

**Meeting:** 12/19/2024  
**Applicant:** Vince Marshall, Marshall Design & Construction Corp.  
**Owner:** Todd and Anita Davis

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## Property Information

**Location:** 1916 Emoriland Blvd. **Parcel ID** 69 M B 016  
**District:** Fairmont-Emoriland NC  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**Description:** Colonial Revival, c.1927

One story frame with brick veneer wall covering, corner quoins. Exterior end brick chimney. Side gable roof with asphalt shingle covering. One story gabled front portico with arched ceiling, replacement columns. Six over six double hung windows. Exterior end brick chimney. Rectangular plan.

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## Description of Work

Level II Construction of Addition or Outbuilding  
New additions.

Front/east addition: new addition to east elevation along the façade, to measure 24'-6" wide by 12'-8" deep and be recessed 1'-5.5" from the front façade of the house. The front addition will feature a side-gable roof with an 8/12 pitch, an exterior of brick veneer, and two bays of 9/9 double-hung windows with "style, size, trim, and sill to match the existing," along with shutters to match the existing. Addition will feature brick quoins and a brick soldier header course above the windows.

Covered porch addition: on the east elevation, located behind the proposed new front addition, a covered porch with a 2/12-pitch, shed roof will extend 22'-9.5" towards the rear of the house.

Garage addition: new three-car garage addition to the rear right corner (east elevation) of the house. The garage addition will measure 25' wide by 36'-1" deep and feature a 6/12 pitch hipped roof, an exterior of brick cladding, and three garage bays facing the east side elevation.

Rear addition: new addition to rear (south elevation) of house. The rear addition measures approximately 32'-2" wide (the full width of the existing house) by 17'-1.5" deep, and features a 6/12 pitch hipped roof and an exterior of brick cladding.

New driveway: new 12' wide driveway extending from Emoriland Boulevard, leading to an approximately 32' wide parking pad area outside the three-car garage.

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## Applicable Design Guidelines

Fairmont Park Neighborhood Conservation District Design Guidelines, adopted by the Knoxville City Council on

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November 26, 2002.

#### Additions

1. The design of additions and accessory buildings should be consistent with the character of the main structure.
3. The width of side yard setbacks should duplicate the average side yard widths of the three adjacent existing buildings on each side of the subject property.
4. The recommended location for additions is to the rear or side of existing buildings. Additions to the front of buildings are not encouraged, because they obscure the original architectural designs.
8. If additions are to be made to the existing building they should be located at least five feet behind the front facade of the existing building.

#### Building and Roof Form

3. New buildings and additions should not incorporate round-topped windows, or windows with arched transoms. However, Palladian-design windows with flanking side windows, and flat-topped transoms are acceptable.
4. The minimum roof pitch should be appropriate for the style of house that is being constructed, as shown on the matrix in these guidelines.

#### Materials

2. If an addition is made to an existing house, the wall cladding materials should duplicate those on the existing house, or as shown on the matrix on page 6.

#### Access and Parking

1. The carports or doors of attached garages should not face Emoriland or Fairmont Boulevards.
2. Attached garages or carports should be located fifteen feet back of the front facing façade.
4. If driveways are built they should be 9-12' wide. Separate tire strips of aggregate exposed concrete are encouraged.

#### Landscaping, Walls, and Fencing

1. The maximum lot coverage for impermeable features such as paving and roofs on any lot shall be 40%.
2. If driveways are constructed, they should be as narrow as possible.

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## Comments

N/A

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## Staff Findings

1. 1916 Emoriland Boulevard is a contributing resource to the Fairmont Park NC Overlay. The house is a Colonial Revival-style Minimal Traditional house. Minimal Traditional houses are typically modest one-story forms with narrow facades and minimal architectural detail. The proposed additions revise the Minimal Traditional house to reflect a Ranch house in width and a contemporary house form with the attached three-car garage.
2. The application was postponed at the October 2024 meeting to allow the applicant to revise the drawings in response to the design guidelines, staff recommendation, neighborhood input, and Commission discussion. Discussion related to the placement of the front addition and the massing of the third-story garage. Continued discussion at the November 2024 meeting related to the front addition not meeting the design guidelines, and the attached third-story garage not being compatible with the neighborhood's historic context. The applicant is unwilling to modify any element of the request.
3. The proposed additions are significantly large in footprint, approximately doubling the overall square footage of the house.
4. Guidelines recommend that additions are placed on the side or rear of buildings, discouraging additions to the

front that obscure original architectural designs. The proposed rear addition and garage additions meet the guidelines for placement. The front/east addition is set back from the façade by only 1'-5.5" and almost doubles the existing façade width. Guidelines note that "if additions are made to the existing building, they should be located at least 5' behind the front façade of the existing building." The front addition is not sufficiently differentiated from the original façade of the house and should be revised in placement.

5. The additions use materials and design elements compatible with the primary structure, including brick cladding, quoin detailing, brick soldier header courses above windows, and windows with sills and shutters to reflect the existing.

