

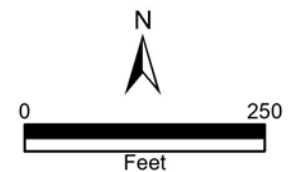
6-H-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



128 W. Glenwood Ave. 37917
Old North Knoxville H

Original Print Date: 6/5/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Ethan Fields



Meeting: 7/18/2024
Applicant: Ethan Fields
Owner: Kathleen & Michael Fischer

Property Information

Location: 128 W. Glenwood Ave. **Parcel ID** 81 L M 001
District: Old North Knoxville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: American Four Square, c.1915

Two-story frame residence with a hipped roof clad in asphalt shingles and a hipped-roof dormer on the façade. Exterior features brick veneer cladding on the first story and wood lap siding on the second story, with a decorative flare at the belt course. Brick foundation.

Description of Work

Level II Construction of Addition or Outbuilding

Proposed new secondary structure (garage). The garage measures 24' by 24' and the revised proposal is for the rear right side (southwest) of the property, behind the house. The garage features a 6/12 gable roof clad in architectural shingles, an exterior of wood lap siding, and double-hung fiberglass windows. The garage door will be a carriage-style wood door.

Scope of work also includes the installation of new fiberglass windows on the right side, basement-level of the primary structure, to include three, three-light, fixed fiberglass windows.

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

M. Auxiliary or Outbuildings

1. The design of outbuildings such as garages shall acknowledge and suggest the function of original outbuildings that would have been located in the neighborhood.
2. The design of features like garage doors that face the street shall mimic garage doors with an era consistent with the primary building on the lot.
3. Garages shall be located to the rear of the primary building on the lot.
4. Materials used in constructing outbuildings or accessory buildings may only use materials and design characteristics selected from the following list: wood lap siding with a four inch lap or board and batten; a 12/12 roof pitch; overhanging eaves; exposed rafter tails; wood windows; masonry but not exposed concrete block or split-face block; garage doors appearing to be carriage doors or plank doors with x-bracing or perimeter reinforcing timbers.

Comments

Staff Findings

1. 128 W. Glenwood Ave is a contributing resource to the Old North Knoxville National Register Historic District and local overlay. The application was postponed at the June 2024 meeting to allow the applicant to revise the garage placement and provide additional information.
2. The garage is proposed to be located to the rear of the house, on the right side of the property. The garage will be accessed from a secondary access off Armstrong Avenue instead of the alley. The design guidelines note that garages shall be located to the rear of the primary building on the lot. The revised placement of the garage meets the design guidelines. The final site plan should meet City Engineering standards and standards of the zoning code, including the corner side setback of 12' from Armstrong Avenue.
3. The guidelines note that new outbuildings "may only use materials and design characteristics selected from the following list," which is referenced in the guidelines. The outbuilding includes a shallow (6/12) roof pitch, instead of the 12/12 recommended in the guidelines; however, the primary house has a roofline less steep than a 12/12. The other materials proposed in the revised drawings and the materials list meet the design guidelines.
4. The proposed basement-level windows are compatible in design with the original house. Fiberglass windows would not be appropriate within the guidelines as replacement windows for original wood windows; however, new fiberglass windows may be appropriate for new windows on minimally visible elevations, particularly at grade, where moisture intrusion at ground/basement level may affect wood window materials.

Staff Recommendation

Staff recommends approval of Certificate 6-H-24-HZ, subject to one condition: 1) final site plan to meet City Engineering standards and requirements of the City zoning code.



DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☒ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

EthanFields

Applicant

6/3/24

6-20-24

6-H-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☒ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Ethan Fields

F.E. Trainer Construction

Name

Company

1185 Keowee Ave

Knoxville

TN

37919

Address

City

State

Zip

865-255-5190

efields@fetconstruction.com

Phone

Email

CURRENT PROPERTY INFO

Kathleen & Michael Fischer

128 W. Glenwood Ave

(865) 450-4176

Owner Name (if different from applicant)

Owner Address

Owner Phone

128 W. Glenwood Ave

081LM001

Property Address

Parcel ID

Old North Knoxville

RN-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

6.3.24

Staff Signature

Please Print

Date

Ethan Fields

Digitally signed by Ethan Fields
Date: 2024.06.03 14:01:29 -04'00'

Ethan Fields

6-3-24

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☒ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☒ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☒ Brief description of work: New detached garage w/ breezeway to lower patio. Re-roof existing home

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	TOTAL: 100.00
100.00	
FEE 2:	
FEE 3:	

OPTION 1

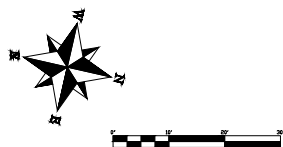
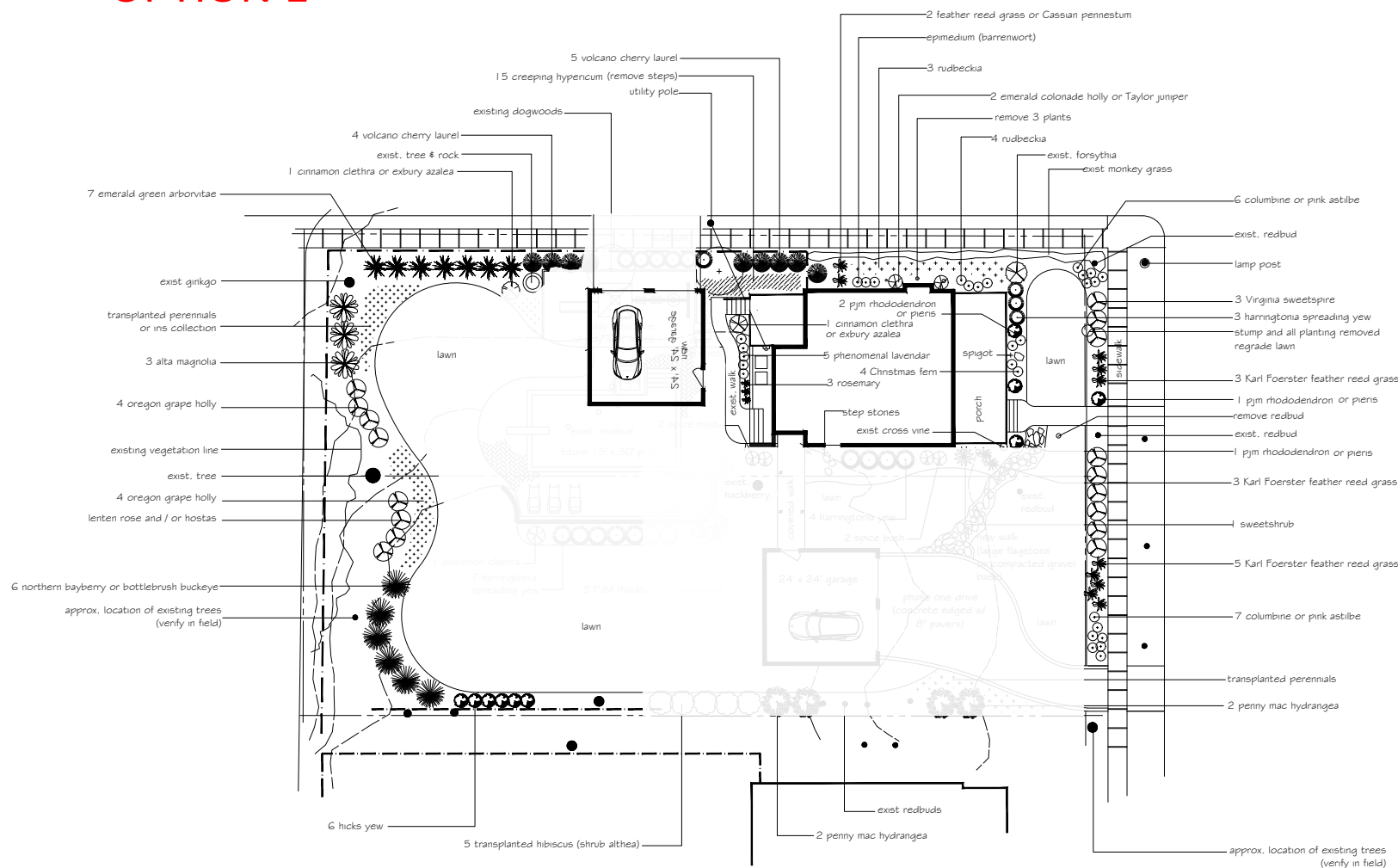


