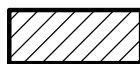




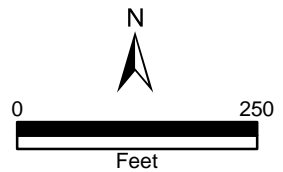
2-A-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1726 Forest Ave. 37916
Ft. Sanders NC

Original Print Date: 2/6/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes





Staff Report

Knoxville Historic Zoning Commission

File Number: 2-A-24-HZ

Meeting: 2/15/2024
Applicant: John Holmes
Owner: John Holmes

Property Information

Location: 1726 Forest Ave. **Parcel ID** 94 N M 013
District: Ft. Sanders NC
Zoning: RN-5 (General Residential Neighborhood)
Description: Queen Anne

Two-story frame residence with a cross-gable roof, an exterior of vinyl siding, and a wraparound Craftsman-style porch with a brick foundation.

Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement

Exterior rehabilitation of new house and new rear and left side addition.

Exterior rehabilitation scopes include removal of existing vinyl siding and installation of new fiber cement lap and diamond-pattern siding. Front porch roof and foundation to be removed and reconstructed in-kind; low-slope hipped roof will be reconstructed and new tapered wood posts on brick piers will replicate existing columns. Applicant also lists roof replacement, new fascia and soffits, replacement of windows and doors, repair and replacement in patches of brick foundation.

New rear addition. One section of the house to be removed and reconstructed, with an additional new two-story section to project from the rear. Addition will feature a gable roof clad in asphalt shingles, an exterior of fiber cement lap siding, gable fields clad in diamond print siding, and two stories of one-over-one, double-hung windows. The existing front gable roofline will be continued towards the rear, with a second cross gable replicating the size and pitch of the frontmost cross gable. The rear elevation features a second-story deck and secondary entry.

Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

A. Height, Scale, & Massing

1. Foundation heights should be consistent with other pre-1940 buildings in the neighborhood.
2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.

B. Roofs

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs,

and dormers.

3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal, and slate were used.
4. Darker shades of shingles were historically used and should be selected in new construction.

C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.

D. Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl, shingle (or shingle-like material), or brick should be used.
5. In making additions to existing buildings, wall cladding should complement the original wall covering.
6. Materials that are not typical in pre-1940 construction should not be used. These include cinder block, T-111 siding, and stone facing.

E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
2. Windows should be double-hung sash windows. Vinyl or metal-clad may be used in place of wood frame windows.
- 2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.
6. The proportions of upper level windows should not exceed the proportion of the first level.
7. Upper level windows should be provided and aligned with doors.
8. There should be at least 50% transparency that is created by windows or French doors and balconies on the recessed breaks between sections of buildings, including buildings joined together.
9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.
10. When parking areas are provided behind buildings, rear entrances are also allowed.

F. Parking

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.
2. Provide parking access off the alley or off a side street.
7. Surface parking area shall always be to the rear of the building.

G. Landscaping, Fencing, & Retaining Walls

1. Plant one native shade tree (e.g. oak or maple) and one ornamental tree (e.g. dogwood) in both the front and rear yards for every 50 feet of lot width.

H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.
3. Transitional space shall be provided between the addition and the existing structure. This should include a courtyard (200 sq. ft. minimum), and a connecting structure (e.g. porch or breezeway). The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' by 6' indentation.
4. Bays at least two feet in depth shall be provided for 50% of the side façade.
5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.

