm the accuracy and completeness of the floor plan and to determine if the property is suitable for your space requirements.



Scale 5/16 = 1Ft

A1.01 first floor plan



* we will try to save
This old window

* Roof will be supported x + post while we demo walls &
Floors

* H/vac unit will be Replaced (by others)

A2- Back Elevation

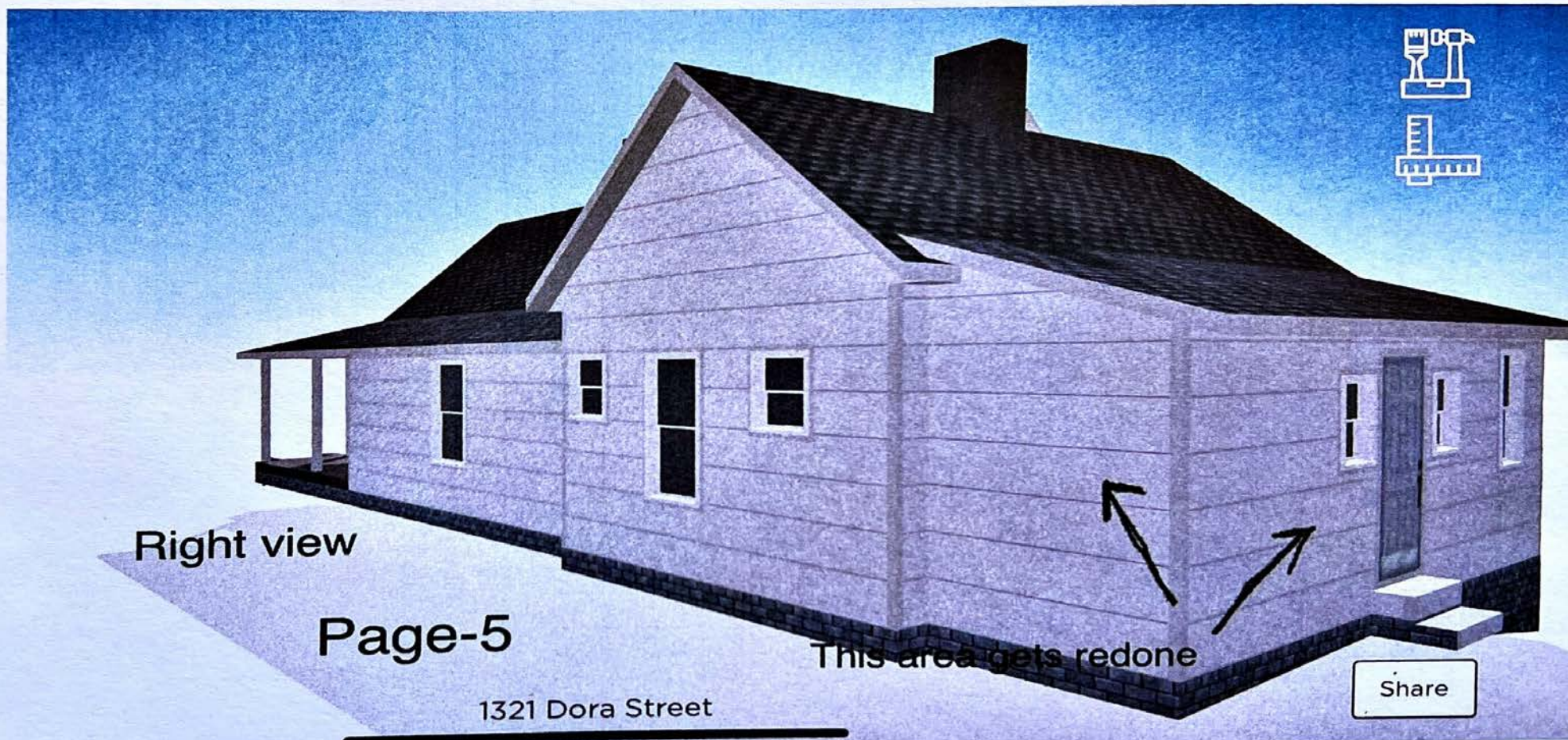
Page - 3



Back
view

Page-4

A3- Back Elevation



Right view

Page-5

1321 Dora Street

This area gets redone

Share

A4- Right Elevation



Left view

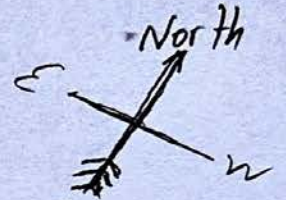
Page-6

Share

A5- Left Elevation

Consler Avenue

Work will be Done in
this Section at the back



Property
lines

owners:
Karly Harrod
Joel Brogan

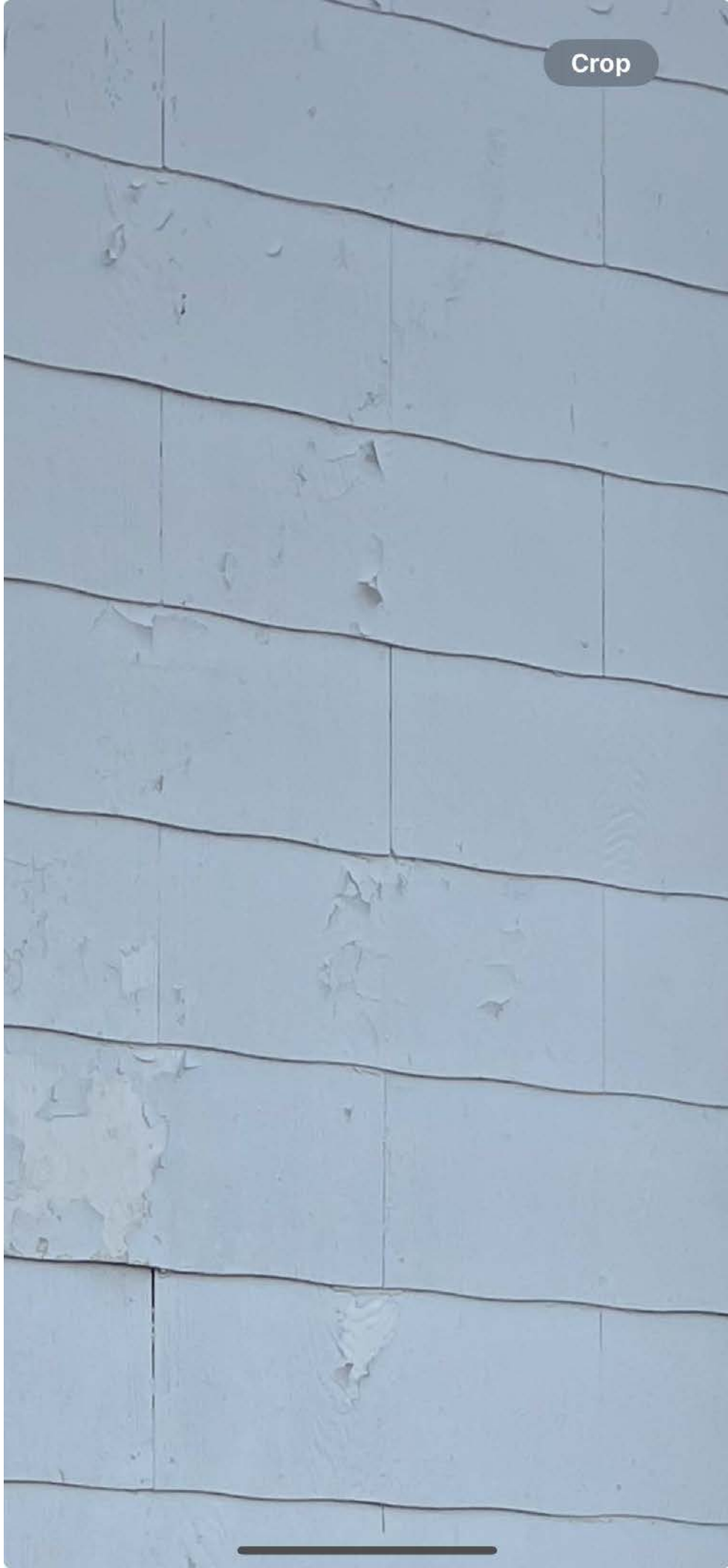
AS-1 Site plan

Page - 1

1321 Dora St
Knoxville TN 37921

Dora St

Crop



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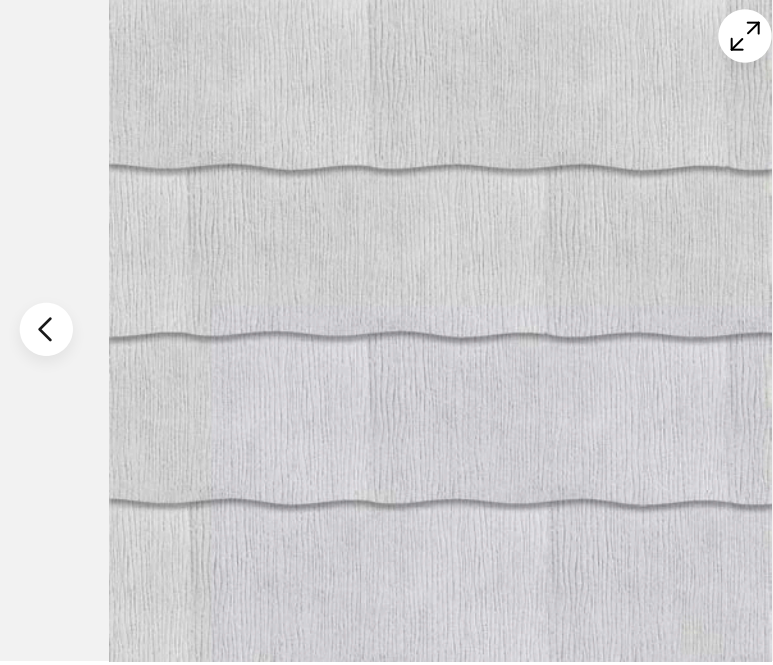
Free shipping
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Fiber Cement Siding Shingle Wavy Replacement Weatherside 12 x 24 in.

\$120.00

+ \$15.00 shipping



7



Fiber Cement Siding Shingle Wavy Replacement Weatherside No Asbestos 12 x 24 in.



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Condition: **New**

Quantity: 2 available · **28 sold**