GARRY L. MENENDEZ ASLA

865-688-0031

JANUARY 24, 2024

*Edited by FETC to show current scope of work only.
Pool & Plantings to be done by Others in Future (mkw)



REVISED DESIGN - 2

REVISED DESIGN - 2

FISCHER RESIDENCE

128 W. GLENWOOD AVE. KNOXVILLE, TN

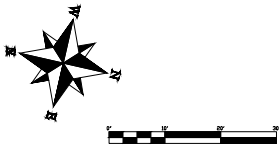
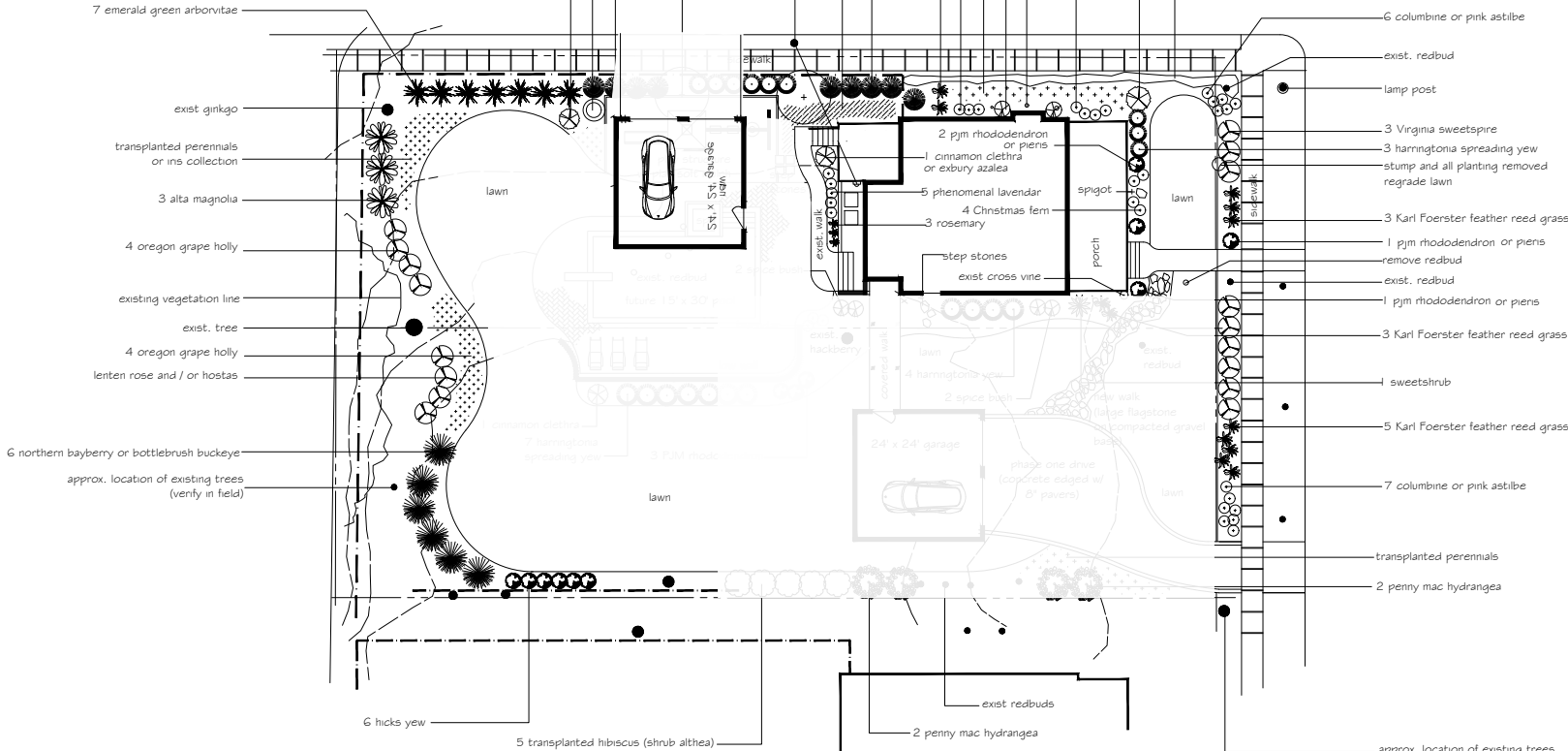
OPTION 2



865-688-0031

JANUARY 24, 2024

*Edited by FETC to show current scope of work only.
Pool & Plantings to be done by Others in Future (mkw)



REVISÉ DESIGN - 2

FISCHER RESIDENCE

128 W. GLENWOOD AVE. KNOXVILLE, TN

STANDARD CONSTRUCTION NOTES

General-

1.All construction, plumbing, electrical and mechanical will comply with the IRC One and two Family Dwelling Code and State, County and Municipal Codes.

2.Construction shall comply with all Covenants, Conditions and Restrictions recorded against the land.

3.General contractor and all subcontractors will review plans for accuracy and verify all dimensions and compliance with above codes (see #1) prior to the start of construction. Bids submitted will be according to such review.

4.Safety, care of adjacent properties during construction, and compliance with all applicable safety regulations is, and shall be, the contractors and subcontractors responsibility.

5.All trees to be protected from damage of construction process and machines unless approved for removal by owner.

6.Storm water drains (within 5' of foundation wall) shall be of material as specified for sanitary drainage work. Storm water sewers (5' and beyond foundation) shall be of an approved material as per plumbing contractor.

Concrete-

1.Concrete shall be 5-7% air entrained with a minimum compressive strength of:
a) 2500 psi for basement walls and foundations not exposed to weather and for basement slabs and interior slabs on a grade.

b) 3000 psi for basement foundation and exterior walls and other vertical work exposed to weather;

c) 3500 psi for carport and garage floor slabs for porches and steps exposed to weather. [Table R402.2].

2.All concrete form work to be adequately tied together and braced to form a true line, square corners and plumb walls.

3.All reinforcing bars shall conform to ASTM Spec (A625 Deformed bars with minimum yield stress of 60,000 psi [Table R404.1.2.1.3.1]).

Welded wire fabric to be 6x6, 10/10, conforming to ASTM spec 185.

4.Poured footing to be poured on level (less the 1" in 10'-0" slope), undisturbed soil.

5.Install 3"x3"x0.224 plate washers between foundation sill plate and nut on all foundation bolts.

6.Crawl space venting minimum 1.0 sq.ft. for each 150 sq.ft. of foundation area.

Metal-

1.All flashing to be 24 ga. G.I. metal. Gravel stops and beam caps to be 22 ga. G.I. metal.

2.All framing connections to be Simpson Company, or approved equivalent. Simpson HI to be used at each truss to top plate connection.

Framing-

1.Exposed plywood to be exterior grade CGX. Nail 6" on edge 12" in field.

2.All dimension lumber to be Douglas Fir-Larch, 2x4 standard or better all other #2 or better unless noted otherwise.

3.All walls to be double plated, and plated joints will not be less than 48" apart. Top plate of interior partitions shall tie full into exterior wall plate.

4.Provide operable egress windows at basement and every sleeping room with a minimum clear opening of 5.7 sq.ft. (Ground floor egress window 5 sq.ft.) Least operable height: shall be net 24"; least operable width: shall be net 20"; sill height shall not be more than 44" above the floor. (R310.1).

5.Level changes at entries to be minimum 1/2" maximum 1 1/2".

6.Exterior bearing wall headers to be as per framing plans.

7.Interior bearing wall headers to be 4x6#2 df-l unless noted.

8.Plumbing walls to be 2x6 (verify with plumbing contractor).

9.Provide blocking for backing: Shower rod, 84" height; Towel rod, 42" height; Curtain rod, each side of all windows.

10.All pre-wiring for telephone, TV, Stereo etc., to be coordinated with owner.

11.All trusses to be per manufacturers engineering specifications. Truss details to be provided upon framing inspection. Truss manufacturer to verify all spans and configurations prior to truss fabrication.

12.Trusses shall not bear on interior partitions unless so designed.

