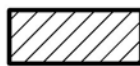




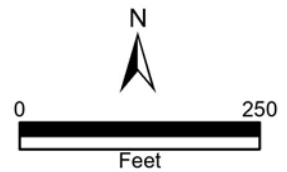
4-G-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1800 White Ave. 37921
Ft. Sanders NC

Original Print Date: 4/3/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Benjamin C. Mullins





Staff Report

Knoxville Historic Zoning Commission

File Number: 4-G-24-HZ

Meeting: 4/18/2024
Applicant: Benjamin C. Mullins
Owner: IDB, Med LLC

Property Information

Location: 1800 White Ave. **Parcel ID** 108 C D 916 108CD015
District: Ft. Sanders NC
Zoning: CU (Cumberland Avenue)
Description: N/A
Vacant surface parking area behind two houses fronting White Avenue.

Description of Work

Level III Construction of New Primary Building

New multi-unit residential building. The building proposed for HZC review is a section of a larger building outside of the Fort Sanders NC overlay; it will connect to a multi-unit building on the west (fronting White Avenue) and via a proposed overhead alley crossing to a building fronting Cumberland Avenue. The building is proposed for the rear of two houses fronting 1800 and 1804 White Avenue, land which currently serves as surface parking. The building will front 18th Street, measures 66'-1.75" wide by approximately 100' deep.

The flat-roof building is five stories tall on the 18th Street elevation, measuring slightly under 50' tall above grade. The building will be clad in brick veneer on the east elevation (fronting 18th Street) and the eastmost bays of the north and south elevations. Additional exterior siding materials are corrugated metal siding and fiber cement panel siding.

The façade (east) is ten bays wide, arranged symmetrically, with the central four bays on a recessed massing and the outer bays projecting towards the street. On the first through fourth stories, the central bays feature recessed front porches with metal railings. The uppermost level is clad in dark grey corrugated metal siding. Windows are double-hung, 4/4 on the façade and 1/1 on the side elevations. The façade windows feature flat brick headers and sills. A cast cornice detail separates the first and second stories.

The north elevation fronts White Avenue, including the rear of the two houses at 1800 and 1804 White Avenue. The north elevation is four stories tall, featuring 25' of brick cladding on the leftmost bay followed by six bays of double-hung windows surrounded by fiber cement board and batten siding.

The south elevation fronts the alley and the new structure to be built along Cumberland Avenue. The five-story elevation features 25' of brick cladding, a CMU foundation with a garage exit, and six evenly-spaced bays of double-hung windows.

Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

A. Height, Scale, & Massing

1. Foundation heights should be consistent with other pre-1940 buildings in the neighborhood.
2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.
3. With redevelopment of two or more lots for apartment, office, commercial, or mixed use development, street-facing facades of new buildings should be broken up with bays or porches that are consistent with the dimensions of historic buildings in the neighborhood.
6. For the first 35 feet, buildings should have similar setbacks, bays, and covered entrances that complement the historic architecture on the street.
7. Upper stories should be stepped back at least 8 feet. In addition to providing a pedestrian scale at street level, the landings should be used for balconies, providing open space to those who use the building.

B. Roofs

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs, and dormers.
3. Use roofing materials that are in keeping with historic development styles. Asphalt shingle, tile, pressed metal, and slate were used.
4. Darker shades of shingles were historically used and should be selected in new construction.

C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.
2. Porches should be no less than 6 feet deep and no more than 10 feet deep. They may be recessed behind the main setback line or alternatively can extend 10 feet into the front setback line.

D. Wall Materials

1. Paint color is not regulated.
2. Clapboard (or clapboard-type materials such as aluminum or vinyl), shingle (or shingle-like material), or brick should be used.
3. Board and batten siding can be used on accessory buildings.
4. Quarried, square cut stone can be used on porches or other accents. Such stone should be used in constructing retaining walls.
6. Materials that are not typical in pre-1940 construction should not be used. These include cinder block, T-111 siding, and stone facing.

E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
2. Windows should be double-hung sash windows. Vinyl or metal-clad windows may be used in place of wood frame windows.
- 2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.
3. Accent windows are appropriate with new construction.
4. Double-hung sash windows are recommended for two- to three-story new construction.
5. Variations of double-hung windows should be considered in relation to the design of new buildings.
6. The proportions of upper-level windows should not exceed the proportion of the first level.
7. Upper level windows should be provided and aligned with doors.
9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.

