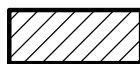


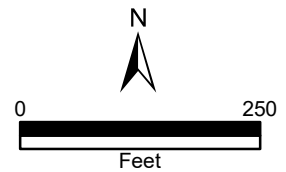
2-B-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1302 Luttrell St. 37917
Fourth and Gill H

Original Print Date: 2/6/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Laurie Meschke





Staff Report

Knoxville Historic Zoning Commission

File Number: 2-B-24-HZ

Meeting: 2/15/2024
Applicant: Laurie Meschke
Owner: Laurie Meschke

Property Information

Location: 1302 Luttrell St. **Parcel ID** 81 L K 014
District: Fourth and Gill H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Colonial Revival Four Square, c.1920

Two-story frame residence with a hipped roof clad in asphalt shingles, an exterior of wood lap siding, and a brick foundation. A gable-roof dormer with three adjoining windows is centered on the roofline. Full-length, hipped-roof porch supported by paired, tapered, fluted columns.

Description of Work

Level II Construction of Addition or Outbuilding

New secondary structure, measuring 34' wide by 24'-8" deep, to be located at the southeastern (rear right) corner of the property, behind the primary house and closer to Camp Avenue. The garage will be accessed by an existing curb cut and driveway extending north off Camp Avenue.

One-story, hipped-roof, garage with three garage bays facing the rear of the property. The hipped roof is a 5/12 pitch and clad in asphalt shingles, the building will be clad in smooth-finished fiber cement lap siding with an exposure to match the existing house, with cornerboards and base trim, and a concrete slab foundation. Two gable-roof dormers with three aluminum-clad fixed windows are centered on the front and rear roof slopes.

The west elevation (facing Luttrell Street) features a fiberglass door with transom and two bays of double-hung, aluminum-clad wood windows. A porch featuring paired 10" tapered columns on piers extends the length of the west elevation. The rear elevation features three steel insulated garage doors. The south elevation (fronting Camp Avenue) features two double-hung, aluminum-clad wood windows.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

1. Buildings resembling servants' quarters or carriage houses, work buildings, or simple one story garages are appropriate to be constructed in the Fourth and Gill Historic District. Their size and construction should use materials that correspond to the original primary buildings on the lot.

Comments

N/A

Staff Findings

1. 1302 Luttrell Street is a contributing resource to the Fourth and Gill National Register Historic District and local overlay.
2. The garage is proposed for the rear right corner of the property, set behind the primary structure. Due to the corner lot, it will be visible from the right-of-way. Placement of the garage is appropriate.
3. The height, scale, and overall massing of the secondary structure are compatible with the primary house and appropriate for the structure.
4. The new secondary structure will be aligned with the primary structure by the use of multiple design elements, including the dormers with three fixed windows, roof pitch and design, and porch columns. The garage will be differentiated from the house by the use of contemporary materials (fiber cement lap siding instead of wood).
5. Fiber cement lap siding has been approved for new secondary structures in the Fourth and Gill overlay. The application includes specifications for smooth finish boards and an exposure pattern and cornerboards to reflect the primary house.
6. Site plan modifications may be necessary to meet City Engineering standards; any revisions to the site plan could be approved by staff.

Staff Recommendation

Staff recommends approval of Certificate 2-B-24-HZ as submitted.



DESIGN REVIEW REQUEST

DOWNTOWN DESIGN (DK)

HISTORIC ZONING (H)

INFILL HOUSING (IH)

Lindsey White

Applicant

January 15, 2024

February 15, 2024

2-B-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Owner Contractor Engineer Architect/Landscape Architect


Laurie L. Meschke

| | | | |
|------------------|---------------------|-------|-------|
| Name | Company | | |
| 1302 Luttrell St | Knoxville | TN | 37917 |
| Address | City | State | Zip |
| 865-964-8368 | LLMeschke@gmail.com | | |
| Phone | Email | | |