6. Guidelines recommend that doors of attached garages do not face Emoriland Boulevard, and they should be located at least 15' behind the front façade; the design does meet these guidelines. The garage will be large in scale and visible from the street due to the adjacent vacant property. Three-car garages are typically not in character with the neighborhood context. SOI Standards note that new additions "shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment." There is no historic precedence for a three-car garage in the neighborhood. The Commission has extensively discussed the overall massing of the proposed garage and allowed the applicant two postponements to submit a revised proposal.

7. Guidelines recommend that driveways be "as narrow as possible," 9'-12' wide, and encourage separate tire strips. The driveways are 12', comparable to the minimum required width of 10'. The parking pad outside of the three-car garage is relatively large. Additional landscaping and screening would be necessary to obscure the large garage and parking pad.

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## Staff Recommendation

Staff recommends: 1) approval of the proposed rear addition; 2) approval of the front/east addition, subject to the placement being revised to meet the design guidelines ("at least 5' behind the front façade"); and 3) denial of the proposed attached three-car garage.

DIA Homes Project #: 24016

Date: 12/10/2024

Client: Todd and Anita Davis

Project Address: 1916 Emoriland Blvd, Knoxville, TN 37917

The following letter is being issued as an addendum to the second review of Case # 10-E-24-HZ held on November 21, 2024, and pertaining to an addition and renovation to an existing home located at 1916 Emoriland Blvd.

Dear Committee Members,

This letter is being issued on behalf of Todd and Anita Davis regarding the status of their project at 1916 Emoriland Blvd.

After further consideration of the commission's comments and requests, the owner has decided not to pursue revisions to the current design for their home renovation and addition. Although the owner understands the intended value of the neighborhood guidelines:

- 1) They do not recall being informed or involved in the development of the neighborhood guidelines that now overlay their family's estate.
- 2) They believe that the only non-compliant aspect of their project relevant to the language of the guidelines is the 2' (proposed) versus 5' (recommended) setback to the front addition from existing home. However, we believe that the 2' setback offers the most appropriate architectural and constructability solution and ask the committee to evaluate this proposed variance for approval. The guidelines are not regulation and are intended for subjective oversight where a guideline recommendation may not be feasible or the most appropriate solution.
- 3) The owner does not wish to collaborate with the neighborhood on the design of their home addition. Going into retirement, they understand their functional and spatial needs, and love the current design. This project is a \$500,000 investment in the Fairmont Park neighborhood, between home addition and landscaping, and the owner does not believe the proposed design poses any negative risk to the street or adjacent property values.

The owner asks that the committee vote to approve the new addition and renovation. They do not wish to spend more money on travel, work leave, and design fees, so we ask that you proceed to vote without attendance from the applicant or design team.

Additionally, this will be the last submission by the owner. They have already secured a realtor and have made preparations to sell the two lots (not yet combined) individually if they cannot proceed with the expansion to their family's estate.

Sincerely,

DIA Homes, LLC



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Joseph Goldman President  
DIA Homes, LLC  
[jgoldman@dia-homes.com](mailto:jgoldman@dia-homes.com)



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Vince Marshall

Applicant

9/25/2024

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Vince Marshall

Marshall Design & Construction Corp.

Name

Company

1201 Heartland Dr.

Maryville

TN

37801

Address

City

State

Zip

865-314-1252

mdcc04@gmail.com

Phone

Email

## CURRENT PROPERTY INFO

Todd & Anita Davis

1916 Emoriland Blvd.

973-462-4772

Owner Name (if different from applicant)

Owner Address

Owner Phone

1916 Emoriland Blvd.

069LG049

Property Address

Parcel ID

Knoxville

RN-2

Neighborhood

Zoning

## AUTHORIZATION

Staff Signature

Please Print

Date

Vince Marshall

2024.09.25 17:59:20 -04'00'

Vince Marshall

9/25/2024

Applicant Signature

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

- Brief description of work: Adding addition to the existing home.
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## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

- Brief description of work: Adding addition to the existing home.
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## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

- Brief description of work: \_\_\_\_\_
- 
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## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

