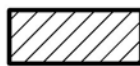




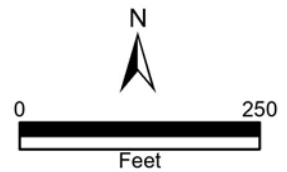
5-J-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1730 Jefferson Ave. 37917
Edgewood-Park City H

Original Print Date: 5/6/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Jenn Otero





Staff Report

Knoxville Historic Zoning Commission

File Number: 5-J-24-HZ

Meeting: 8/15/2024
Applicant: Jenn Otero
Owner: Jenn Otero

Property Information

Location: 1730 Jefferson Ave. **Parcel ID** 82 P H 008
District: Edgewood-Park City H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Queen Anne cottage, c.1900
One-story residence with a hipped roof with projecting gables, a turreted bay on the façade, and an exterior of vinyl siding.

Description of Work

Level I/II Installation of Gutters, Storm Windows/Doors, Etc, Major Repair or Replacement
Proposed removal of existing vinyl siding and installation of new vinyl siding.

Applicable Design Guidelines

Edgewood-Park City Design Guidelines, adopted by the Knoxville City Council on July 29, 1997.

Wall Coverings: Wood

2. Replacement siding, trim, and patterned shingles shall duplicate the original.

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Wood Features and Siding

1. Repair deteriorated wood elements as character-defining features.
 2. Maintain compatibility when replacing wood features that are deteriorated beyond repair.
 - a. Repair or replace, only as needed, materials and features with components that match the original in material, dimension, detail, profile, and texture.
 - b. Smooth-finished fiber cement board may be utilized as a replacement for wood siding only when it has deteriorated beyond repair
 - c. Existing vinyl or aluminum siding may be replaced in-kind as long as no further architectural detailing is covered or removed.
 - d. Utilize a replacement siding that matches the profile and exposure of any original existing siding or matches what is documented to be the original. In the absence of appropriate documentation, install the exposure to match that of similar buildings in the district.
-

Comments

N/A

Staff Findings

1. 1730 Jefferson Avenue is a contributing resource to the Park City National Register Historic District and the local overlay. The house has several exterior modifications, including replacement windows, window trim, and a section of brick veneer on the façade. The vinyl siding is visible on Google Streetview imagery going back to 2007, and the siding was noted as synthetic in the 1990 National Register nomination.
2. Since the May 2024 meeting, the applicant has provided photographs showing sections of the vinyl siding lifted to illustrate the siding below. It is difficult to discern the location of the photos or the siding materials below. As far as possible to see, photos of the rear and left side elevations show visible wood siding; these photos also show an aluminum housewrap product on some boards, and some boards have large holes with caulk. Field review also shows the removal of a section of vinyl siding on the house's façade, below the windows, with intact wood siding below. On this section of the façade, the cornerboards and trim in the gable field are the original wood.
3. A turret-shaped front porch on the left half of the façade has been enclosed with vinyl siding to create additional space at an unknown date. This massing most likely does not have wood siding below the vinyl.
4. Both the adopted and the approved but not yet formally adopted sets of design guidelines for Edgewood-Park City encourage duplicating original siding. The older design guidelines note that replacement siding "shall duplicate the original," and the new design guidelines note that "existing vinyl may be replaced in-kind as long as no further architectural detailing is covered or removed."
5. While there is not a significant increase in evidence of the wood lap siding's condition, presence, or absence, there is wood lap siding on at least three elevations. The existing design guidelines recommend replicating original siding, and the new design guidelines do not support vinyl if wood lap siding is present.

The new design guidelines note that smooth-finished fiber cement board may be utilized as a replacement for wood only when it has deteriorated beyond repair; and the following guideline about vinyl notes that "vinyl may be replaced in-kind as long as no further architectural detailing is covered or removed." The Commission and neighborhood should weigh in on alternate routes if desired.

Staff Recommendation

Based on the existing design guidelines, staff recommends approval of removal of the existing vinyl siding and denial of the proposed new vinyl siding; staff recommends installation of wood lap siding to reflect the existing in exposure pattern and installation.

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: *replacement of damaged siding* _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

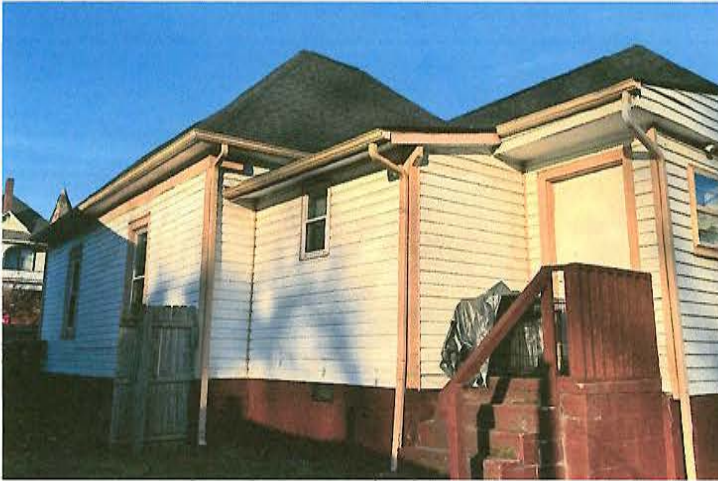
ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:		TOTAL:
100.00		
FEE 2:		
FEE 3:		100.00