CURRENT PROPERTY INFO

| | | |
|---|---|--------------|
| Loong Yong & Laurie L Meschke | 1302 Luttrell Street, Knoxville, TN 37917 | 865-964-8368 |
| Owner Name (if different from applicant) | Owner Address | Owner Phone |
| 1302 Luttrell Street, Knoxville, TN 37917 | 081LK014 | |
| Property Address | Parcel ID | |
| Fourth and Gill | R - Residential | |
| Neighborhood | Zoning | |

AUTHORIZATION

| | | |
|--|------------------|---------|
|  | Lindsay Crockett | 1/29/24 |
| Staff Signature | Please Print | Date |

| | | |
|--|---------------|------------|
| Lindsey White <small>Digitally signed by Lindsey White Date: 2024.01.25 08:27:25 -05'00'</small> | Lindsey White | 01/25/2024 |
| Applicant Signature | Please Print | Date |

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Construction of a new 810 SF garage/accessory structure

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

| | | |
|---------------|--|---------------|
| FEE 1: | | TOTAL: |
| 100.00 | | |
| FEE 2: | | |
| FEE 3: | | |

LUTTRELL STREET RESIDENCE

KNOXVILLE, TENNESSEE

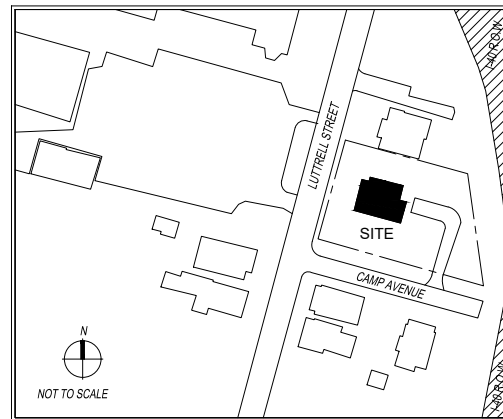
Owner: LOONG YONG & LAURIE MESCHKE
 Architect: LINDSEY A. WHITE, RA

Knoxville Tennessee
 Knoxville, Tennessee

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL, MECHANICAL AND STRUCTURAL SYSTEMS.
- THE INTENT OF THESE DRAWINGS ARE TO PROVIDE THE CONTRACTOR WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. ANY DISCREPANCIES CONTAINED WITHIN THESE DRAWINGS ARE TO BE IMMEDIATELY REPORTED TO THE ARCHITECT. DEVIATIONS FROM THESE DRAWINGS ARE AT THE CONTRACTORS RISK UNLESS APPROVED IN WRITING AND WITH SUPPLEMENTAL DRAWINGS FROM THE ARCHITECT.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, DIMENSIONS ARE FACES OF STRUCTURAL ELEMENTS, ETC. THE ARCHITECT RESERVES THE RIGHT TO MAKE SLIGHT ADJUSTMENTS DURING CONSTRUCTION. THESE ADJUSTMENTS SHALL BE DEEMED CLARIFICATIONS AND NOT CHANGE ORDERS.
- THESE PLANS ARE ACCURATE ONLY TO THE DEGREE OF ACCURACY OF THE MAPS FROM WHICH THE BASE FILE INFORMATION WAS TAKEN. THE BUILDER IS CAUTIONED AGAINST SCALING FROM THE DRAWINGS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING IN ALL DIRECTIONS AT THE MINIMUM RATE OF 1/4" PER FOOT SLOPE FOR PAVED SURFACES AND 1/2" PER FOOT FOR UNPAVED SURFACES, UNLESS OTHERWISE NOTED.
- CENTER ALL DOORS NOT LOCATED BY DIMENSIONS IN WALL LENGTH OR, AS INDICATED, LOCATE DOORS AT ENDS OF WALLS TO MAINTAIN MINIMUM 4" DOOR CASING/TRIM CLEARANCE TO NEAREST PERPENDICULAR WALL.
- PROVIDE BLOCKING IN PARTITIONS AS REQUIRED FOR TOILET ACCESSORIES, WALL MOUNTED FIXTURES, MILLWORK, RAILINGS, ETC.
- ALL EQUIPMENT AND FURNITURE LOCATIONS ARE TO BE VERIFIED IN FIELD FOR ACTUAL PLACEMENT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND COORDINATE ALL LOCAL UTILITY STANDARD OPERATING PROCEDURES FOR UTILITY MINIMUM CLEARANCES AND ADJACENCIES.