13.Insulation baffles to be CDX plywood (or approved equal); no felt paper allowed. Use scrap if available.

Thermal Protection-Optional at unconditioned spaces.

1.Insulation required as follows:

Exterior Walls; R-21

Floors; R-30

Ceiling; R-30

2x10 or 2x12 Rafter vaulted ceiling for a maximum of 50% of the heated floor space area shall be allowed with R-30 insulation.

Foundation Walls; R-15

Forced Air Duct; R-8

Water Heater; R-11 wrap

Slab on grade; R-15

2.Six millimeter black polyethylene (reinforced if under slab) ground cover required at foundation.

3.Vapor barriers at exterior walls (one dry cup rating or less).

4.Doors and windows to be weather-stripped.

5. Windows shall have a maximum U-0.35. Skylights: Maximum U0.60

6. Exterior doors shall have a maximum U-0.20. Exterior doors with >2.5 sq.ft. glazing shall have a maximum U-0.40 (double pane with low-e coating or tripple pane glazing shall be deemed to comply with the U-0.40 requirement).

Finish-

1.All finishes to be identified by owner, including cabinets, doors, and finish trim, etc.

2.Flash all exterior doors, windows, and horizontal wood trim as required.

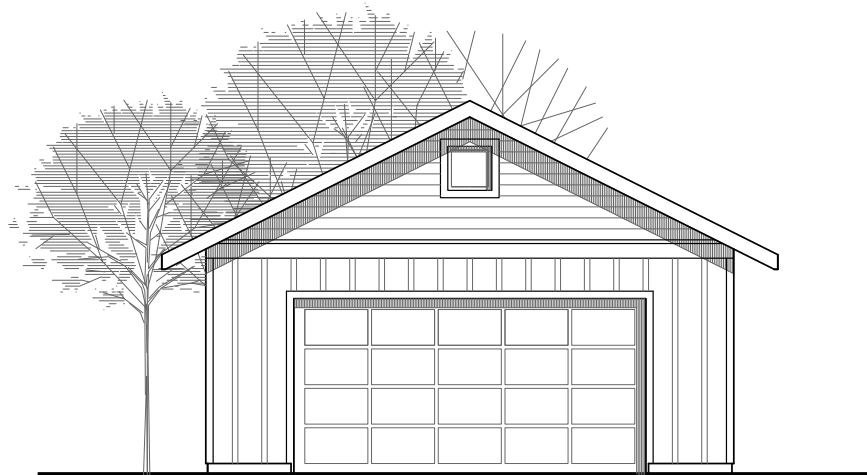
3.Counter tops to be self edged, and coved, (or as per owner)

4.All open flames and glow elements to be minimum 18" above garage floor.

5.The garage shall be completely separated from the residence and its attic area by means of type "X" board or equivalent applied to the garage side. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall be protected by type "X" board or equivalent. [R-302.6]

6.Recessed light fixtures installed in insulated cavities shall be labeled as suitable for being installed in direct contact with insulation, i.e. IC rated.

7.Minimum hallway width 36". Finish wall to finish wall. [R-311]



FRONT ELEVATION

TITLE:	FRONT ELEVATION & STANDARD CONSTRUCTION NOTES
DATE:	02/29/24
DRAWN BY:	KA
CHECK BY:	TT
SCALE:	NONE

Associated
DESIGNS

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DESIGNS, INC.

www.associateddesignsinc.com

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EUGENE, OREGON
97402-1103
(541) 461-2082
FAX: (541) 461-1214

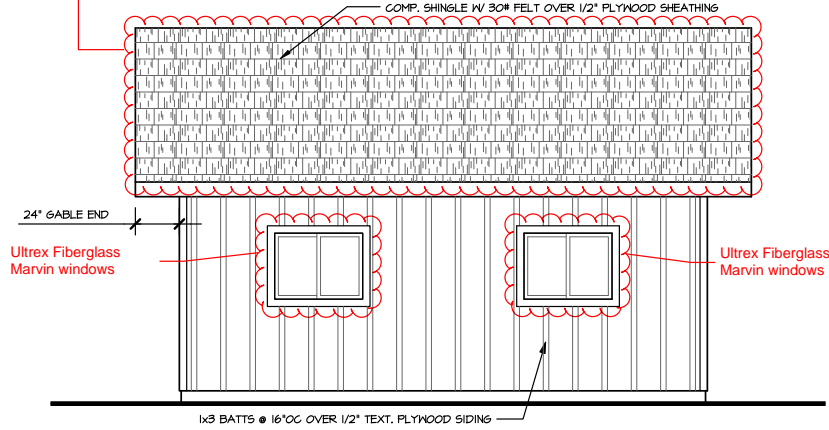
REVISIONS:

REVISION OF:
20-054

PROJECT:
20-567

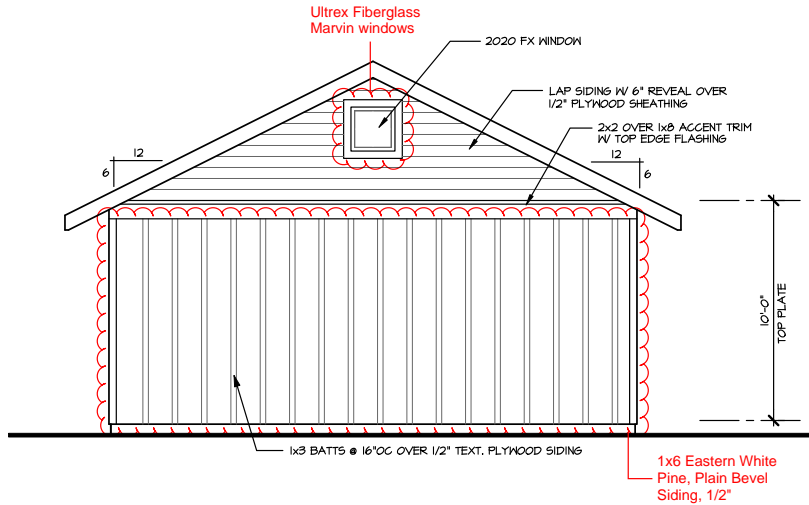
SHEET
12 OF 13

Asphalt Certainteed
Belmont Architectural
Shingle in Charcoal
Grey



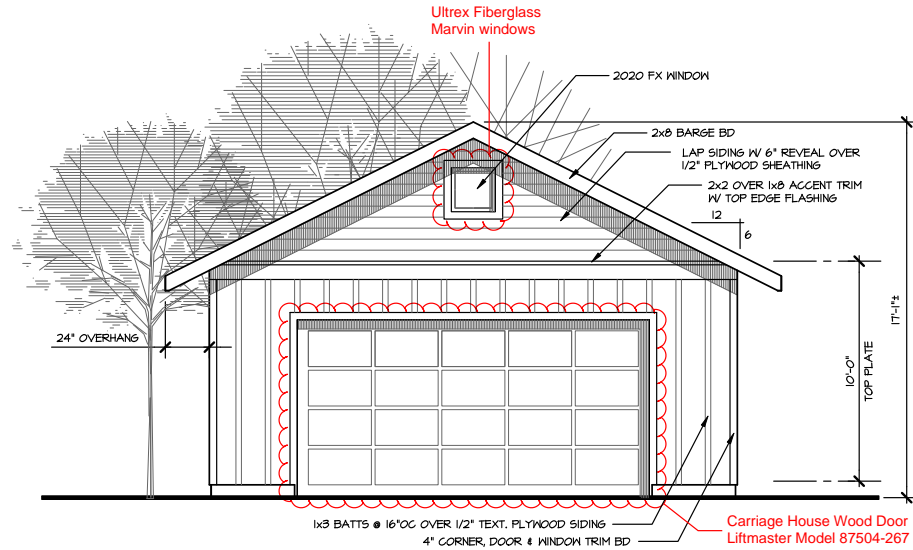
LEFT ELEVATION

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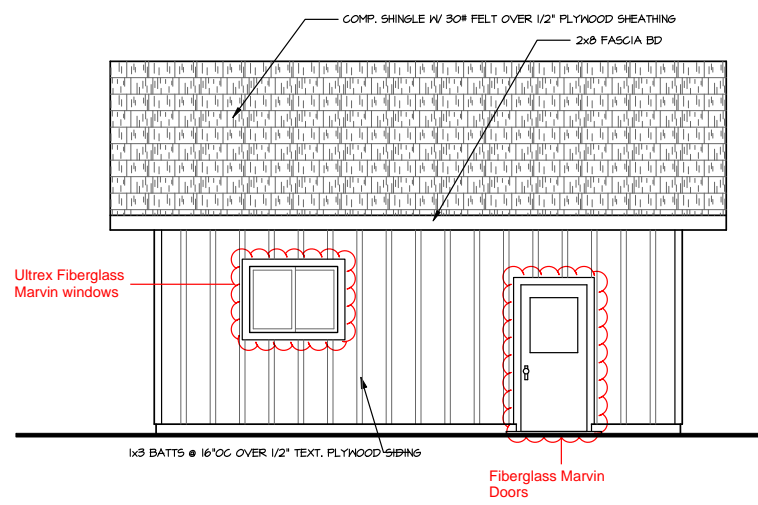
REAR ELEVATION

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

NOTES:

OWNER & BUILDER/CONTRACTOR(S) TO REVIEW PLAN FOR COMPLETENESS AND ACCURACY PRIOR TO CONSTRUCTION. NOTIFY ASSOCIATED DESIGNS INC. OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.