Photos



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Photos



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ODYSSEY Plus[®]

PREMIUM VINYL SIDING

Quality Exterior Products with Easy-Care Convenience

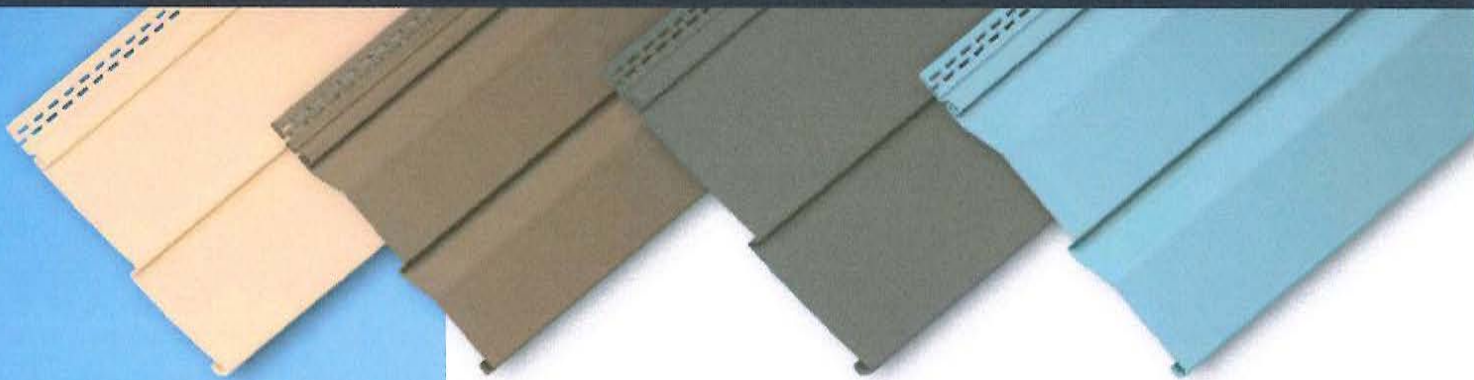
FEATURING
SecureLock

ADVANCED NAIL HEM

ADVANCED



Alside[®]



PREMIUM APPEARANCE

Choose from two of America's most popular siding styles – traditional clapboard or beveled-edge dutch lap. Both styles are available in double 4" and 5" widths. A natural grain pattern, realistic shadow lines and a low-gloss, look-of-paint finish recreate the distinctive details of genuine wood siding. For greater design flexibility, choose from up to 24 popular colors including 11 designer hues.

OUTSTANDING PERFORMANCE

Heavy-duty panel thickness (.044" nominal) and an advanced lock design deliver increased rigidity so walls stay straight and smooth. The strengthened lock provides superior holding power, keeping panels tight on walls, even in challenging winds.

CAREFREE UPKEEP

Odyssey Plus is made with durable, weather-resistant vinyl, so there's never any painting or staining. Just a simple rinse with a garden hose will remove most airborne dust and dirt and restore the like-new beauty.

Odyssey Plus contains premium features that are not found in many competing sidings. Make the comparison yourself . . . you'll find Odyssey Plus vinyl siding is one of the best investments you can make in your home.