LOCATION / SITE PLAN



Knoxville, Tennessee

PROJECT INFORMATION

PROJECT DESCRIPTION:
 NEW DETACHED 810 SF GARAGE STRUCTURE

PROJECT ADDRESS:
 1302 LUTTRELL STREET
 KNOXVILLE, TN 37917

CONTRACTOR:
 DAVID HOWE
 865-237-2723

ARCHITECT:
 LINDSEY A. WHITE TN LICENSE #103271
 2536 POPPYWOOD RD
 KNOXVILLE, TENNESSEE 37932
 865-384-4444

UTILITIES:
 KNOXVILLE UTILITIES BOARD (KUB)

APPLICABLE CODES:
 2018 INTERNATIONAL RESIDENTIAL CODE
 WITH LOCAL AMENDMENTS

DESIGN LOADS (LIVE LOADS):
 ROOF 30 PSF
 FLOOR 40 PSF
 WIND 90 PSF
 SNOW 10 PSF
 SEISMIC CATEGORY C

WEATHERING: SEVERE
 FROST LINE DEPTH: 12 INCHES
 TERMITES: MODERATE TO HEAVY
 ICE SHIELD UNDERLAYMENT REQUIREMENT: NO

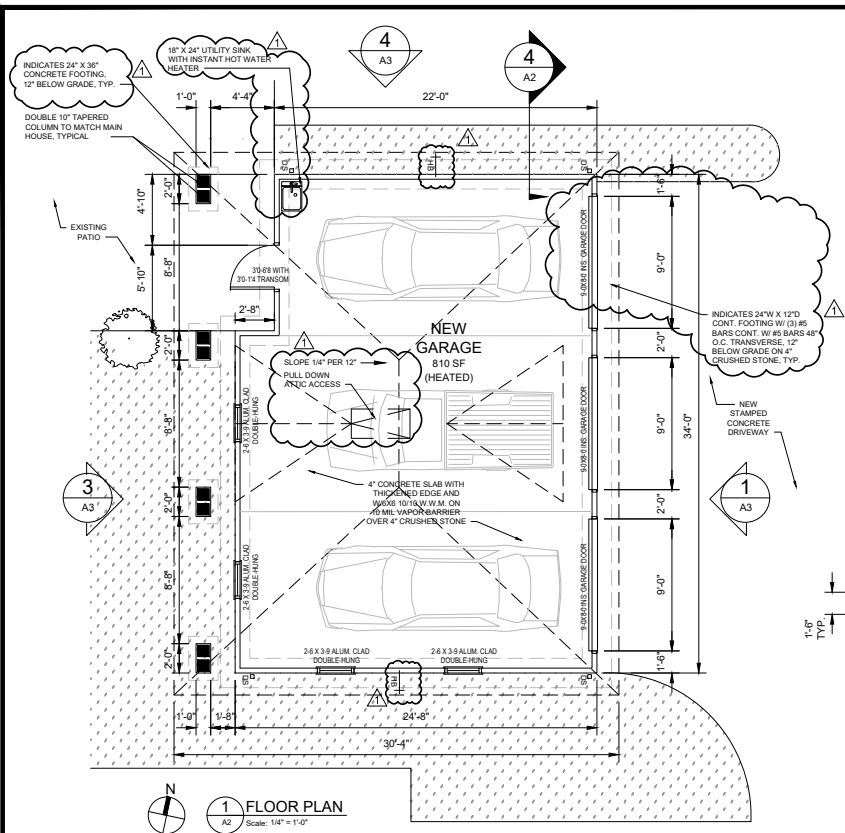
FIRE DISTRICT REQUIREMENTS: NONE
 STORM WATER RETENTION REQUIREMENTS: NONE

SHEET INDEX

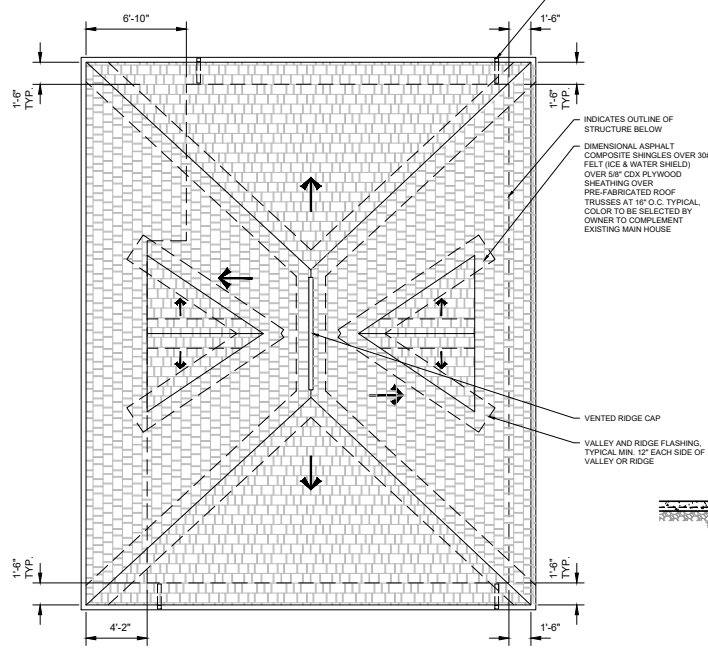
| No. | Sheet Name |
|-----|------------------------|
| G1 | COVER SHEET & NOTES |
| A1 | SITE LAYOUT PLAN |
| A2 | FLOOR PLAN |
| A3 | ELEVATIONS |
| A4 | ELECTRICAL LAYOUT PLAN |



REV 1 - COK REVIEW REVISIONS
 01.15.2024



1 FLOOR PLAN
A2 Scale: 1/4" = 1'-0"



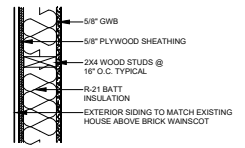
2 ROOF PLAN
A2 Scale: 1/4" = 1'-0"

GENERAL NOTES