**FEE 1:**

**FEE 2:**

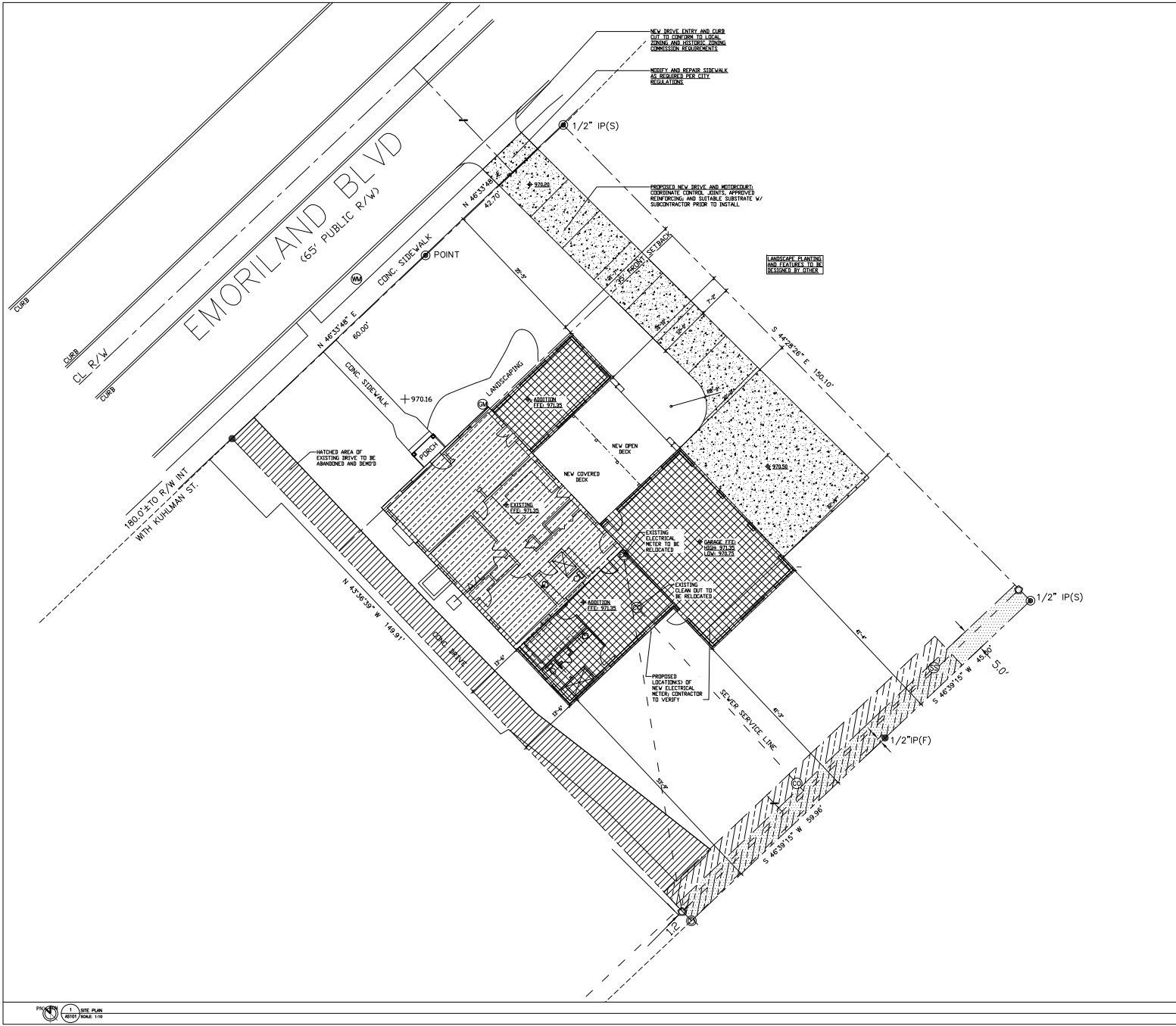
**FEE 3:**

**TOTAL:**









**ZONING INFORMATION:**  
(PER PLAT DATED 06-30-2017)

ADDRESS: 1916 EMORILAND BLVD  
 PARCEL ID: 069M016  
 DISTRICT:  
 WARD: 16  
 SUBDIVISION: EMORILAND PARK ADD  
 JURISDICTION:  
 - CITY: KNOXVILLE  
 - COUNTY: KNOX COUNTY  
 ZONE: RN-2

SETBACKS:  
 - FRONT: 35'  
 - SIDE: 5' (NO LESS 15' COMBINED)  
 - REAR: 25'

IMPERVIOUS AREA CALCULATIONS:  
 (KNOXVILLE CODE OF ORDINANCE ARTICLE 4.3 TABLE 4-1)  
 - MAXIMUM IMPERVIOUS SURFACE PER CODE: 40%  
 - MAXIMUM BUILDING COVERAGE: 30%  
 - TOTAL LOT AREA: 15,534 SF  
 - TOTAL IMPERVIOUS AREA: 5,760 SF  
 A. TOTAL EXISTING HOUSE: 1,461 SF  
 B. TOTAL NEW ADDITION: 1,872 SF  
 C. DECK: 524 SF  
 D. TOTAL DRIVEWAY & SIDEWALK AREA: 1,903 SF  
 - PERCENTAGE OF PROJECT BUILDING COVERAGE: 24.83% (INCLUDES HOUSE AND DECK)  
 - PERCENTAGE OF PROJECT IMPERVIOUS AREA: 37.08%

- SITE INFORMATION IS BASED ON CURRENT PLAT RECORDED IN CABINET 6, SLIDE 98-8 IN THE REGISTER OF DEEDS OFFICE IN ANDERSON COUNTY, TN & IS BEING PROVIDED TO DEMONSTRATE BUILDING PERMIT & ZONING COMPLIANCE ONLY. FINAL TOPOGRAPHY AND PROPERTY DATA TO BE VERIFIED BY CONTRACTOR AND SURVEYOR PRIOR TO CONSTRUCTION.