ASSUMED DESIGN LOADS:

LIVE LOAD @ FLOOR	=	40 PSF
DEAD LOAD @ FLOOR	=	10 PSF
LIVE/SNOW LOAD @ ROOF	=	25 PSF
DEAD LOAD @ ROOF	=	10 PSF
SOIL BEARING PRESSURE	=	1500 PSF

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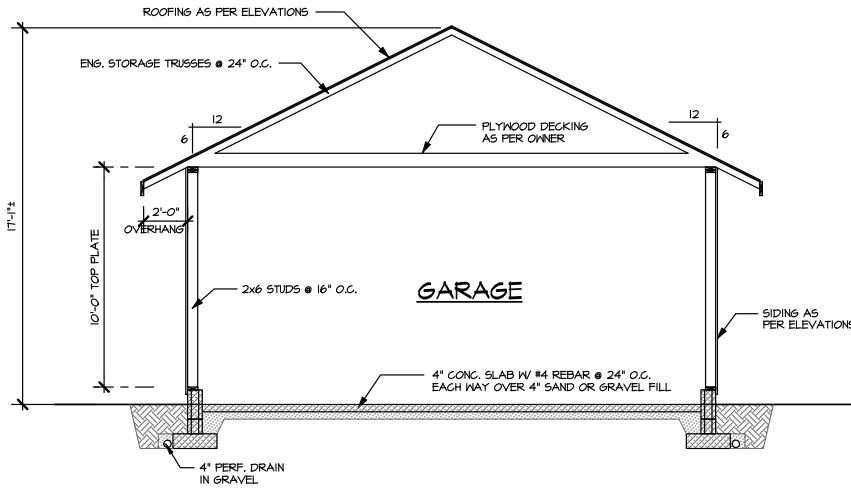
PREPARED FOR:
MICHAEL FISCHER
128 W. GLENWOOD AVE.
KNOXVILLE, TN 37917
PHONE: (518) 488-8426

TITLE: ELEVATIONS
DATE: 02/29/24
SCALE: 1/4"=1'-0"

DESIGNS

ASSOCIATED
DESIGNS, INC.
1100 JACOBS DRIVE
EUGENE, OREGON
97402-1103
(541) 461-2082
FAX: (541) 461-1274

REVISIONS:
REVISION OF:
20-054
PROJECT:
20-567
SHEET
1 OF 3



SECTION A-A

SCALE: 1/4"=1'-0"

LEGEND:

READING DOOR & WINDOW SIZES.
SIZES ARE LISTED AS FEET/INCHES/FEET/INCHES.
I.E., 3068 DOOR IS 9'-0" WIDE x 6'-8" TALL
5040 WINDOW IS 5'-0" WIDE x 4'-0" TALL

STANDARD ABBREVIATIONS:

DOORS

SC SOLID CORE
FR, DR. FRENCH DOOR
PKT DR. POCKET DOOR
FR. PAIR
BF BI-FOLD
BP BI-PASS

WINDOWS

FX FIXED
CSMT CASEMENT
SH SINGLE HUNG
XO HORIZONTAL SLIDER
(TWO PANEL)
XOX HORIZONTAL SLIDER
(THREE PANEL)

FLOOR PLAN

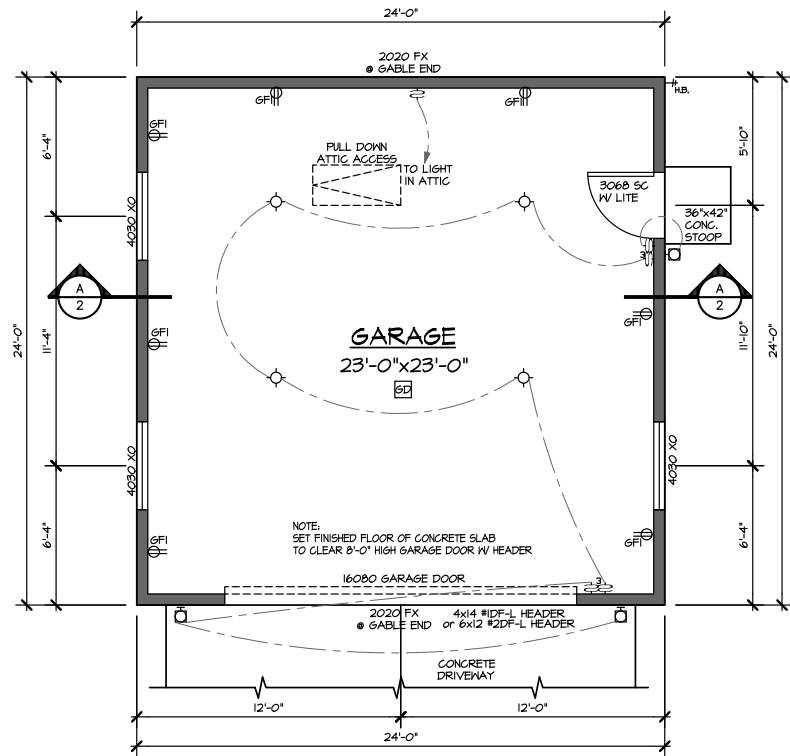
C.O. CASED OPENING
DBL DOUBLE
DN DOWN
DM DISHWASHER
GD GARBAGE DISPOSAL
HB HOSE BIB
REF REFRIGERATOR
MW MICROWAVE
A.F.F. ABOVE FINISHED FLOOR
S & P SHELF & POLE
V.T.O. VENT TO OUTSIDE

WALL BRACING NOTE:

WALL BRACING REQUIREMENTS SHALL BE REVIEWED BY LOCAL PROFESSIONAL TO COMPLY WITH IRC SECTION R602.10 OR WHEN APPLICABLE SECTION R602.12. CONTRACTOR TO REFER TO WALL BRACING DESIGN FOR ADDITIONAL HOLD-DOWN AND NAILING REQUIREMENTS.

NOTES:

- EXTERIOR WALL HEADERS TO BE 4x8 #2 DF-L W/ 2" RIGID INSULATION, UNLESS NOTED OTHERWISE.
- SOLID BLOCKING OF POSTS AT BEAM, HEADER AND POINT LOADS TO BE 2x STUDS NAILED TOGETHER TO MATCH THE WIDTH OF THE SUPPORTING MEMBER ABOVE (EX: (2) 2x STUDS @ 4x BEAM, (3) 2x STUDS @ 6x BEAM, ETC.) UNLESS NOTED OTHERWISE.
- COORDINATE PREWIRE FOR TV, STEREO, TELEPHONE AND SECURITY SYSTEM WITH OWNER.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL NAILING TO BE IN COMPLIANCE W/ IRC TABLE R602.3(1) OR IBC TABLE 2304.4.1.
- LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.
- GROUND FAULT CIRCUIT PROTECTION REQUIRED FOR ALL 110 VOLT, SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED OUTSIDE, IN GARAGE, BATHROOMS, WITHIN 12" OF KITCHEN SINK OR ABOVE KITCHEN COUNTERS.