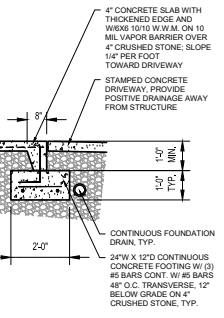
1. ALL CONSTRUCTION SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL BUILDING CODE RULES AND REGULATIONS.
2. THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE CONTRACTOR WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE WITHIN.
3. THESE PLANS ARE ACCURATE ONLY TO THE DEGREE OF ACCURACY OF THE BASE FILE INFORMATION. THE BUILDER IS CAUTIONED AGAINST SCALING FROM THE DRAWINGS.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK.
5. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN AND COORDINATING ALL DIMENSIONS AND OTHER CONDITIONS APPLICABLE TO THE WORK. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
6. DIMENSIONS FOR CONSTRUCTION ARE TO FACE OF STUD OR CENTERLINE OF COLUMNS, UNLESS OTHERWISE NOTED.
7. ALL INTERIOR WALLS SHALL BE PAINTED GYPSUM WALL BOARD. COLORS TO BE SELECTED BY OWNER.
8. ALL WOOD SIDING, WOOD SHEATHING AND WALL FRAMING ON THE EXTERIOR WALLS SHALL BE PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1-USER SPECIFICATION FOR TREATED WOOD.
9. EXTERIOR FOOTINGS SHALL BE PLACED NO LESS THAN 12" BELOW THE UNDISTURBED GROUND SURFACE. WHERE APPLICABLE, THE DEPTH OF FOOTINGS SHALL ALSO CONFORM TO SECTIONS R403.1.4.1 THROUGH R403.1.4.2.