**SITE PLAN & PROJECT ORIENTATION**

PN TN

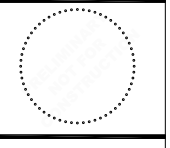
TN: TRUE NORTH (PER SITE PLAN)  
 PN: PROJECT NORTH (PROPOSED PLAN ORIENTATION)

**SITE PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- NEW ONE-STORY ADDITIONS
- EXISTING ONE-STORY HOUSE
- EXISTING DRIVEWAY TO BE DEMTD AND ABANDONED
- NEW DRIVEWAY

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY AND PROVIDE CURB CUTS AS REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION ZONING ORDINANCE REQUIREMENTS
  - CONTRACTOR TO COORDINATE SITE UTILITIES AND TIE-INS AS REQUIRED W/ OWNER AND LOCAL UTILITY PROVIDERS.
  - CONTRACTOR AND OWNER TO COORDINATE FINAL SEPTIC RED'S.
  - TREE REMOVALS AND REQUIREMENT TO BE COORDINATE BY CONTRACTOR WITH OWNER.
  - CONTRACTOR TO VERIFY FINAL GRADING REQUIREMENTS PRIOR TO CONSTRUCTION.

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 www.diahomes.com/realty/diahomes/



A ADDITION FOR THE  
 DAVIS RESIDENCE  
 1916 EMORILAND BLVD,  
 KNOXVILLE, TN

**RELEASE:**  
 HZC REVIEW

**REVISIONS**

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |

Project Number: 24016H  
 Date: 09/25/2024  
 Drawn By: JPG  
 Scale: AS NOTED

**SITE & ZONING PLAN**

**AS-101**



5 EXISTING EXTERIOR PHOTO  
AD-101



4 EXISTING EXTERIOR PHOTO  
AD-101



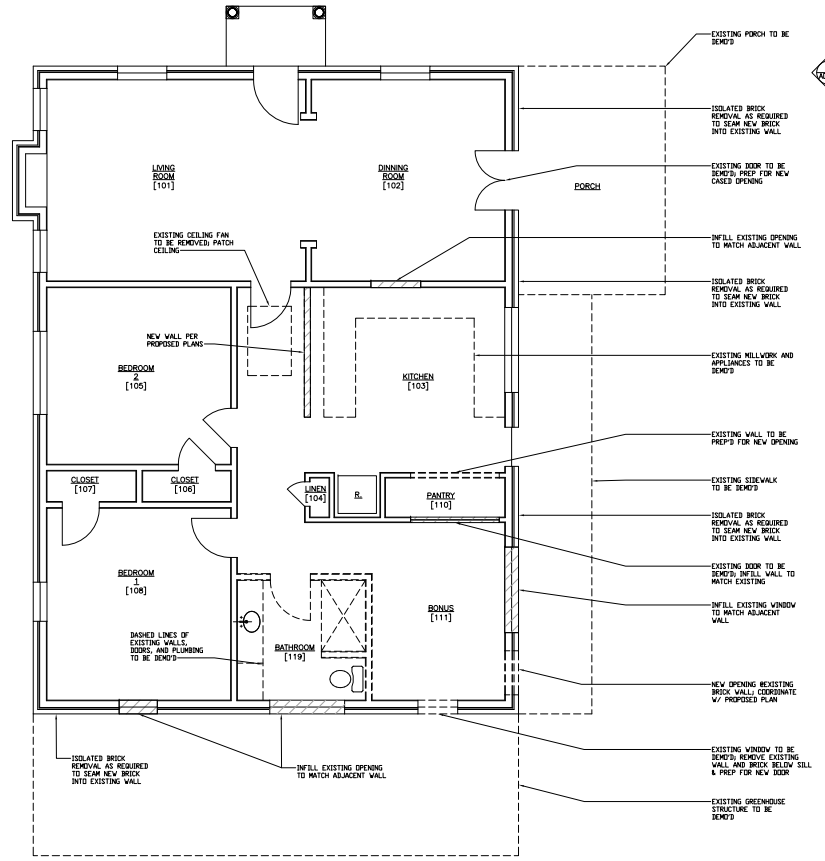
3 EXISTING EXTERIOR PHOTO  
AD-101



2 EXISTING EXTERIOR PHOTO  
AD-101

**GENERAL NOTES:**

1. REQUIRED PIPING & DUCT RANG FOR ALL NEW PLUMBING AND HVAC TO BE COORDINATED BY CONTRACTOR IN FIELD AND IN COORDINATION WITH PROPOSED PLANS. PRIOR TO CONSTRUCTION NOTIFY ARCHITECT OF ANY EXISTING ISSUES THAT MAY AFFECT THE DESIGN INTENT.
2. REMOVE EXISTING ROOFING, GUTTERS, DOWNPOUTS, & FASCIA WHERE REQUIRED FOR NEW ADDITION. PATCH/REPAIR FOR SEAMLESS TRANSITION.
3. COORDINATE REMOVAL, SALVAGE, AND STORAGE REQUIREMENTS FOR ALL APPLIANCES AND FIXTURES TO BE NOTIFIED OR REPLACED WITH OWNER PRIOR TO DEMOLITION.
4. COORDINATE EXISTING POWER, DATA, & AV COMPONENTS WITH OWNER PRIOR TO CONSTRUCTION & IN COORDINATION WITH PROPOSED PLANS.
5. WHERE MODIFYING EXTERIOR WALLS, DOORS, & WINDOWS PATCH/REPAIR ALL WEATHER BARRIERS, FLASHING, & INSULATION TO MEET CURRENT CODE REQUIREMENTS.