Comments

N/A

Staff Findings

1. 1726 Forest Ave is a contributing resource to the Fort Sanders National Register Historic District and local NC overlay. The house is a two-story Queen Anne house with a Craftsman-style porch.
2. The application includes the removal of exterior vinyl siding and replacement with fiber cement lap and diamond shingle siding, with diamond patterned siding in the gable fields, which meets the Fort Sanders design guidelines. The project should incorporate appropriately-sized vertical cornerboards, window trim, and door trim.
3. Reconstruction of the front porch roof, foundation, and columns meet the design guidelines. The reconstructed front porch roof should match the design and pitch of existing. The proposed removal of one square wood post is appropriate.
4. Some window fenestrations may be shifted and new window openings will be installed. Currently, windows on the left side elevation have been enclosed with vinyl siding; installing new openings on that elevation is appropriate. The application retains the diamond louvered vent on the façade.
5. The applicant proposes to remove a section of the rear elevation, extending the primary gable roofline for the rear addition. On the left side, the gable roof will be extended approximately ten feet for a side addition. The new rooflines meet the design guidelines. The existing, reconstructed, and new sections of roof should retain eave overhangs.
6. In general, the placement of a new addition on the rear elevation is appropriate within the design guidelines. The existing house is two stories. The proposed addition is significantly larger than the original house, and includes an addition on the left side elevation. On the right elevation, the addition should be differentiated from the existing house via a 6"-12" inset or other method.
7. The replacement door on the façade should meet the design guidelines ("similar proportions and features to pre-1940 architecture"). The new addition's roof should include ~1' eave overhangs on all elevations.
8. Final modifications to the site plan may be necessary to meet City Engineering standards for parking. The house and parking area should remain below the 45% impervious surface requirement for the RN-5 zoning. The final site plan could be approved by staff, provided there are no substantial modifications to the addition's design and placement.

Staff Recommendation

Staff recommends approval of Certificate 2-A-24-HZ, subject to the following conditions: 1) reconstructed porch roof to match design and pitch of the existing; 2) porch columns and foundation to match dimensions of existing; 3) final drawings to indicate appropriately-sized cornerboards, window, and door trim; 4) new door to meet design guidelines, with approval by staff; 5) final site plan to reflect City Engineering standards.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

1/25/24

February 15, 2024

2-A-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

John Holmes

Name	Company		
PO Box 1335	Morristown	tn	37816
Address	City	State	Zip
423-231-4980	jholmes6@gmail.com		
Phone	Email		

CURRENT PROPERTY INFO

Evian partners	PO Box 1335, Morristown, TN 37814		
Owner Name (if different from applicant)	Owner Address	Owner Phone	
1726 Forest Ave	094NM013		
Property Address	Parcel ID		
Ft Sanders	RN-5, NC-1		
Neighborhood	Zoning		

AUTHORIZATION

	Lindsay Crockett	1.25.24
Staff Signature	Please Print	Date
	John Holmes	1/25/24
Applicant Signature	Please Print	Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: new siding, new roof, fascia, soffits, all exterior replaced, windows, doors, front porch rebuilt and rebuild brick columns
Left side columns were removed. Remove duplicate left porch post. Replace brick foundation and repair as needed. Rear addition

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: see attached

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

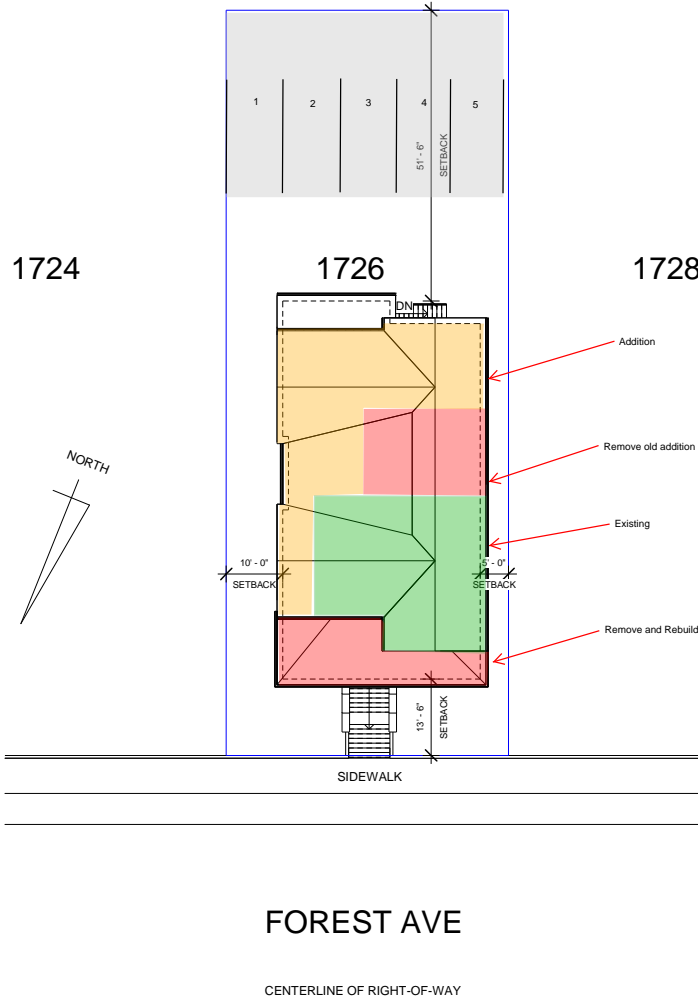
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL: 100.00
100.00		
FEE 2:		
FEE 3:		