SYMBOL LEGEND:

- DS DOWNSPOUT LOCATION
- 18B FREEZE-PROOF HOSE BIB, TYP.



3 EXTERIOR WALLS
A2 Scale: NTS



4 FOUNDATION DETAIL
A2 Scale: NTS

LINDSEY WHITE
ARCHITECT
KNOXVILLE, TN | 865.384.4444



LUTTRELL ST. RESIDENCE

NEW GARAGE STRUCTURE
KNOXVILLE, TN

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| 0 | ISSUED FOR CONSTRUCTION | 10/24/2023 |
| 1 | COX PLANS REVIEW COMMENTS | 01/15/2024 |
| | | |
| | | |
| | | |

Project No: 23-21
Date: 08/25/2023
File Name: _____

FLOOR PLAN, ROOF PLAN, DETAIL & NOTES

A2

LINDSEY WHITE

ARCHITECT

KNOXVILLE, TN | 865.384.4444

Consultants



LUTTRELL ST. RESIDENCE

NEW GARAGE STRUCTURE
KNOXVILLE, TN

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| 0 | FOR CONSTRUCTION | 10/24/2023 |
| 1 | CDK PLANS REVIEW COMMENTS | 01/15/2024 |
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Revised

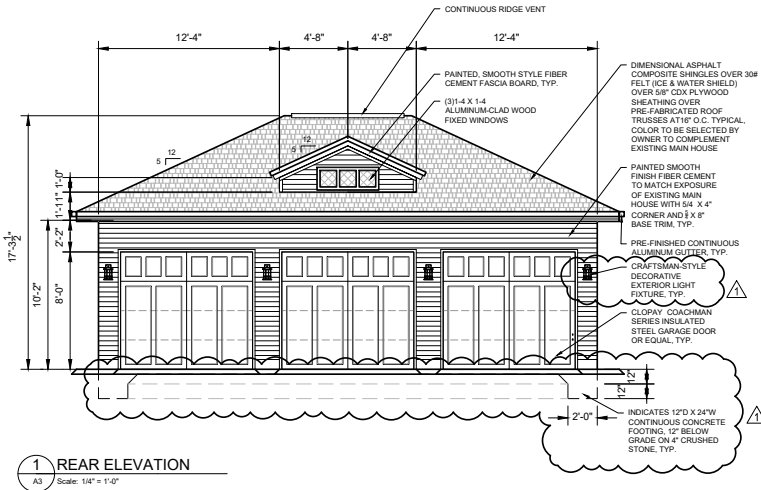
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Date: 08/25/2023
File Name:

Drawing Title

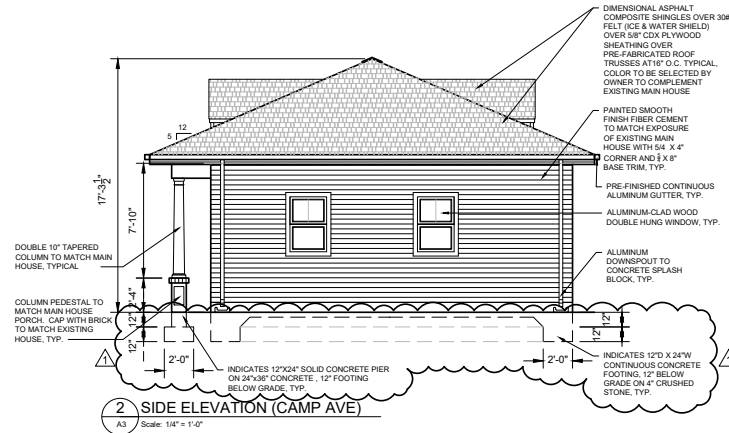
BUILDING ELEVATIONS

Client No.