6. IF, DURING DEMOLITION, CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE FOLLOWING THE DESIGN INTENT, GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL METHODS OF CONSTRUCTION AND COORDINATION OF THE SAME, INCLUDING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL, & PLUMBING UNLESS NOTED OTHERWISE.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS PROPERLY BRACED DURING DEMOLITION AND RENOVATION.
9. NO TRASH OR REBIS SHALL BE STORED ON SITE. REMOVE ALL UNDESIRABLE MATERIALS FROM SITE DAILY, UNLESS NOTED TO BE SALVAGED FOR REUSE.
10. THE GENERAL CONTRACTOR SHALL COORDINATE INTERRUPTION OR DISCONNECTION OF UTILITIES WITH APPROPRIATE AGENCIES AND AUTHORITIES. NOTIFY OWNER 48 HOURS IN ADVANCE OF SCHEDULED INTERRUPTIONS.
11. PATCH AND REPAIR ALL DAMAGED WALLS, FLOORS, AND CEILINGS AS REQUIRED TO RECEIVE NEW FINISHES. REPLACE EXISTING DAMAGED FINISHES WITH NEW FINISHES, OR REFINISH ENTIRE AREA OF CONCERN w/ NEW TO MATCH EXISTING OR AS OTHERWISE INDICATED ON DRAWINGS AND SCHEDULES.
12. ALL AREAS TO RECEIVE NEW CONSTRUCTION ARE TO BE STRIPPED OF EXISTING FINISHES AND PREPARED TO RECEIVE THE NEW CONSTRUCTION & FINISHES WITH A PROPER BRID. COORDINATE w/ OWNER EXTENT OF EXISTING FLOOR.
13. ALL ABANDONED DUCTING, PIPING, CONDUIT, ETC IS TO BE REMOVED, AS WELL AS ALL ABANDONED WIRING, WHICH SHALL BE REMOVED FROM SOURCE, INCLUDING ELECTRIC, TELEPHONE, AND DATA. UNDESIRABLE EXISTING EQUIPMENT, PIPING, BUILT, ETC ARE REQUIRED TO BE REMOVED. SUCH REMOVAL IS TO INCLUDE ALL NICKERS, HANGERS, TERMINATING ETC. AFTER REMOVAL, ALL FLOORS, WALLS AND CEILING SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES AND SCHEDULES.
14. DEMOLITION WORK SHALL BE COORDINATED WITH ALL SUBCONTRACTORS TO INSURE UNINTERRUPTED PROGRESS OF NEW CONSTRUCTION WORK.
15. ALL DEMOLITION, CUTTING AND PATCHING SHALL BE DONE TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE, AND IS TO PROVIDE A SMOOTH FINISHED APPEARANCE WHEN COMPLETED.
16. ALL WALLS INDICATED TO BE DEMOLISHED SHALL BE REMOVED FULL HEIGHT UNLESS NOTED OTHERWISE. AFTER REMOVAL, FLOORS, CEILING AND ADJACENT WALLS SHALL BE REPAIRS & PREPARED FOR FINISH TO MATCH EXISTING OR AS OTHERWISE INDICATED ON DRAWINGS AND SCHEDULES.
17. ALL EXISTING FLOOR FINISHES IN WORK AREA TO BE REMOVED. PREP FLOORS TO RECEIVE NEW FINISH AS INDICATED IN FINISH SCHEDULE.
18. ALL EXISTING POWER RECEPTABLES & SWITCHES TO BE RELOCATED WHERE COMPLETED BY NEW CONSTRUCTION - COORDINATE NEW LOCATIONS AS WITH OWNER OR PER PLANS - PREP WALLS FOR NEW LOCATIONS AT HEIGHT TO MATCH EXISTING.
19. STRIP AND REFINISH ALL EXISTING CEILINGS.