LIGHTING LEGEND

- ⬤ CEILING LIGHT
- ⬢ WALL MOUNTED LIGHT
- ⊕ WALL OUTLET
- ⊕ GFI WALL OUTLET, GROUND FAULT INTERRUPT
- 3/3 3 WAY SWITCH
- ⬢ GARAGE DOOR OPENER

SQUARE FOOTAGE:

GARAGE 576 SQ. FT.

REVIEWED RM DIMS/SQ.FT., KA CHECK: TT UPDATED: 02/29/24

FLOOR PLAN W/ ELECTRICAL

SCALE: 1/4"=1'-0"

PREPARED FOR:
MICHAEL FISCHER
128 W. GLENWOOD AVE.
KNOXVILLE, TN 37917
PHONE: (518) 488-8426

TITLE: FLOOR PLAN
& SECTION A-A

DATE: 02/29/24
SCALE: 1/4"=1'-0"
DRAWN BY: KA
CHECK BY: TT
NOTED BY: KA

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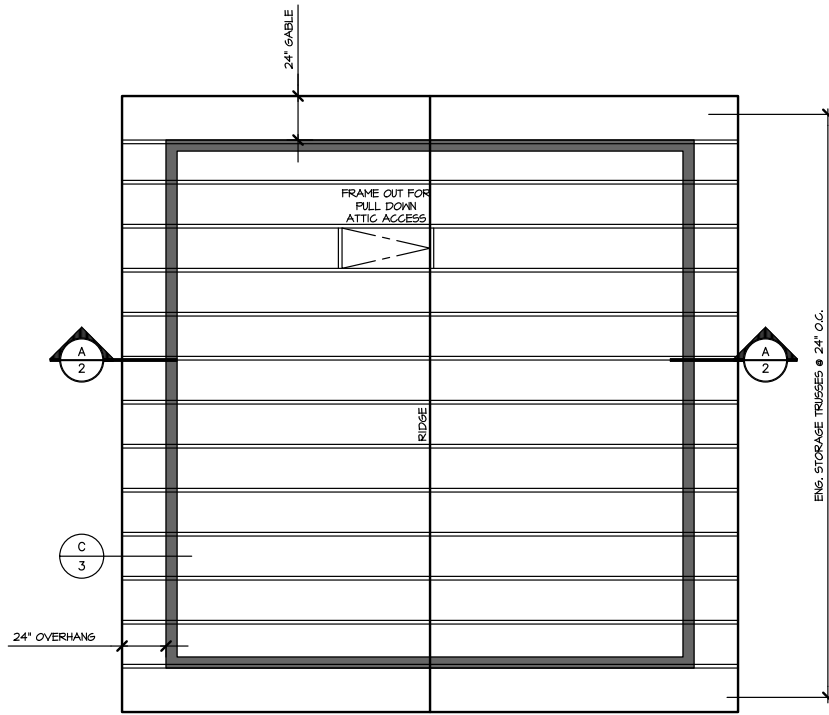
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REVISIONS:

REVISION OF: 20-054

PROJECT: 20-567

SHEET 2 OF 3



ROOF FRAMING PLAN

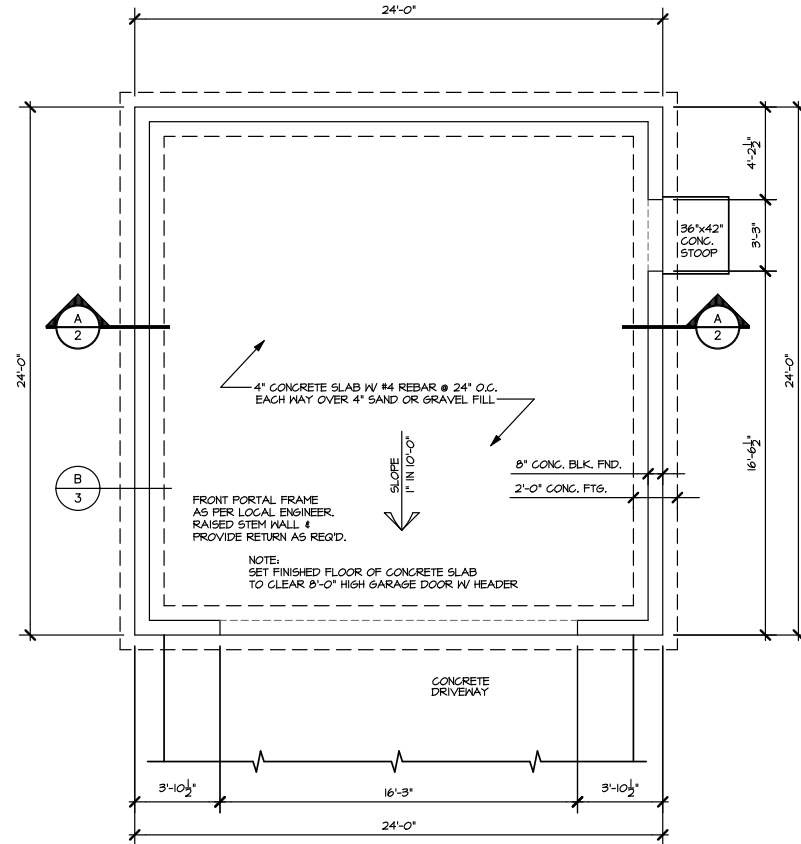
SCALE: 1/4"=1'-0"

ROOF VENTING:

PROVIDE ONE (1) SQ.FT. VENTING FOR EACH 150 SQ.FT. ATTIC AREA. USE CONTINUOUS RIDGE VENTS AND SOFFIT VENTS AS REQUIRED. (8"x8" JACK VENTS MAY BE USED IN PLACE OF RIDGE VENTS).

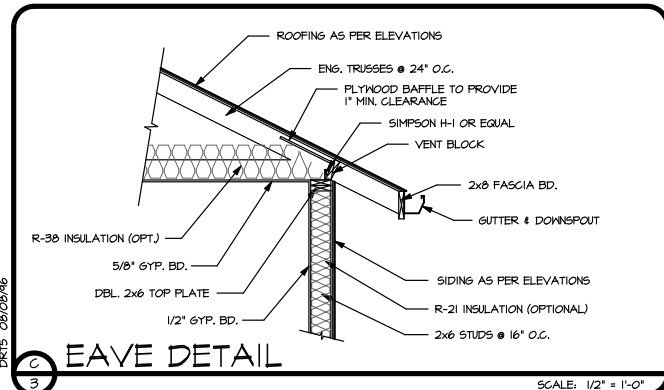
NOTES:

- USE METAL FASTENERS AT ALL BEAM TO SUPPORT MEMBERS.
- TYPICAL ROOF PITCH IS 6" IN 12".
- SOLID BLOCKING OF POSTS AT BEAM, HEADER AND POINT LOADS TO BE 2x STUDS NAILED TOGETHER TO MATCH THE WIDTH OF THE SUPPORTING MEMBER ABOVE (EX: (2) 2x STUDS @ 4x BEAM, (3) 2x STUDS @ 6x BEAM, ETC.) (EX: (2) 2x STUDS @ 2-PLY TRUSS, (3) 2x STUDS @ 3-PLY TRUSS, ETC.)
- SEE FLOOR PLAN FOR HEADER SIZES.
- TRUSS MFG. TO VERIFY ALL DIMENSIONS PRIOR TO TRUSS ASSEMBLY.
- PROVIDE 22"x30" ATTIC ACCESS TO ANY ATTIC AREA WITH CLEAR HEIGHT GREATER THAN 30".
- ALL NAILING TO BE IN COMPLIANCE W/ IRC TABLE 602.3(1) OR IBC TABLE 2304.9.1.
- LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.



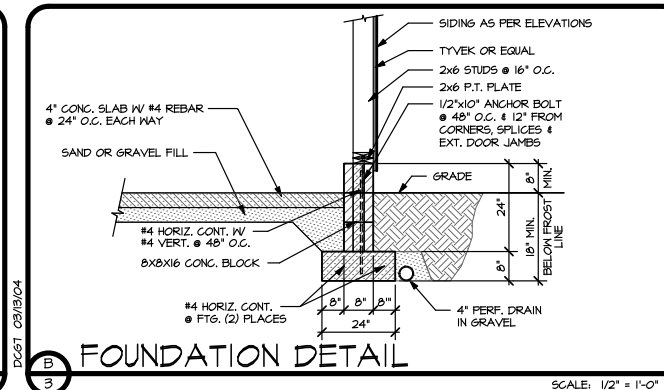
FOUNDATION PLAN

SCALE: 1/4"=1'-0"



EAVE DETAIL

SCALE: 1/2"=1'-0"



FOUNDATION DETAIL

SCALE: 1/2"=1'-0"

NOTES:

- USE METAL FASTENERS AT ALL POST TO FOOTING CONNECTIONS.
- ALL NAILING TO BE IN COMPLIANCE W/ IRC TABLE 602.3(1) OR IBC TABLE 2304.9.1.
- LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.