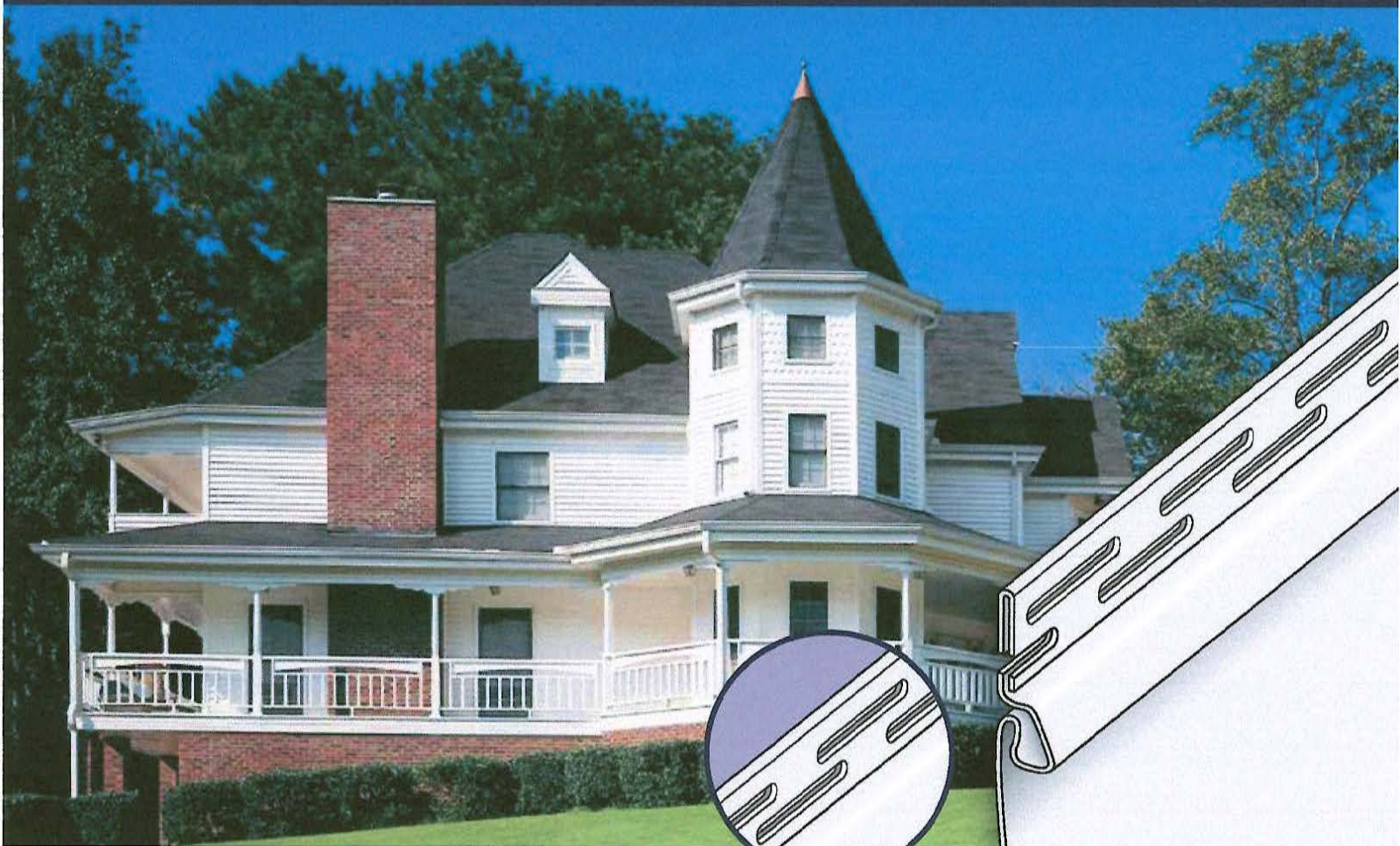
A VARIETY OF PROFILE DESIGNS

Odyssey Plus offers a wide variety of options when designing your home's exterior. With four profiles to choose from and a full selection of decorative trim and accessories, you can create a custom design that's a clear reflection of your personal taste.

QUICK SPECS: Subtle woodgrain texture
.044" panel thickness
Rolled over nailing hem
1/2" panel projection (D4 profiles); 5/8" panel projection (D5 profiles)
Available in Double 4" clapboard, Double 4" dutch lap, Double 5" clapboard, and Double 5" dutch lap
24 contemporary colors

DID YOU KNOW for nearly two decades vinyl siding has been a leading choice for exterior cladding on new single-family homes. This broad appeal stems not only from its beauty, durability, and easy upkeep, but also from the fact that vinyl siding can add value to homes.





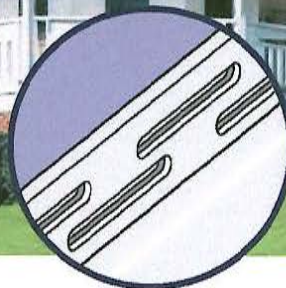
ADVANCED SECURELOCK STAGGERED NAIL HEM SECURES YOUR VINYL SIDING EFFORTLESSLY



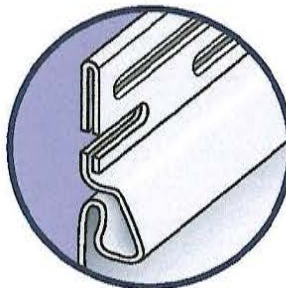
SecureLock advanced lock design from Alside provides outstanding performance. Double staggered nail slots and a fully rolled over nailing hem ensure exceptional wall gripping strength. Odyssey Plus has been laboratory tested to meet or exceed the ASTM D5206 industry test standard for negative windload

resistance. This strong locking system also means your siding will lay flat and look beautiful year after year.

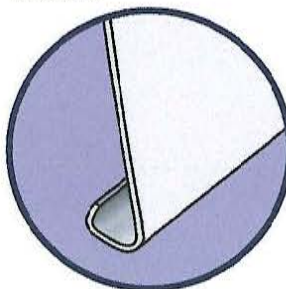
Whether you are replacing your existing siding or building a new home, choose a brand that provides both advanced performance and lasting beauty . . . choose Odyssey Plus.



Double staggered nail slots hit a stud every time.



Extra-strong rolled over nail hem.



Locking panels resist challenging winds.