1 DEMOLITION PLAN (EXISTING 1,461 SF)  
AD-101 SCALE: 1/4" = 1'-0"



A ADDITION FOR THE  
**DAVIS RESIDENCE**  
1916 EMORLAND BLVD,  
KNOXVILLE, TN

RELEASE:  
HZC REVIEW

REVISIONS

| No. | Description | Date |
|-----|-------------|------|
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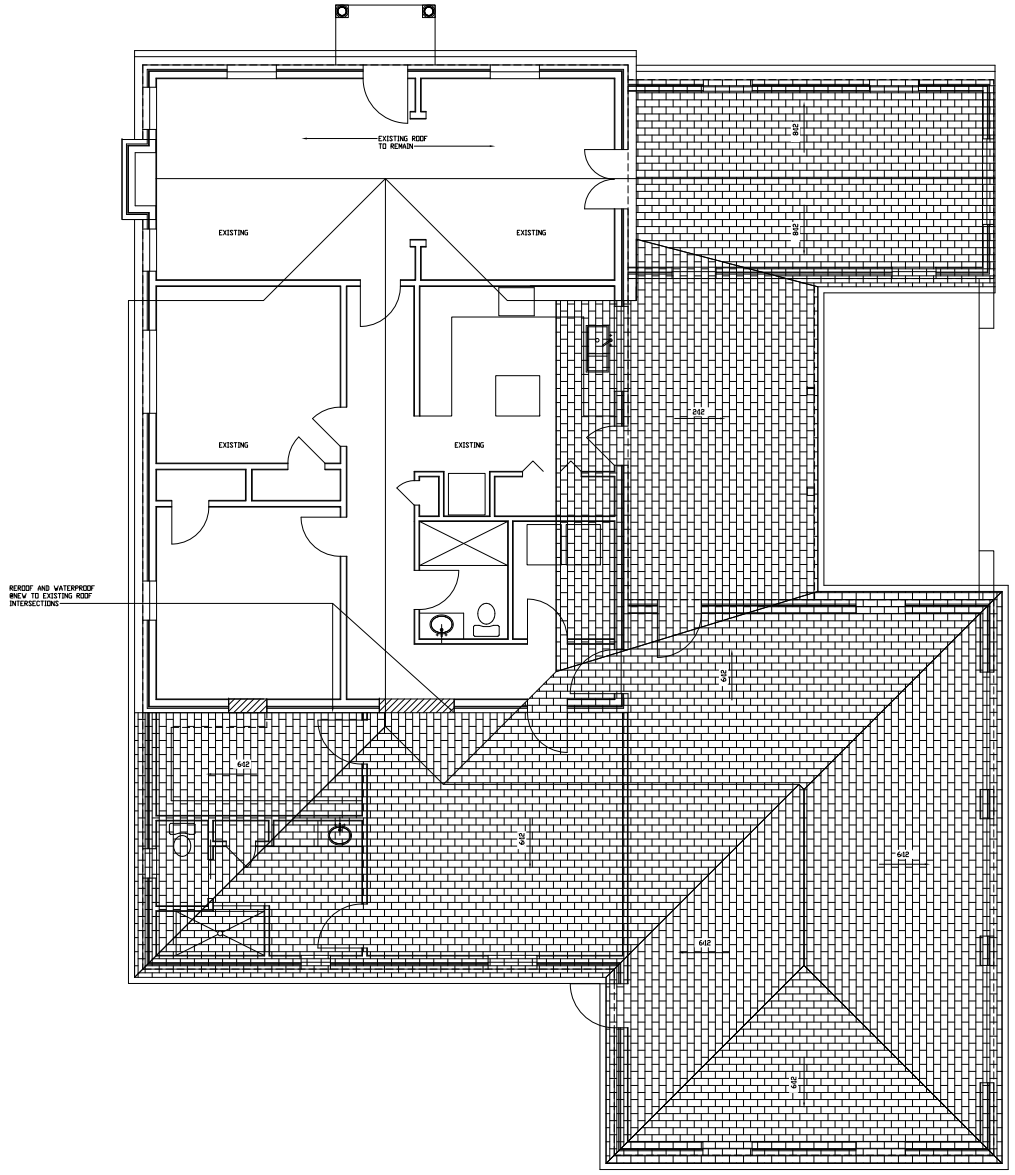
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Date: 09/25/2024  
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**DEMOLITION PLAN**

**AD-101**



**ROOF PLAN GRAPHIC LEGEND:**  
 SHINGLE ROOF TO MATCH EXISTING HOUSE, SEE A-101 FINISH NOTES FOR DETAILS



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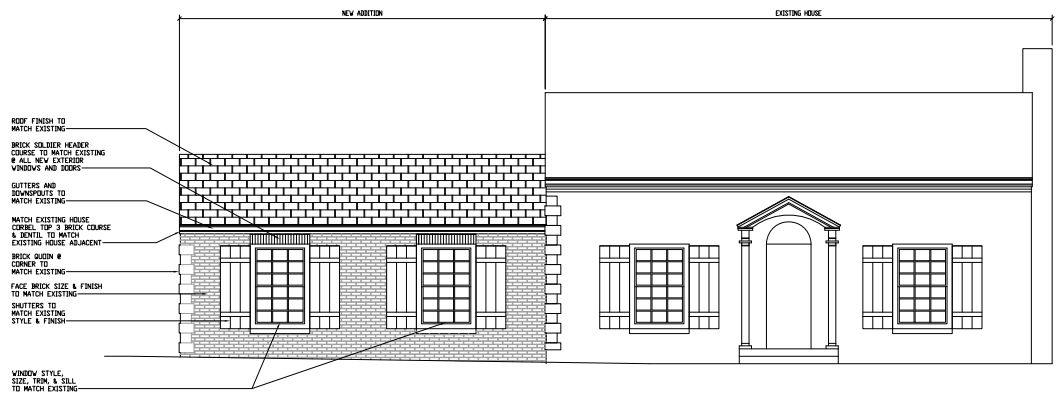
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**PROPOSED  
 ROOF PLAN**