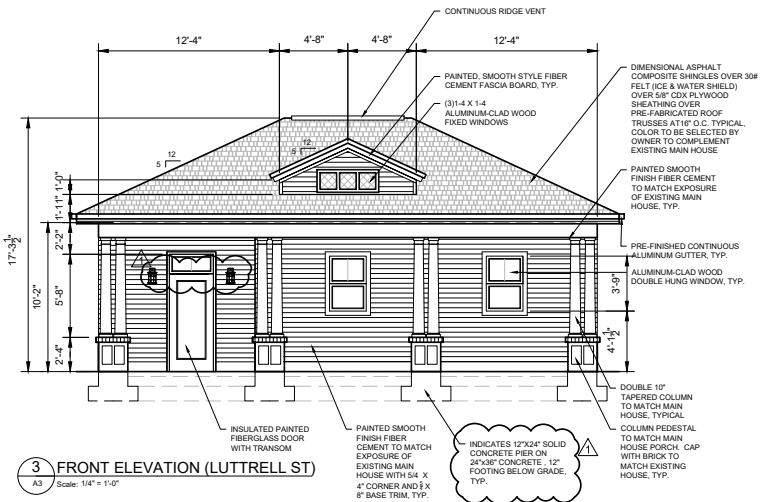
A3



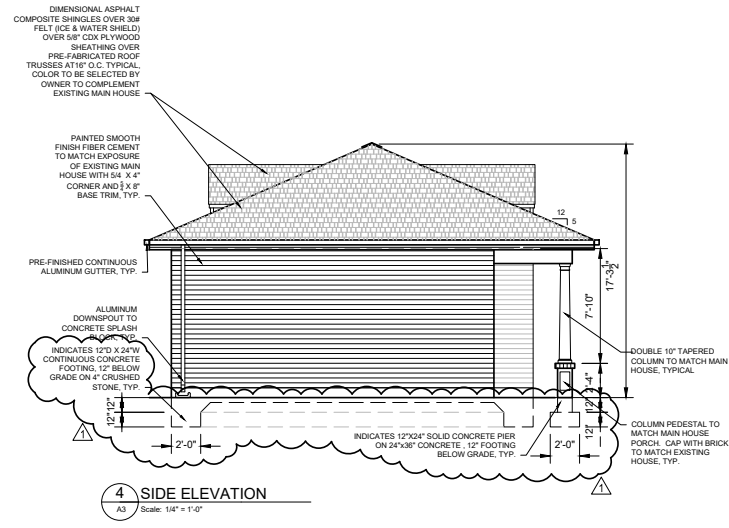
1 REAR ELEVATION
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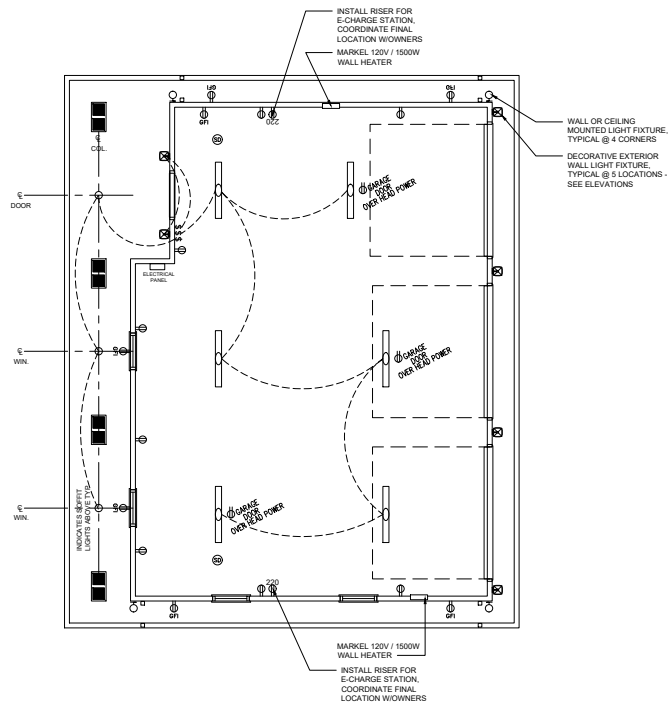
2 SIDE ELEVATION (CAMP AVE)
Scale: 1/4" = 1'-0"