WALL BRACING NOTE:

WALL BRACING REQUIREMENTS SHALL BE REVIEWED BY LOCAL PROFESSIONAL TO COMPLY WITH IRC SECTION R602.10 OR WHEN APPLICABLE SECTION R602.12. CONTRACTOR TO REFER TO WALL BRACING DESIGN FOR ADDITIONAL HOLD-DOWN AND NAILING REQUIREMENTS.

PREPARED FOR:
MICHAEL FISCHER
128 W. GLENWOOD AVE.
KNOXVILLE, TN 37917
PHONE: (518) 488-8426

TITLE: **FOUNDATION & ROOF FRAMING PLAN & DETAILS**
DATE: **02/29/24**
SCALE: **1/4"=1'-0"**
DRAWN BY: **KA**
CHECK BY: **BT**
NOTED BY: **KA**

Associated DESIGNS

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FAX: (541) 461-1274

REVISIONS:
REVISION OF: **20-054**
PROJECT: **20-567**
SHEET **3** OF **3**

Fischer Materials List for HZC

General	Material	Descriptions	Specs
Siding	Eastern White Pine	1x6 Eastern White Pine, Plain Bevel Siding, 1/2"	<p>1x6 White Pine Plain Bevel Siding Specifications:</p> <ul style="list-style-type: none"> • Alternate Names: Clapboard Siding • Installed Coverage: This siding can be installed at a variety of widths based on desired exposure. It is most often installed at a 4 1/2" exposure. • Total Height: 5 1/2" • Thickness at Siding Top (Tip): 1/8" • Thickness at Siding Bottom (Butt): 1/2" • Grade: NeLMA Premium Grade • Surfacing: Reversible board with one light rough textured face and one smooth face • Available Lengths: 8', 10', 12', 14', and 16'. This product is available in random length piece counts only. • Typical Weight: 1/2 lbs. per linear foot • Recommended Fasteners: Stainless Steel Nails or Screws • Cutting Waste: We recommend allowing approximately 5%-10% cutting waste for walls and 15%-25% for gable ends depending on the roof angle. • Hewing Option: Hand Hewing is not available with this profile. • False Corners Option: False Corners are not available with this profile. • Shipping Options: Flat-bed tractor trailer, Roll Back, LTL Carrier. Shipping method is determined based on location and order size to minimize cost. • Details Disclaimer: While we strive to ensure product details are always accurate, product specifications may change and images shown may not represent current dimensions. Please call us if you would like to receive an up-to-date profile drawing.
Shingles	Asphalt	Cetainteed Belmont Architectural Shingle (Charcoal Grey)	<p>TECHNICAL DATA</p> <p>Weight/Square (approx.): 275 lb.</p> <p>Dimensions (overall): 18" x 36"</p> <p>4 bundles of 12 shingles: 48 shingles cover 96 sq. ft.</p> <p>Shingles/100 sq. ft.: 50 (4.167 bundles)</p> <p>Weather Exposure: 8</p>
Windows	Ultrex Fiberglass	Marvin windows Windows are new windows only, no existing windows are being replaced	<p>Stone White Exterior</p> <p>White Interior</p> <p>IG</p> <p>Low E3 w/Argon</p> <p>Stainless Perimeter and Spacer Bar</p> <p>White Weather Strip Package</p> <p>2 White Sash Lock</p> <p>Exterior Aluminum Screen</p> <p>Stone White Surround</p> <p>Bright View Mesh</p> <p>4 9/16" Jambs</p> <p>Nailing Fin</p>

Fischer Materials List for HZC			
General	Material	Descriptions	Specs
Doors	Fiberglass	Marvin doors	Ext Smooth Star Single Door 36" x 80" S1350-SDLLE (SDL), 6 9/16" FrameSaver, 5/4 x 4 Flat PVC Flat Casing, Right Hand Inswing, Oil Rubbed Bronze Adjustable Hinges, Mill Finish w Light Cap Composite Adjustable Sill, Bronze Compression Weatherstripping, Double Lock Bore 2-3/8" Backset Bore
Garage Door	Wood Door	Rosemont Carrage Style	Carriage House Wood Door Size: 16 x 8 Style: Rosemont Garrage Style Window: 3 pane glass Color: Stainable All new track, trim and springs

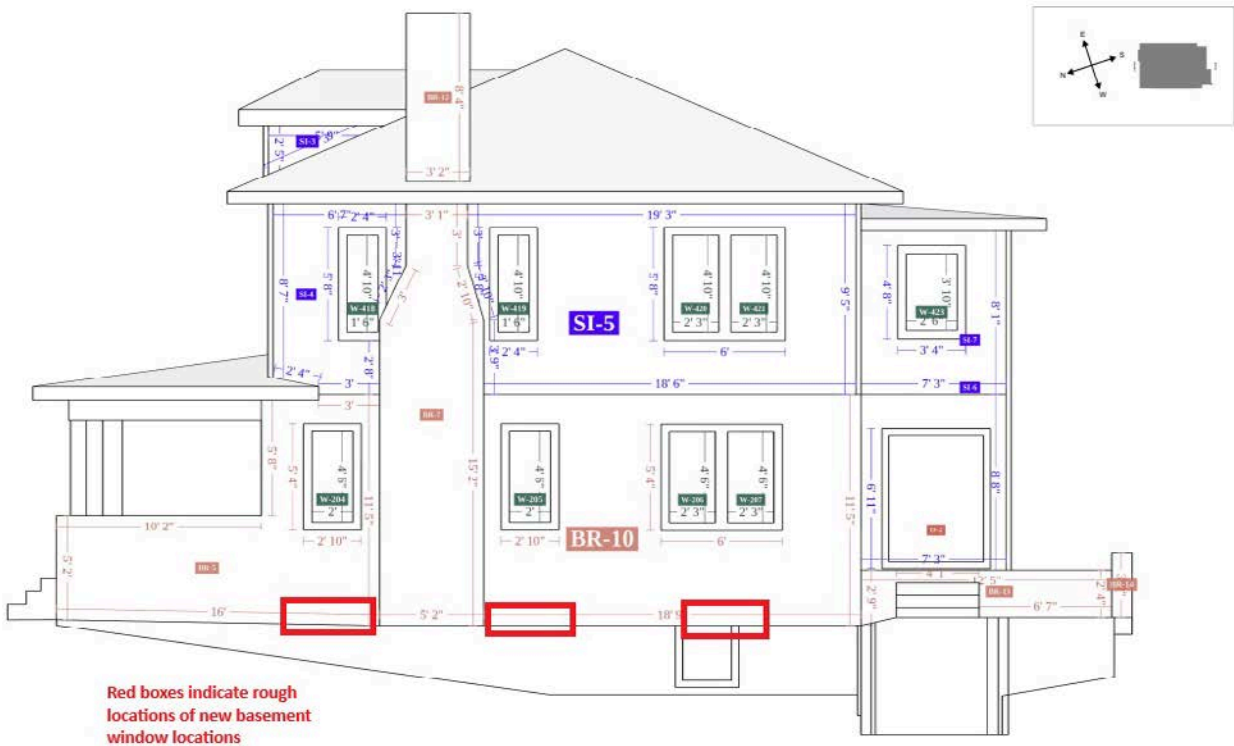


Ultrex Fiberglass
Marvin windows

Windows Response

The windows at the basement will be new and not replacing any existing windows. Instead they will be located where basement windows were previously located but filled in with brick. They are located on the Armstrong side of the home facing the sidewalk. The brick patch is noticeable and we will remove the 3 patches (marked in red) and fill in with windows sized to fit the original opening. Below is a picture showing where the windows will be installed.