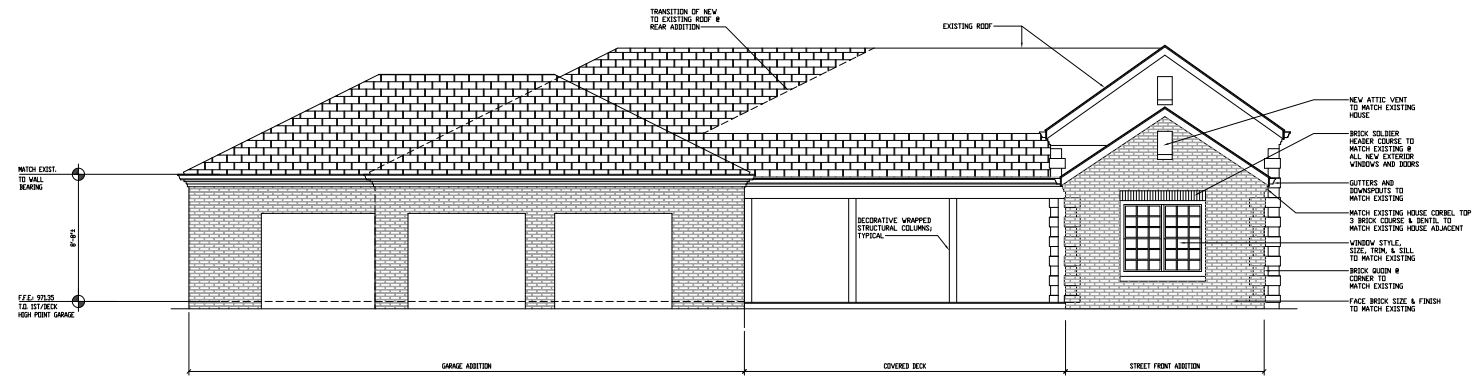
**A-102**

**ELEVATION GRAPHIC LEGEND:**

- PAINTED BRICK TO MATCH EXISTING HOUSE, VERIFY IN FIELD
- SHINGLE ROOF TO MATCH EXISTING HOUSE, SEE A-101 FINISH NOTES FOR DETAILS



1 FRONT ELEVATION  
A-201 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION  
A-201 SCALE: 1/4" = 1'-0"

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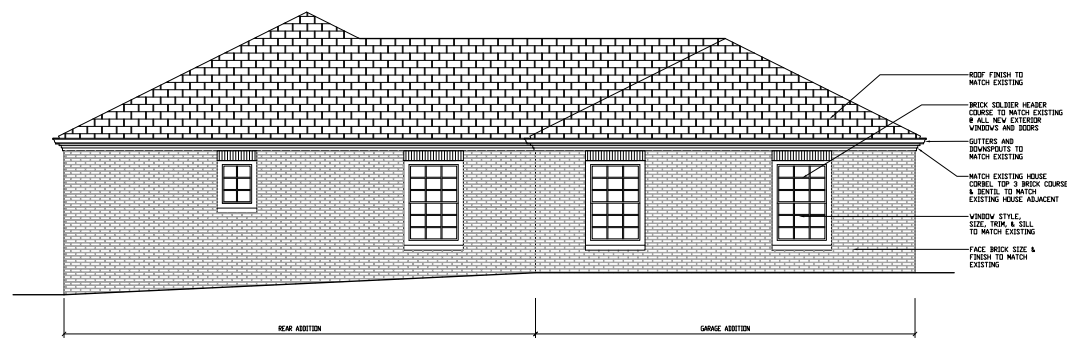
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**ELEVATIONS**