3 FRONT ELEVATION (LUTTRELL ST)
Scale: 1/4" = 1'-0"



4 SIDE ELEVATION
Scale: 1/4" = 1'-0"



SYMBOL LEGEND

| | |
|---|--|
| ⌚ | SINGLE POLE DIMMER SWITCH |
| ⌚ | 3 - WAY SWITCH |
| ⌚ | SWITCH LEG |
| ○ | RECESSED CAN LIGHT |
| ○ | EXTERIOR LED OR INTERIOR SCNCE |
| ⌚ | GROUND FAULT INT OUTLET FINAL LOCATION OF ALL OUTLETS SHALL BE VERIFIED WITH OWNERS |
| ⌚ | DUPLEX OUTLET FINAL LOCATION OF ALL OUTLETS SHALL BE VERIFIED WITH OWNERS |
| ⌚ | 220 VOLT DUPLEX OUTLET FINAL LOCATION OF ALL OUTLETS SHALL BE VERIFIED WITH OWNERS |
| Ⓢ | SMOKE DETECTOR - INTER-CONNECTED |
| ▭ | 1 x 4 SURFACE MOUNTED LED |

1 ELECTRICAL LAYOUT PLAN
Scale: 1/4" = 1'-0"

LINDSEY WHITE

ARCHITECT
KNOXVILLE, TN | 865.384.4444

Consultants



LUTTRELL ST. RESIDENCE

NEW GARAGE STRUCTURE
KNOXVILLE, TN

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| 0 | COX PLANS REVIEW COMMENTS | 01/16/2024 |
| | | |
| | | |
| | | |