PROPOSED DWELLING AT 1726 FOREST AVE KNOXVILLE TN 37916



Owner	
Project Name	
COVER	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A200	
Scale	



Zoning Information:
 RN-5 / NC-1
 Lot Coverage Allowed: 2328
 Lot Coverage Provided: 2265
 Impervious Coverage Allowed: 2993
 Impervious Provided:
 Parking Required: 4
 Parking Provided: 5

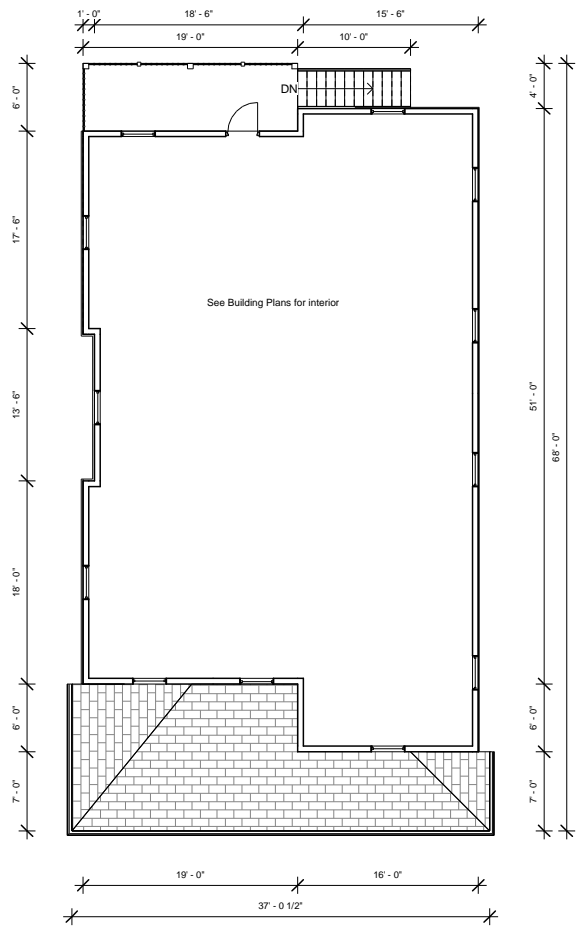
FOREST AVE

CENTERLINE OF RIGHT-OF-WAY

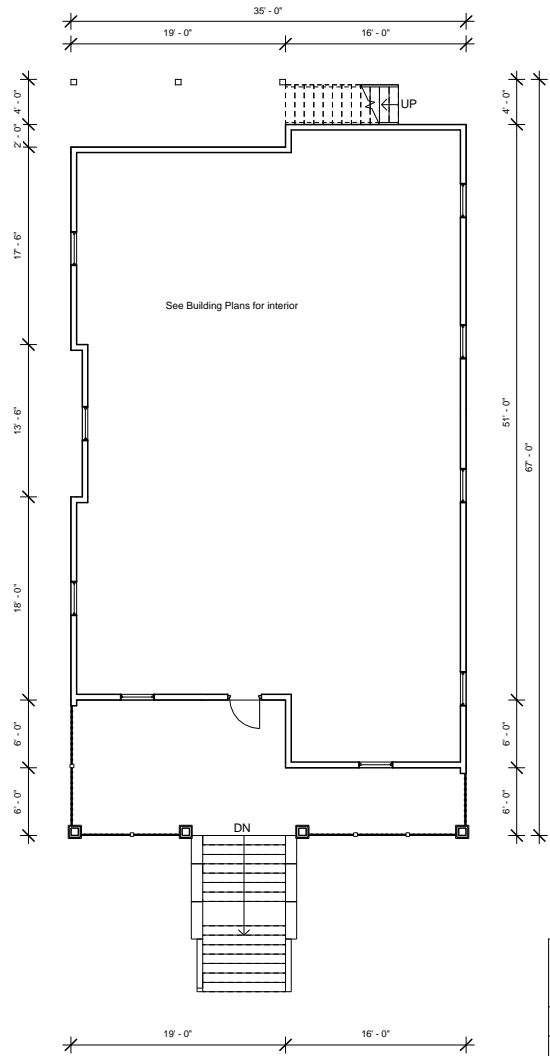
① SITE PLAN
 1/16" = 1'-0"