The windows on the garage are not replacing any existing windows and will be located on the sides of the structure, not facing the main road.

Garage Location

The backyard of this property frequently suffers from flooding during rain events. Runoff from the side street into the bowl shaped area will fill the area and cause it to become marshy and muddy. The garage has been relocated to be behind the house, in the back 3rd of the property. This will hide the garage from the Glenwood side of the house. It also keeps the garage away from the section of the property that floods during large rain events.



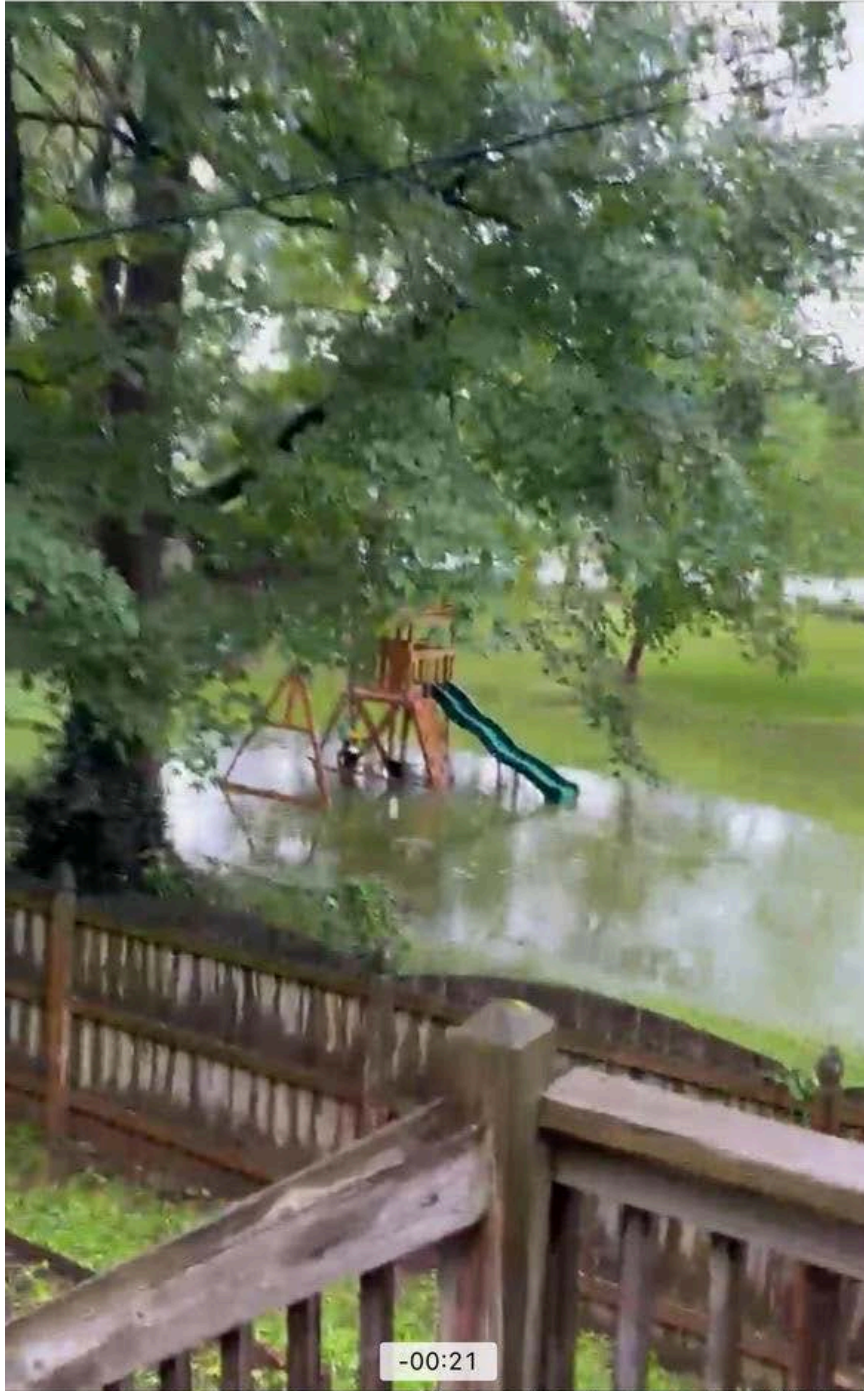
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◀ Mail

5G 16

Video ▼

Done



Plan Discrepancies from Materials List

The plans for the project were purchased offline. The materials being selected and used are those that are denoted on the materials list.

Trainer-Fischer Trainer-Fischer

Quote #: FCWW5FC

A Proposal for Window and Door Products prepared for:

Job Site:
37917

Shipping Address:

HOMECHOICE WINDOW & DOOR
1116 N 6TH AVE
KNOXVILLE, TN 37917

Featuring products from:



ADAM NELSON
HOMECHOICE WINDOW & DOOR
8719 KINGSTON PIKE
KNOXVILLE, TN 37923-5111
Phone: (865) 357-7007

Email: adam@thehomechoice.net

This report was generated on 5/15/2024 9:28:58 AM using the Marvin Order Management System, version 0004.08.01 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

UNIT SUMMARY

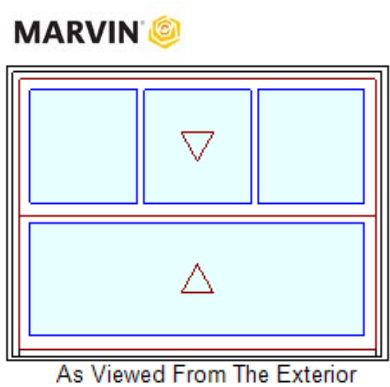
The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.
Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 6		TOTAL UNIT QTY: 11		EXT NET PRICE: USD		10,469.28
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	Garage	Elevate	Double Hung CN 4836 RO 48 1/2" X 36 1/4"	964.87	3	2,894.61
2	Gable	Elevate	Direct Glaze Rectangle RO 25" X 24 1/2"	590.26	2	1,180.52
3	Man Door Therma Tru	Non-Marvin	Materials Ext Smooth Star Single Door 36" x 80" S1350-SDLLE (SDL), 6 9/16" FrameSaver, 5/4 x 4 Flat PVC Flat Casing, Right Hand Inswing, Oil Rubbed Bronze Adjustable Hinges, Mill Finish w Light Cap Composite Adjustable Sill, Bronze Compression Weatherstripping, Double Lock Bore 2-3/8" Backset Bore	1,373.60	1	1,373.60
4	Basement Stairwell	Elevate	Awning RO 39" X 24 1/2"	1,111.17	1	1,111.17
5	Street Side Windows	Elevate	Direct Glaze Rectangle RO 39" X 16 1/2"	918.36	3	2,755.08
6	existing dh basement	Elevate	Double Hung RO 39" X 58 1/2"	1,154.30	1	1,154.30

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: Garage	Net Price:		964.87
Qty: 3		Ext. Net Price:	USD	2,894.61



CN 4836
FS 47 1/2" X 35 3/4"
RO 48 1/2" X 36 1/4"
Egress Information
Width: 44 3/8" Height: 12 31/32"
Net Clear Opening: 4.00 SqFt
Ultrrex Fiberglass: AAMA 624

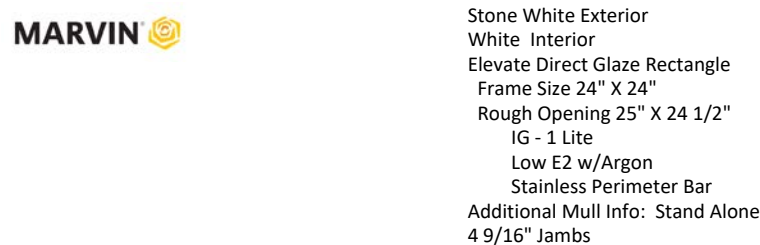
Stone White Exterior
White Interior
Elevate Double Hung
CN 4836
Rough Opening 48 1/2" X 36 1/4"
Glass Add For All Sash
Top Sash
Stone White Exterior
White Interior
IG
Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W1H
Stone White Ext - White Int
Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.
Bottom Sash
Stone White Exterior
White Interior
IG - 1 Lite
Low E3 w/Argon
Stainless Perimeter Bar
White Weather Strip Package
2 White Sash Lock
Exterior Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jamb
Nailing Fin
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
*****Note: Unit Availability and Price is Subject to Change**