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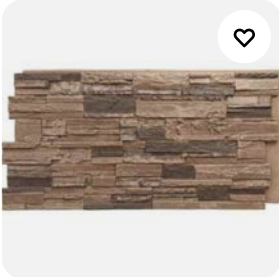
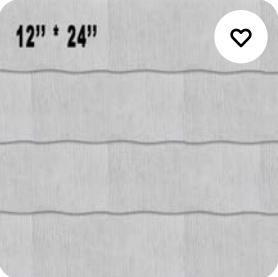
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LAST ONE

Breathe easy. Free shipping and returns.

This one's trending. 28 have already sold.

Shipping: **Free Expedited Shipping.** [See details](#)
Located in: Englewood, Colorado, United States

Delivery: Estimated between **Fri, Jul 12** and **Mon, Jul 15** to 37072 ⓘ

Returns: 30 days returns. Seller pays for return shipping. [See details](#)

Payments:



ITEM DESCRIPTION

WeatherSide fiber cement siding is the one and only solution for replacing or repairing old asbestos siding shingles. It's available in a variety of sizes and shapes to match many of the old siding shingles installed over the last 60 years. Unlike some of the original siding shingles that it replaces, WeatherSide pre-primed siding shingles contain no asbestos. It's easy to install, after properly removing the old siding, simply nail the WeatherSide siding in place and paint. WeatherSide is even resistant to warping, denting, rotting, expansion/contraction and termite infiltration.

- Ready to paint
 - Wavy edge
 - Textured surface
 - Pre-primed
 - Exposure: 11 in.
 - Thickness: 11/64 in.
 - Pieces/bundle: 18
 - Square ft. coverage: 33 sq. ft.
 - GAF recommends that any removal and disposal of asbestos-containing products be done by a professionally trained asbestos removal contractor
-
- Coverage Area (sq. ft.): 33.3 ft²
 - Product Length (in.): 24
 - Product Thickness (in.): 0.17
 - Product Width (in.): 12
 - Color Family: White
 - Color/Finish: White
 - Finish Type: Primed
 - Material: Cement
 - Profiles: Shingle
 - Returnable: 30-Day
 - Siding Features: Pre-Primed,Textured Surface,Wavy Edge
 - Siding Type: Panel
 - Vertical or Horizontal: Horizontal
 - Manufacturer Warranty: 25 Year Limited Warranty

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Customer service is our top priority! Please be sure to read the description thoroughly to make sure that this is the item you want before making a purchasing decision. If you have any questions about this item, please contact us via eBay messages before placing your order. We make every effort possible to accurately describe and depict the items. Please be aware that slight variations in color may be due to differences in lighting and computer monitor resolutions. All items are in stock at the time of listing; however, in the unlikely and unforeseen event that we are unable to fulfill your order through any of our networked warehouses, we will notify you as quickly as possible and offer you a 100% refund on your purchase. Thank you for shopping with us. We appreciate your business!