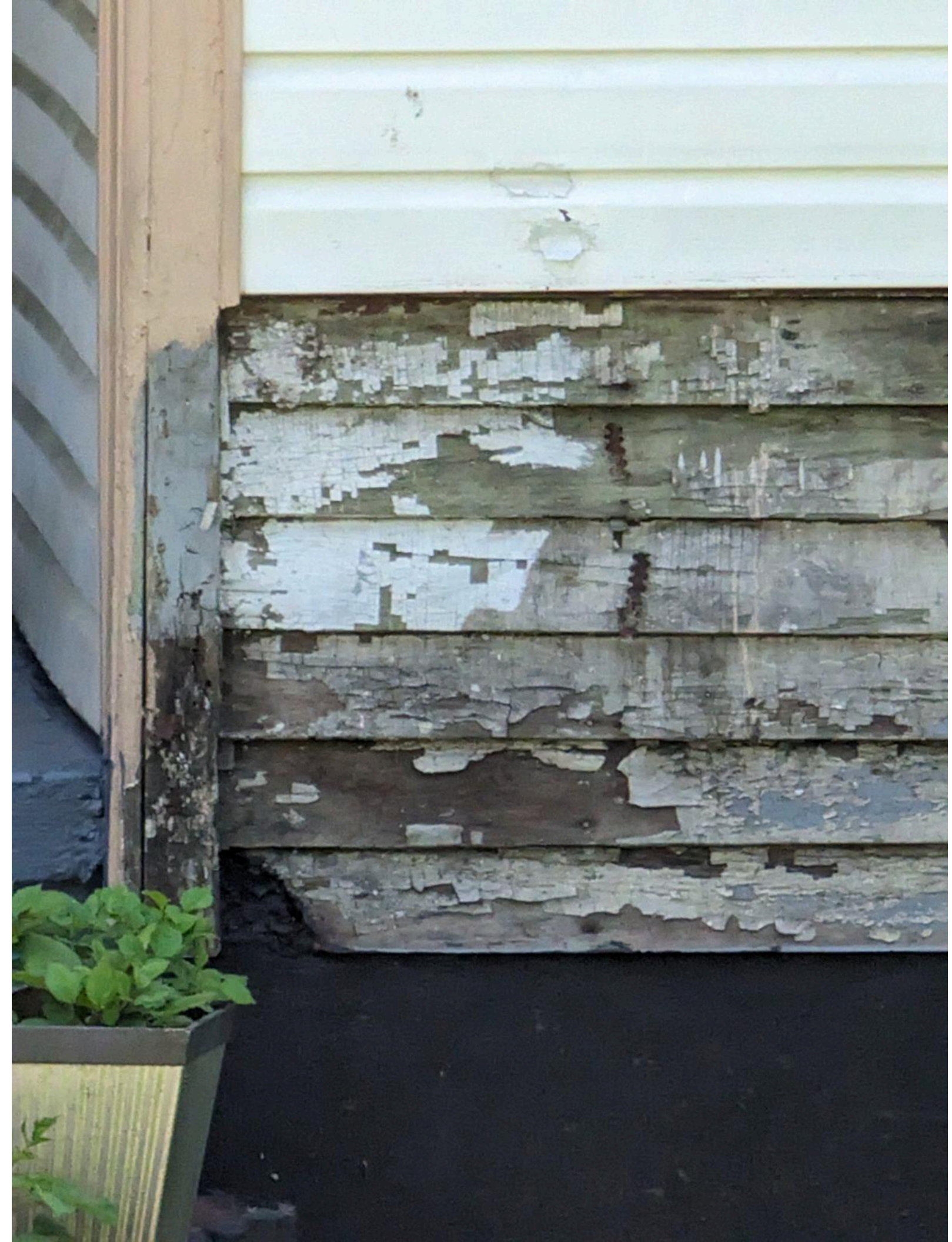




1730





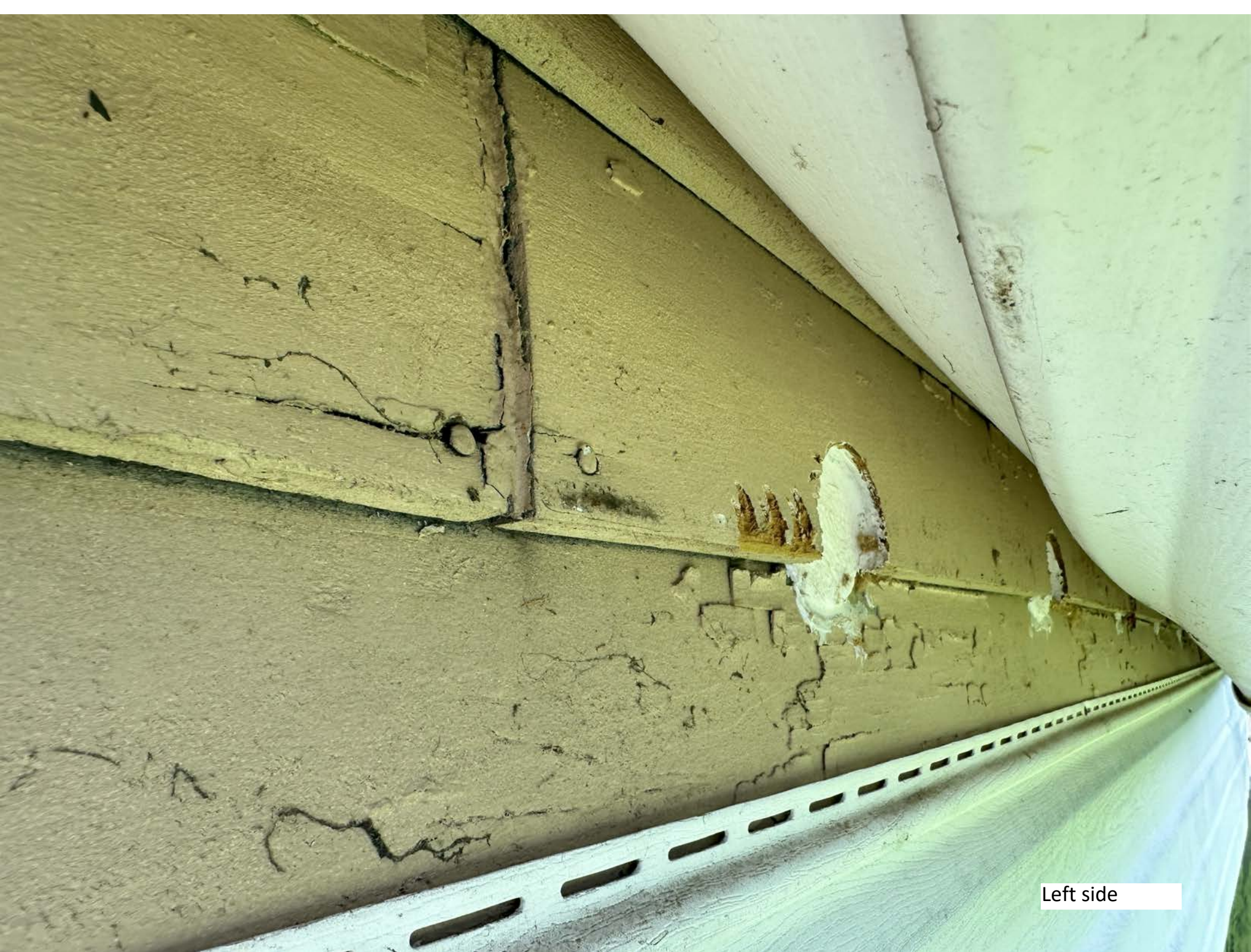




Rear of house

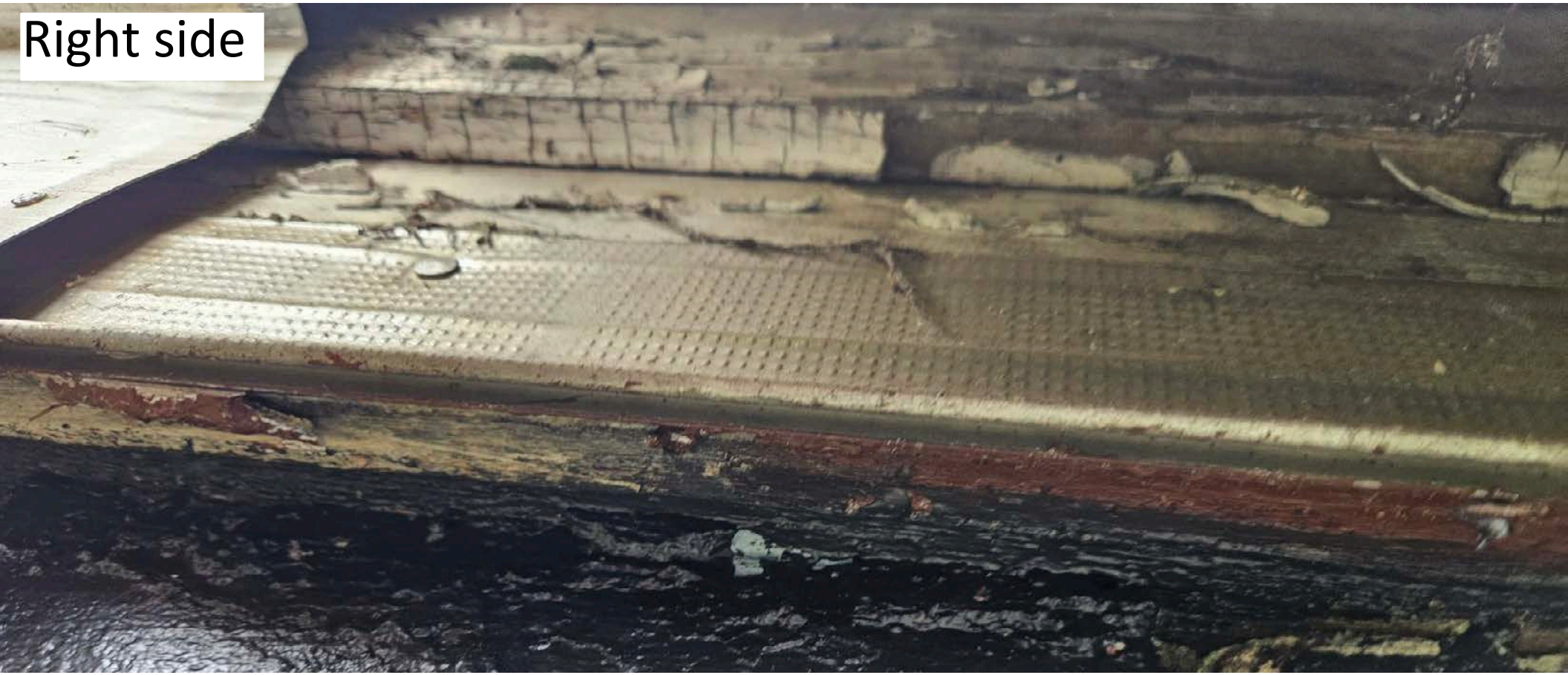


Left side



Left side

Right side

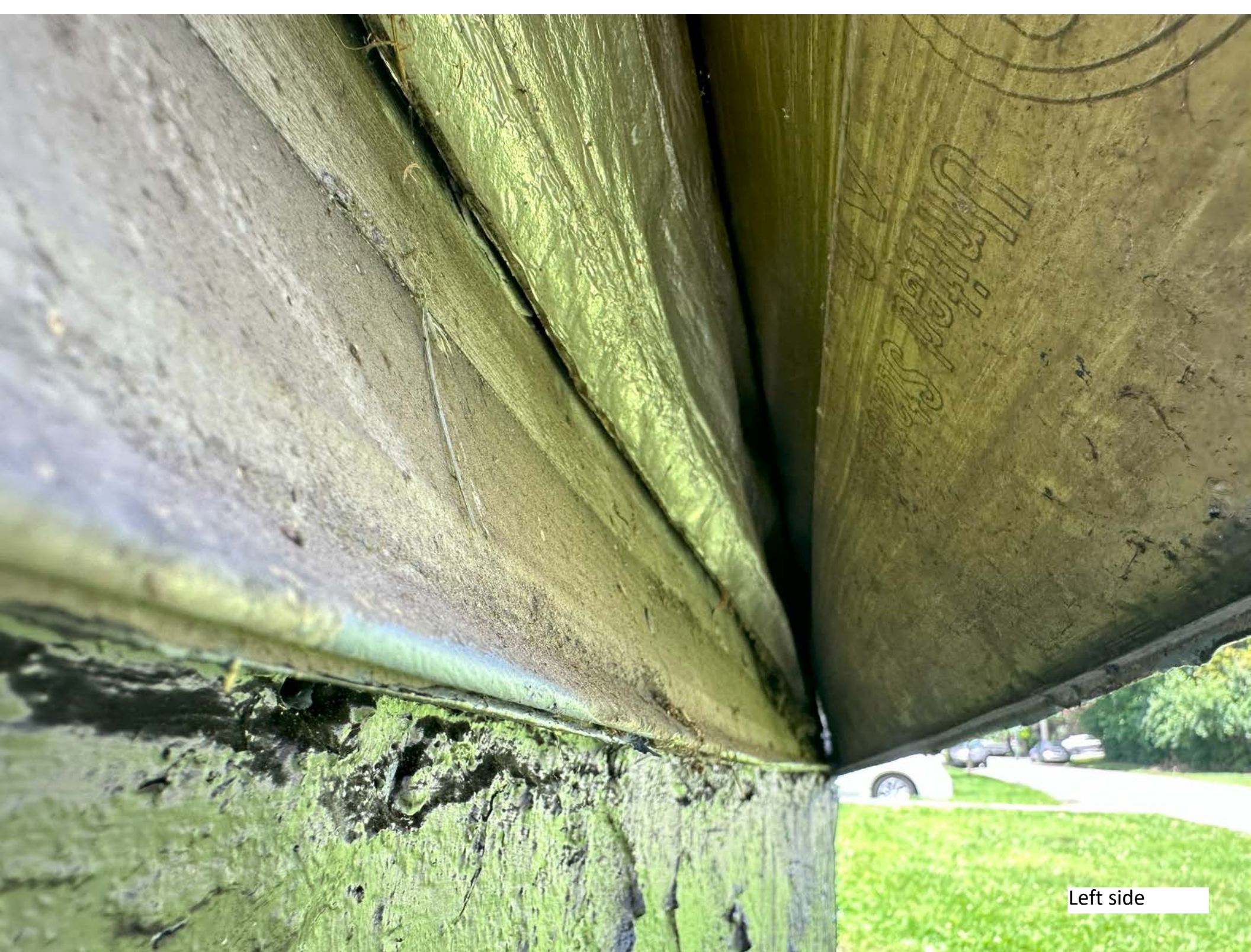




Back corner



Front



Union Steel

Left side



Right side



INSPECTION REPORT
1730 Jefferson Ave
Knoxville TN 37917

INSPECTED BY
Jon Walz
Best Choice
Inspections
TN - 1126

INSPECTION DATE
📅 6/4/2024
🕒 01:00 PM

Date: 6/4/2024	Time: 01:00 PM	Report ID: 240604JW0100
Property: 1730 Jefferson Ave Knoxville TN 37917	Customer: Jenn Otero	Real Estate Professional:

The purpose of a home inspection report is to list significantly deficient systems or components, found on the day of inspection, that do not function as intended or that adversely affect the habitability of the building.

Directional References

The location of various items in this report will be referenced as if one were facing the front entry door. For example, an item referenced location would be Front, Rear, Right or Left – when facing the front door, regardless of where one is in the building (unless otherwise noted).

Comment Key & Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before making important decisions on this home. **We strongly recommend** any repair or replacement recommendation be further evaluated and/or repaired by qualified, certified, licensed professional(s) in that field. All costs associated with further inspection fees and repair or replacement of item, component or unit should be carefully considered before taking action.

ACCEPTABLE: Item was visually inspected and it appeared to function as intended, allowing for normal wear and tear at the time of the inspection.