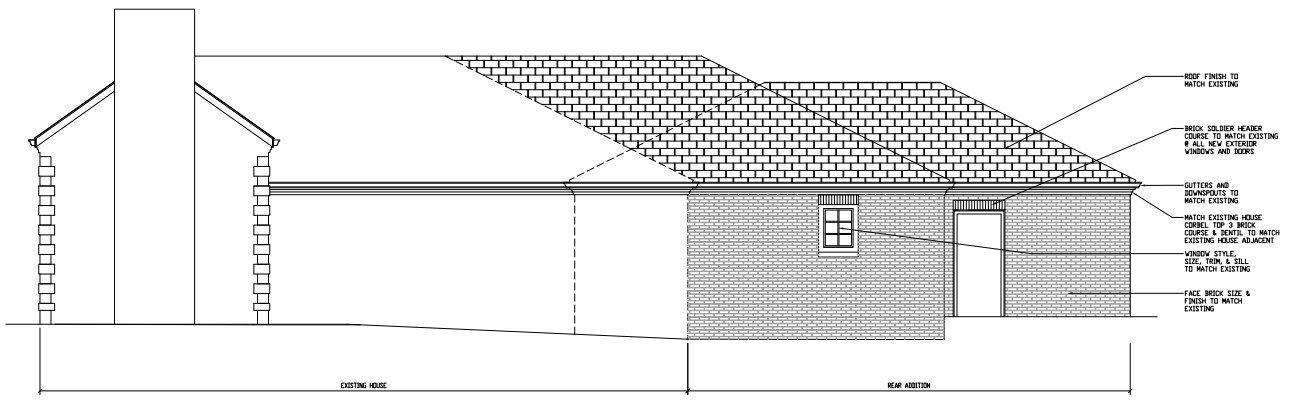
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**ELEVATION GRAPHIC LEGEND:**

-  PAINTED BRICK TO MATCH EXISTING HOUSE, VERIFY IN FIELD
-  SHINGLE ROOF TO MATCH EXISTING HOUSE, SEE A-101 FINISH NOTES FOR DETAILS



1 SIDE ELEVATION  
A-202 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION  
A-202 SCALE: 1/4" = 1'-0"

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KNOXVILLE, TN

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HZC REVIEW

**REVISIONS**



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**ELEVATIONS**

**A-202**

ELEVATION GRAPHIC LEGEND:

-  PAINTED BRICK TO MATCH EXISTING HOUSE, VERIFY IN FIELD
-  SHINGLE ROOF TO MATCH EXISTING HOUSE, SEE A-101 FINISH NOTES FOR DETAILS

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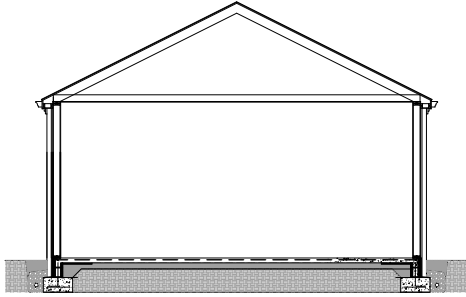
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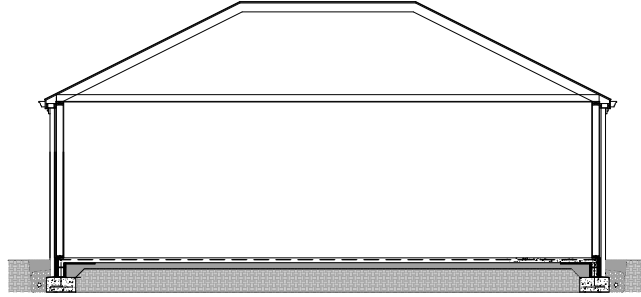
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SECTIONS

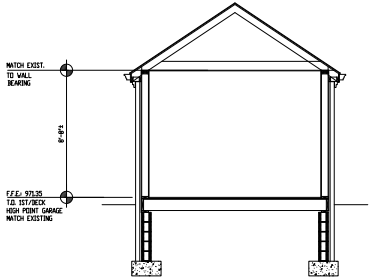
**A-301**



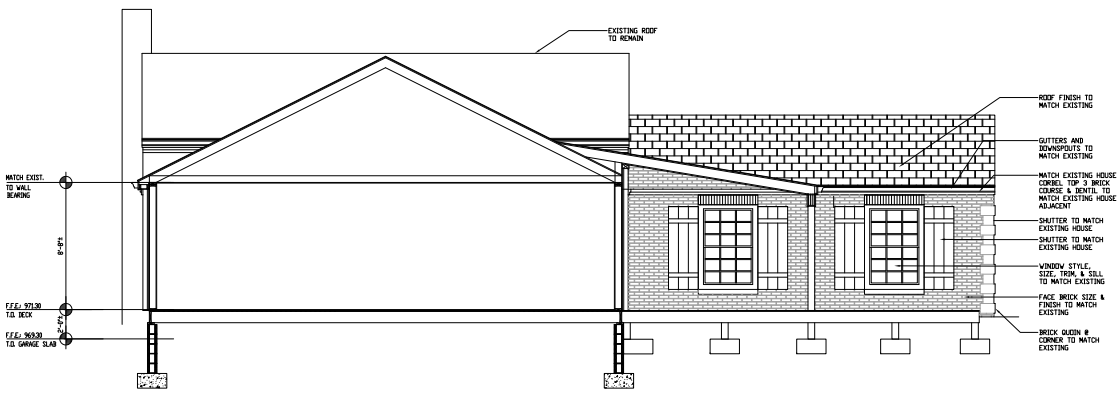
3 SECTION  
A-301 SCALE: 1/4" = 1'-0"



4 SECTION  
A-301 SCALE: 1/4" = 1'-0"



2 SECTION  
A-301 SCALE: 1/4" = 1'-0"



1 SECTION  
A-301 SCALE: 1/4" = 1'-0"