Keyplan

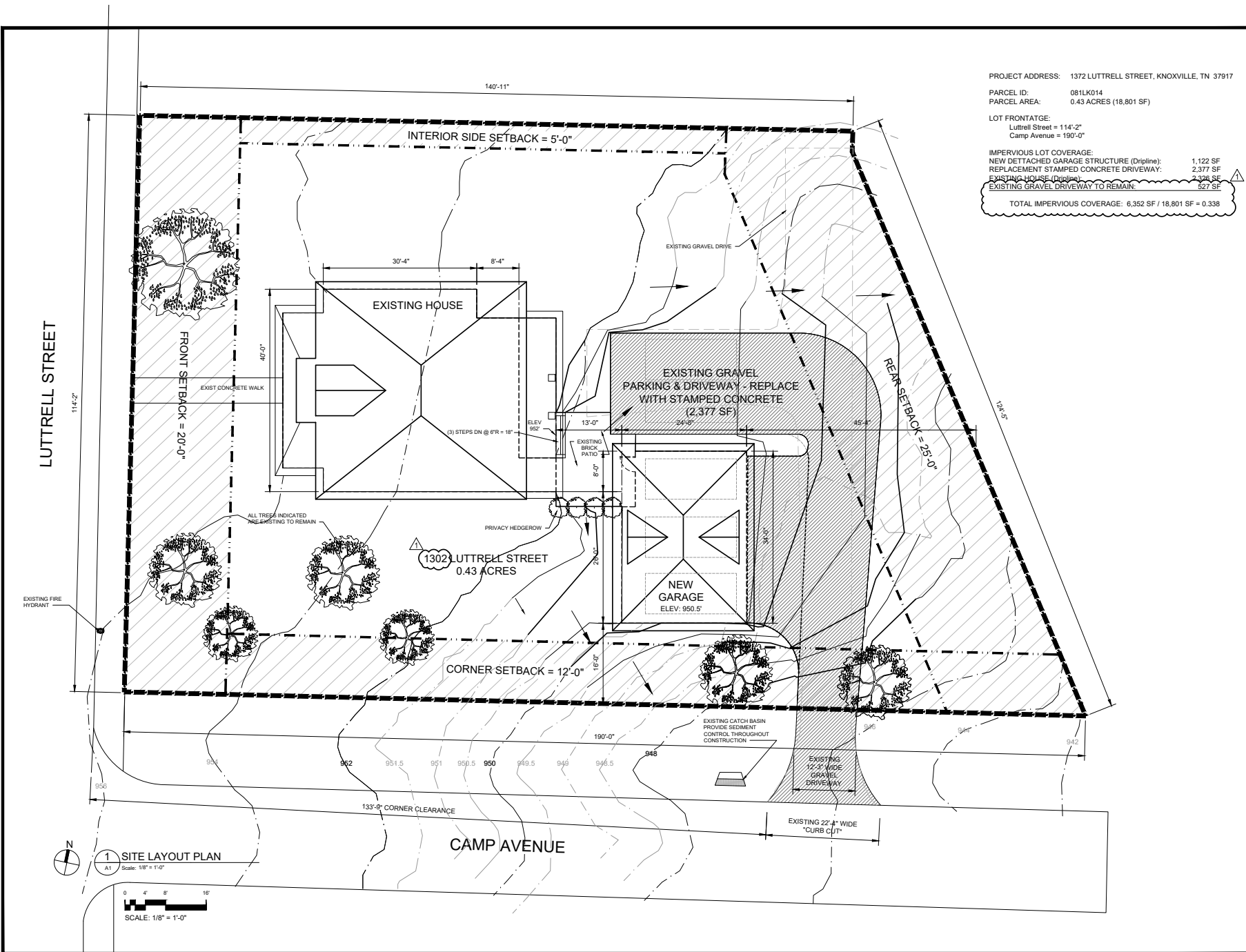
Project No. 23-21
Date 08/25/2023
File Name

Drawing Title

ELECTRICAL LAYOUT PLAN

Sheet No.

A4



PROJECT ADDRESS: 1372 LUTTRELL STREET, KNOXVILLE, TN 37917

PARCEL ID: 081LK014

PARCEL AREA: 0.43 ACRES (18,801 SF)

LOT FRONTAGE:
Luttrell Street = 114'-2"
Camp Avenue = 190'-0"

IMPERVIOUS LOT COVERAGE:
NEW DETACHED GARAGE STRUCTURE (Dripline): 1,122 SF
REPLACEMENT STAMPED CONCRETE DRIVEWAY: 2,377 SF
EXISTING HOUSE (Dripline): 2,326 SF
EXISTING GRAVEL DRIVEWAY TO REMAIN: 527 SF

TOTAL IMPERVIOUS COVERAGE: 6,352 SF / 18,801 SF = 0.338

LINDSEY WHITE
ARCHITECT
KNOXVILLE, TN | 865.384.4444



LUTTRELL ST. RESIDENCE

NEW GARAGE STRUCTURE
KNOXVILLE, TN

| No. | Drawing Issue Description | Date |
|-----|---------------------------|------------|
| 0 | ISSUED FOR CONSTRUCTION | 10/04/2023 |
| 1 | CKR PLANS REVIEW COMMENTS | 01/15/2024 |
| | | |
| | | |
| | | |

Project No. 23-21
Date 08/25/2023
File Name

Drawing Title
SITE LAYOUT PLAN

Sheet No.
A1