REPAIR/REPLACE: Item was visually inspected and found to be have a significant deficiency per SOP of the State of TN. Repairs are needed. Recommended time line for repairs further defined by priority of item.

MONITOR/MAINTAIN: Item was visually inspected and was not found to have a significant deficiency but minor adjustments and/or minor repairs are needed that do not affect the overall function of the item.

NOT INSPECTED: Item could not be inspected due to conditions such as, but not limited to: inaccessibility, concealment, personal content blocking view, safety concerns, components that are turned off, disconnected and/or had no power, etc.

NOT PRESENT: Item, component, or unit is not present or could not be located at the time of the inspection.

SCOPE, LIMITATIONS, AND DISCLAIMERS

It is important for you to read the Scope, Limitations, and Disclaimers for this report. These are located in a separate section at the end of the full report section. Failure to read and understand these will void the warranty for this inspection and will release Best choice Inspections, Inc. from all liability claims arising as a result of the inspection and this report.

Style of Building:
Bungalow

Year Built:
1900

SqFt: Finished & Conditioned:
1320

Client Is Present:

No

Mold Sampling:

No

Radon Sampling:

No

Weather:

Clear

Temperature:

Over 65

Rain/Snow in last 3 days:

Yes

Building Faces:

North

RESULTS AT A GLANCE

4

ITEMS INSPECTED
Total number in report.

4

SUMMARY COMMENTS
Total number in report.

4

PHOTOS
Total number in report.

1. SCOPE OF INSPECTION

DESCRIPTION

STANDARDS OF PRACTICE (S.O.P): Our home inspectors follow the "Rules and Regulations" for the Tennessee Home Inspector Licensing Program which is administered by the Tennessee Department of Insurance and Commerce. **The S.O.P. for each system will be located at the top of the page - in the header (i.e. ROOFING: "The Inspector shall..." "The Inspector is NOT required to..."** This is a visual inspection of the components of the home. The TN H.I. Program requires a home inspector to "inspect readily visible and readily accessible installed systems and components listed in this rule". The "Rules and Regulations" do not require a home inspector to "move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility." Other home inspector requirements are listed in the Tennessee Home Licensing Program's "Standards and Procedures" which are available in their entirety at www.state.tn.us/commerce/boards/hic or it can be mailed to you upon request.

DISCLAIMERS:

Important: This home was inspected and reported on according to the terms and conditions of the Home Inspection Agreement. The Agreement is a legally binding contract and our client(s) are required to read and understand it before accepting the following report. THIS IS A VISUAL INSPECTION: the inspector and Best Choice Inspections, Inc. cannot be responsible for finding deficiencies that are hidden from view or not visible for any reason (i.e. lack of access, covered by contents in the building). Further, we are not responsible for deficiencies in any component that could not be operated or tested for any reason. Our inspectors take great care, on your behalf, making every effort to find all areas of concern, however, due to various conditions at the time of inspection, some areas can go unnoticed. For example, roof coverings, skylights, etc. can appear to be leak proof during inspection but could leak later as weather conditions change. Or an outlet hidden behind a couch could have a defect, but was not visible at the time of inspection. Please understand, that the inspector has your best interest in mind.

NO ENVIRONMENTAL TESTING IS PERFORMED: the inspector(s) did not test and/or identify any substance as a health hazard during this inspection, (unless requested and a separate contract agreement is signed). Environmental substances, may include but are not limited to any type of MICROBIAL, MOLD, FUNGUS, MILDEW, INDOOR AIR QUALITY, VOC'S, RADON, etc). Although the inspector may note, for example: "Suspected microbial-like substance" (which may have an appearance similar to or resembles other known hazardous substances, however, there is no way to know if a health hazard exists unless it is tested and therefore, the inspector and/or Best Choice Inspections, Inc. is not to be held liable for any harm or perceived harm that arises from any omission of any type of harmful substance in this report. **As a BUYER or PROPERTY OWNER it is YOUR RESPONSIBILITY** to consult appropriately qualified, certified professionals to fully test any unknown substances on any portion this building or property.

NO BUILDING MATERIALS ARE TESTED: the inspector(s) did not test and/or identify any building material or substance as a health hazard during this inspection, (unless requested and a separate contract agreement is signed). Although the inspector may note, for example: "Suspected asbestos" materials or "possible lead base paint" (which may have an appearance or that resembles other known hazardous materials, however, there is no way to know if any materials are a health hazard unless it is tested and therefore, the inspector and/or Best Choice Inspections, Inc. is not to be held responsible for any harm or perceived harm that arises from an omission of any type of harmful substance.

OLDER BUILDINGS - BUILT BEFORE 1978, MAY CONTAIN HARMFUL SUBSTANCES: i.e. Lead Based Paint, Asbestos, and/or any other harmful substances not listed here. The inspector(s) do not attempt to identify substances or determine if there is a health hazard present. For building material testing or any other

environmental testing WE STRONGLY RECOMMEND consulting the appropriate qualified, certified and licensed professionals for further evaluation.