Initials required

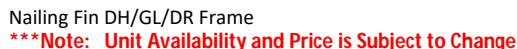
Seller: _____

Buyer: _____

Line #2	Mark Unit: Gable	Net Price:		590.26
Qty: 2		Ext. Net Price:	USD	1,180.52



Stone White Exterior
White Interior
Elevate Direct Glaze Rectangle
Frame Size 24" X 24"
Rough Opening 25" X 24 1/2"
IG - 1 Lite
Low E2 w/Argon
Stainless Perimeter Bar
Additional Mull Info: Stand Alone
4 9/16" Jamb



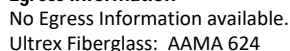
Buyer:

No Egress Information available.
Ultrax Fiberglass: AAMA 624

Materials Ext Smooth Star Single Door 36" x 80" S1350-SDLLE (SDL), 6 9/16" FrameSaver, 5/4 x 4 Flat PVC Flat Casing, Right Hand Inswing, Oil Rubbed Bronze Adjustable Hinges, Mill Finish w Light Cap Composite Adjustable Sill, Bronze Compression Weatherstripping, Double Lock Bore 2-3/8" Backset Bore

Initials required

Buyer:

MARVIN® 

***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.

Page 4 of 7

***Note: Unit Availability and Price is Subject to Change

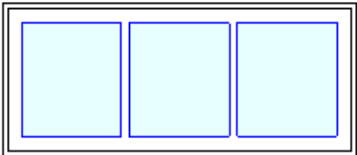
Initials required

Seller: _____

Buyer: _____

Line #5	Mark Unit: Street Side Windows	Net Price:		918.36
Qty: 3		Ext. Net Price:	USD	2,755.08

MARVIN 



As Viewed From The Exterior

FS 38" X 16"
RO 39" X 16 1/2"
Egress Information
No Egress Information available.
Ultrex Fiberglass: AAMA 624

Stone White Exterior
White Interior
Elevate Direct Glaze Rectangle
Frame Size 38" X 16"
Rough Opening 39" X 16 1/2"
IG
Tempered Low E3 Frost w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W1H
Stone White Ext - White Int
Additional Mull Info: Stand Alone
4 9/16" Jambos
Nailing Fin CA/AWN Frame
***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
***Note: Unit Availability and Price is Subject to Change

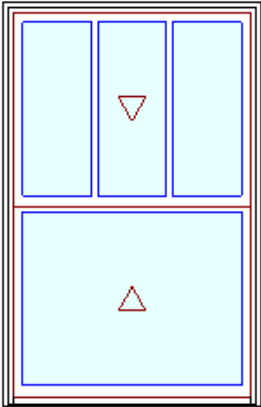
Initials required

Seller: _____

Buyer: _____

Line #6	Mark Unit: existing dh basement	Net Price:		1,154.30
Qty: 1		Ext. Net Price:	USD	1,154.30

MARVIN 



As Viewed From The Exterior

FS 38" X 58"
RO 39" X 58 1/2"
Egress Information

Stone White Exterior
White Interior
Elevate Double Hung
Frame Size 38" X 58"
Rough Opening 39" X 58 1/2"
Glass Add For All Sash
Top Sash
Stone White Exterior
White Interior
IG
Low E3 w/Argon
Stainless Perimeter and Spacer Bar
7/8" SDL - With Spacer Bar - Stainless
Rectangular - Special Cut 3W1H
Stone White Ext - White Int
Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.
Bottom Sash
Stone White Exterior
White Interior
IG - 1 Lite
Low E3 w/Argon
Stainless Perimeter Bar
White Weather Strip Package

Accepted:

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Page 5 of 7

Width: 34 7/8" Height: 24 3/32"
Net Clear Opening: 5.84 SqFt
Ultrex Fiberglass: AAMA 624

1 White Sash Lock
Exterior Aluminum Screen
Stone White Surround
Bright View Mesh
4 9/16" Jambs
Nailing Fin

***Note: Divided lite cut alignment may not be accurately represented in the
OMS drawing. Please consult your local representative for exact specifications.

***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Project Subtotal Net Price: USD	9,095.68
Taxable Materials: USD	1,373.60
9.250% Sales Tax: USD	968.41
Project Total Net Price: USD	11,437.69

PURCHASE APPROVAL/SIGN OFF

Project Subtotal Net Price: USD	9,095.68
Taxable Materials: USD	1,373.60
9.250% Sales Tax: USD	968.41
Project Total Net Price: USD	11,437.69

I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve the project for order. I acknowledge that additional charges, tax or Terms and Conditions may apply.

BUYER:

Signature: _____

Title: _____

Date: _____

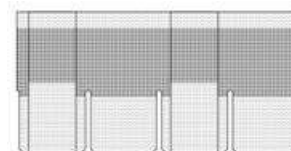
Seller: _____

Buyer: _____

Belmont® Shingles

PRODUCT INFORMATION

Belmont® AR is an asphalt shingle designed to look like natural slate, composed of a base shingle with multi-positioned tabs on the top, giving an authentic, natural look with true depth and dimension. It is most aesthetically appealing when used on slopes of 9" per foot or greater. When applied with underlayment, Belmont AR produces at least two layers of roof protection and the quality is reminiscent of handcrafted workmanship. It is designed to resist blow off in high wind conditions utilizing two rows of technologically advanced sealant on the back-side of the shingle. Belmont AR has a wind resistance up to 110-mph with normal installation and 130-mph with special installation.



Belmont shingles are algae-resistant (AR) and help protect against dark or black discoloration, sometimes called staining or streaking, caused by blue-green algae.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: Use on roofs with slopes 2" per foot or greater. However, slopes greater than 9" per foot best show the product design. Low slope applications (2:12 to < 4:12) require additional underlayment. In areas where icing along the eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

On slopes greater than 21" per foot, apply eight spots of roofing cement under the shingle and one additional fastener in each laminated tab according to application instructions provided on the shingle package.

Product Composition: Belmont AR shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. The laminated tabs are firmly adhered in a special tough asphaltic cement. These fiber glass based shingles have self-sealing adhesive applied.

Applicable Standards:

ASTM D3018 Type I
ASTM D3462
ASTM E108 Class A Fire Resistance
ASTM D3161 Class F Wind Resistance
ASTM D7158 Class H Wind Resistance
UL 790 Class A Fire Resistance

CSA Standard A123.5
ICC-ES ESR-1389 and ESR-3537
Miami-Dade Product Control Approved
Florida Product Approval # FL5444
Meets TDI Requirements

TECHNICAL DATA

Weight/Square (approx.):	275 lb.
Dimensions (overall):	18" x 36"
4 bundles of 12 shingles:	48 shingles cover 96 sq. ft.
Shingles/100 sq. ft.:	50 (4.167 bundles)
Weather Exposure:	8"

INSTALLATION

Detailed installation instructions are supplied on each bundle of Belmont shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

Special Application: CertainTeed Carriage House® AR shingles can be blended into a CertainTeed Belmont AR roof application to achieve a unique and distinctive appearance often done on traditional slate roofs. A common application method uses several courses of Carriage House AR in the middle of a Belmont AR roof. Generally, the exposure of the last course of Belmont AR in relation to the first course of Carriage House AR will need to be shortened by about 2" due to the Carriage House AR diamond cut height. Likewise, the last course of Carriage House AR could be shortened to balance the overall look associated with the first course application of Carriage House AR. Contact CertainTeed for more information.

Hips and Ridges: Use Cedar Crest® or Shingle Ridge® accessory shingles of a like color for capping hips and ridges.

MAINTENANCE

Belmont AR shingles require virtually no maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

Belmont AR carries a lifetime limited transferable warranty against manufacturing defects to the original homeowner when applied to stated CertainTeed application instructions for this product. In addition, Belmont also carries 10-year SureStart™ Protection. Belmont AR shingles carry a 15-year algae resistance warranty. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

FOR MORE INFORMATION

Sales Support Group: 800-233-8990

Web site: www.certainteed.com

See us at our on-line specification writing tool, CertaSpec, at www.certainteed.com/certaspec.

CertainTeed Roofing
20 Moores Road
Malvern, PA 19355

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CertainTeed
SAINT-GOBAIN