Owner Project Name	
SITE PLAN	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A201	
Scale	1/16" = 1'-0"

30/01/2024 00:06:07



② SECOND FLOOR
1/8" = 1'-0"

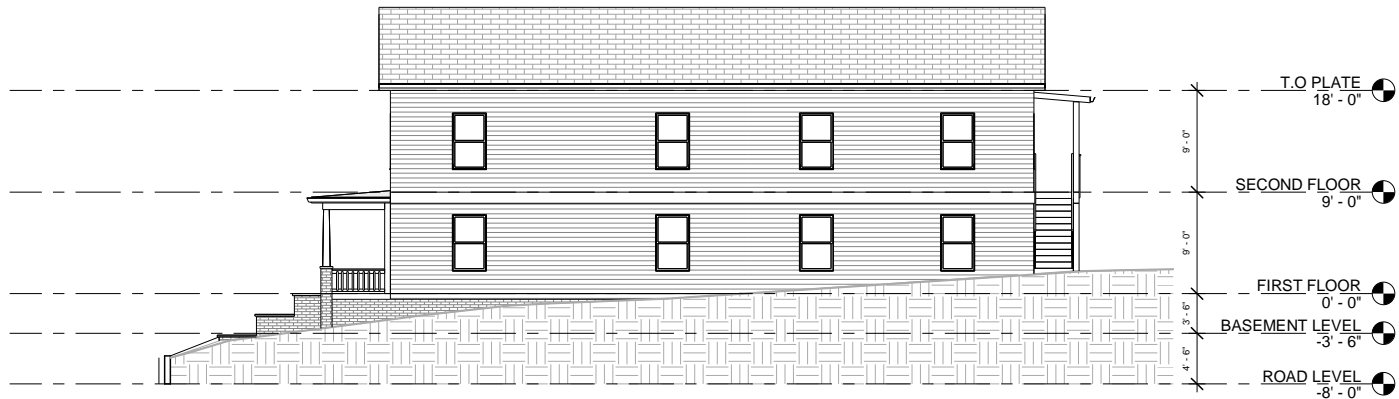


① FIRST FLOOR
1/8" = 1'-0"

Owner Project Name	
FLOOR PLANS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A202	
Scale	1/8" = 1'-0"

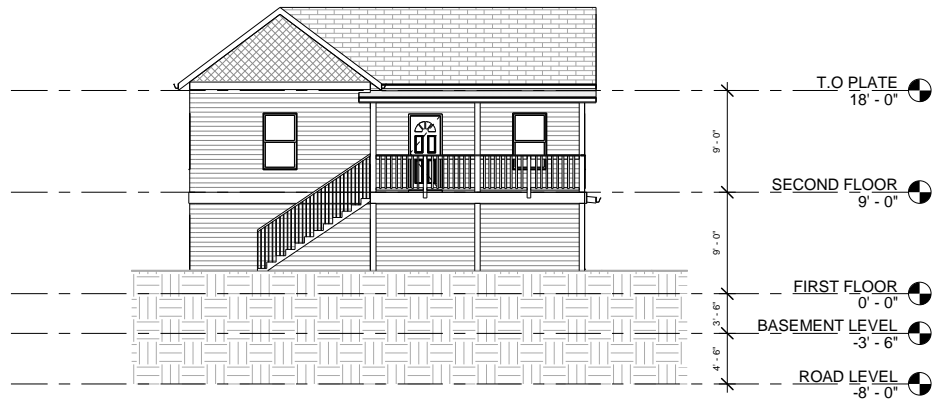


② FRONT ELEVATION
1/8" = 1'-0"



① SIDE ELEVATION 1
1/8" = 1'-0"