REPAIR / REPLACEMENT RECOMMENDATIONS:

We highly recommend that only qualified professional(s) are used to evaluate the noted inspection item(s) or deficiency we discover before the inspection contingency period expires or before closing (*i.e. appropriately licensed, insured, certified and/or experienced to perform any evaluation or work in noted field* – according to the State of Tennessee Licensing Board). Further, as home inspectors we are licensed as *general practitioners* and therefore this inspection and report is not intended to be "technically" exhaustive. Only a licensed professional in the noted field will be able to fully evaluate and identify cause and also give recommendations for repair.

DISCLAIMER: As a courtesy we may give out a list of qualified professionals (who have up to the present time have a proven track record), however, we do not guarantee the accuracy of their opinions or the quality of their workmanship or the integrity of their business practices and Best Choice Inspections, Inc. or its inspectors are not to be held liable for any damages (*real or perceived*) and/or personal injury that may arise from work performed.

ITEMS: SCOPE OF INSPECTION

1.0 HOME/BUILDING INSPECTOR'S RESPONSIBILITIES

Tennessee licensed home inspectors are governed by laws and rules that specify whether a home's systems, components or items are considered as having significant deficiencies. **Home inspectors are not allowed to improperly report an item as having a significant deficiency just to satisfy a home buyer's desire to have the home seller or the home builder make a repair.**

Further, the Rules published by the Tennessee Home Inspector Licensing Program includes a list entitled "**Standards of Practice**" that specifies which systems, components and items are to be inspected and to be included in the home inspection report. See these this Tennessee government website for specifics:

<https://www.tn.gov/commerce/section/commerce-contact-us>

1. Laws governing Home Inspectors: **Tennessee Code Annotated § 62-6-301, Tennessee Home Inspector License Act of 2005.**
2. Rules Governing Home Inspectors: **Rules of the Tennessee Department of Commerce and Insurance, Chapter 7080-5-12.**

1.1 DEFINITION OF A DEFICIENCY

The Tennessee Home Inspector Licensing Program defines "**Significantly deficient**" as "**unsafe or not functioning**". These are the only defective items Tennessee home inspectors are **required** to include in their reports. However, other items are **allowed** to be reported in a home inspection report, especially if requested by the inspector's client.

3. EXTERIOR



DESCRIPTION

TN - Standards of Practice: The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building.

The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected.

The home inspector is NOT required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks.

The home inspector is NOT required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

RECOMMENDATIONS: The following items should be evaluated, repaired by appropriately qualified, certified, licensed professionals, unless otherwise noted. (This includes ANY other discoveries or repair recommendations given by the qualified professional not listed in this report).

STYLES & MATERIALS: EXTERIOR

Siding Style:

Lap

Siding Material:

Vinyl

Metal

ITEMS: EXTERIOR

3.0 WALL CLADDING, FLASHING, AND TRIM

(1) Siding consists of wood lap siding boards on most of the exterior walls covered with aluminum on the left side and vinyl on the right side of the home. Another comment will cover the portion of the exterior walls which do not appear to have wood lap siding boards under the metal siding. This evaluation of the siding is an attempt to predict what obstacles may be present if an attempt is made to restore the original wood siding boards under the metal and vinyl sidings.

Only small areas of the wood siding are visible. Of the visible areas of the siding the following observations were made.

- Small areas on the left and right side of house were found to have loose metal/vinyl siding at the same height above the ground. At these areas there are roughly 2–3 inch round holes drilled through the siding which are filled with foam. These holes are spaced roughly 6 to 8 inches apart and continue laterally at all visible areas. The purpose of the holes was likely to install foam insulation inside the exterior walls. This impacts the restoration of the siding in the following ways.
- All damaged boards will need to be removed and replaced. This consists of, at minimum, two rows of boards around the entire perimeter of the home. If a second row of holes was drilled near the top of the wall, then two more rows of boards will need to be replaced.
- Removing the damaged boards will damage the spray foam insulation causing the need for further repairs.
- Visible portions of wood siding was found to have flaking paint. The flaking is consistent with aging lead based paint. Remediation of the lead based paint will significantly increase the cost of restoring the original wood siding.
- Other considerations include
 - Removing the original wood siding can cause damage to plumbing and electrical systems installed inside the exterior walls.
 - Matching the original wood boards that need to be replaced with similar wood boards can be difficult due to the differences in wood quality and available sizes.



(2) Front left corner of the home from the front porch to the interior corner on the left side of the home appears to be an addition that was added later. The siding at this location is about 10–15% of the exterior walls. The siding at this location appears to consist of a insulation foam board covered with metal siding. There is no visible wood lap siding at this area of the home.



VISUAL INSPECTION LIMITATIONS: We take great care, on your behalf, in an effort to find all areas of concern,

however, due to conditions at the time of the inspection some areas may not have been inspected during our visual inspection. For example, there may be vegetation, storage items, weather conditions, or other unsafe conditions that may make it difficult or impossible to visually observe 100% of the exterior building components. Please keep in mind, your inspector has your best interest in mind.

RECOMMENDATIONS: *In order to make an informed decision, we strongly recommend that you carefully examine, to your satisfaction, all areas and components of this building before closing, this especially includes all areas or components that may have been blocked from view during our inspection.*

RECOMMENDATIONS: *we recommend a qualified professional evaluate and repair all listed items, as well as any other deficiencies the professional may recommend, but not listed in our report.*