Owner Project Name	
ELEVATIONS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A203	
Scale	1/8" = 1'-0"



② REAR ELEVATION
1/8" = 1'-0"



① SIDE ELEVATION 2
1/8" = 1'-0"

Owner Project Name ELEVATIONS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A204	
Scale	1/8" = 1'-0"

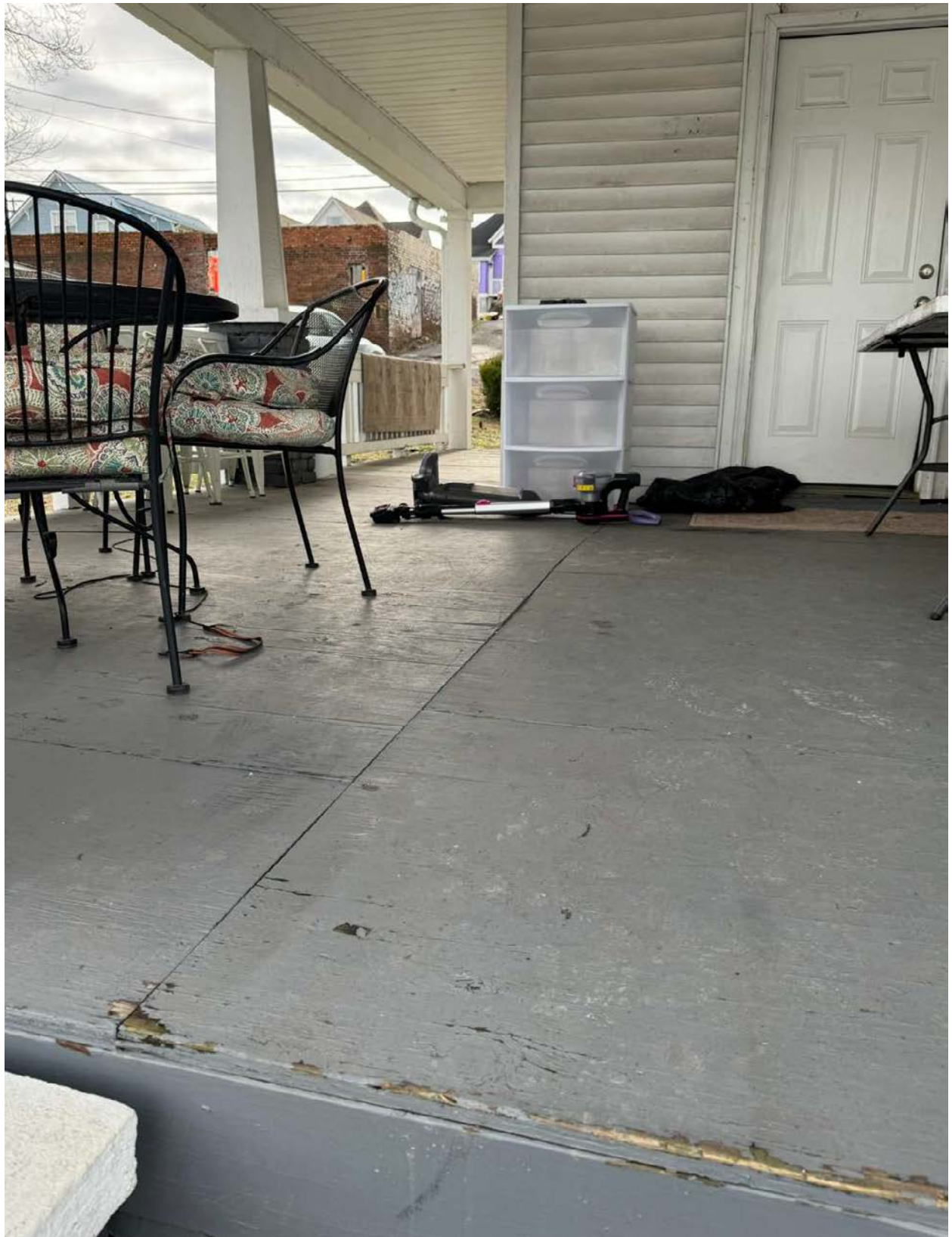




© LIVE













© LIVE