10. When parking areas are provided behind buildings, rear entrances are also allowed.

F. Parking

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.
2. Provide parking access off the alley or off a side street.
3. Plant one native shade tree for every 50 feet of lot width, adjacent to or as islands within the lot area.
7. Surface parking area shall always be to the rear of the building.
8. Primary or secondary entrances to the buildings from parking areas are allowable.

G. Landscaping, Fencing, & Retaining Walls

1. Plant one native shade tree (e.g. oak or maple) and one ornamental tree (e.g. dogwood) in both the front and rear yards for every 50 feet of lot width.
2. Plant shrubs near new buildings to complement the foundation height, windows, and entries. Select species and a distance from the building that will not harm foundation materials.
5. Keeping with tradition, low, square cut stone, poured concrete, or brick walls should be used in constructing retaining walls.

I. Placement on the Lot: Traditional Lot Development

1. The front yard setback should be the same distance as the majority of the pre-1940 houses on the block.
3. Porches should extend 8 to 10 feet into the front yard setback. Steps needed to reach the front of a porch may also extend into the front yard.
4. Bays, composing up to 50% of the side façade, should extend 5 feet into side yard setback on corner lots.
5. Bays, composing up to 60% of the front façade, should extend up to 8 feet beyond the predominant portion of the structure or alternatively a porch should extend along the façade.

Comments

N/A

Staff Findings

1. 1800 and 1804 White Avenue are contributing resources to the Fort Sanders National Register Historic District and local NC overlay. The properties are zoned CU-4, subject to the form-based code which extends for 1-2 blocks along Cumberland Avenue, instead of the Residential or Office zones more prevalent throughout the Fort Sanders NC overlay. The multi-unit building to the immediate east is outside of the NC overlay. 1800 and 1804 White Avenue are the only two parcels in the NC overlay which have the CU zoning.
2. The CU-4 zone “serves as a transition between Cumberland Avenue and the White Avenue neighborhood to the north and is primarily intended to accommodate a variety of commercial, office, and residential uses.” The form-based code addresses form, scale, and building elements instead of specific uses, and the CU code allows for relatively large buildings, particularly in the districts along Cumberland Avenue. The form-based code is reviewed separately by an Administrative Review Committee. The goal of preserving the two historic houses while developing the site to the Cumberland Avenue code is appropriate within the design guidelines and commendable.
3. The building is proposed to be set approximately 8’ from the front property line along 18th street. The front of the building will be aligned with the side setbacks of the houses fronting White Avenue. The side setbacks are consistent and the building is arranged evenly on the lot.
4. The building will serve as a transition in height from the larger section fronting Cumberland Avenue, and the historic houses along White Avenue. The proposed building meets the guidelines for scale and massing, which recommend breaking up facades of new apartment buildings with bays or porches that are consistent with the

dimensions of historic buildings in the neighborhood. The façade (east) breaks up two ~24' wide outside massings with a centrally located porch, measuring approximately 8' deep and 25' wide.

5. Design guidelines for roofs recommend steeply-pitched roofs with variations in the form; flat-roof multi-unit structures have been previously approved in the NC overlay on a case-by-case basis. The flat roof is appropriate in this application, serving as a transition from the section fronting Cumberland Avenue; a pitched roof would increase the overall height and scale of the already tall building.

6. The 18th Street elevation incorporates a porch which meets the design guidelines, measuring 8' deep and recessed into the building.

7. The use of brick cladding on the front elevation and the eastmost bays of the side elevation serves to connect the new building with historic multi-family buildings in Fort Sanders, and meets the design guidelines. The façade incorporates additional detail with inset brick on the outside massings. Metal panel siding is not directly referenced in the design guidelines, but it's used as a secondary material on the façade and serves to visually reduce the overall massing, creating the effect of a step-back. Fiber cement siding is regularly approved in Fort Sanders. The HZC should discuss the use of board-and-batten siding on side elevations. The south elevation will not be visible from the public right-of-way beyond the 25-foot wide, brick-clad section, due to the seven-story building proposed fronting Cumberland Avenue. In the opinion of staff, the siding pattern proposed for the side elevations is appropriate within the guidelines.

8. The windows meet the design guidelines, using proportions, symmetry, and designs "similar to the pre-1940 styles in the neighborhood." Guidelines do not specify window material in Fort Sanders, permitting vinyl, metal-clad, wood, or other materials. The façade windows incorporate additional detail via flat arches and window sills. There is not a primary entry to the building from the 18th Street elevation; however, the first story porches do provide engagement with the street at the pedestrian level via full-light doors.

9. Parking for the building is located in a structured parking area internal to the section adjacent to the west, and will be accessed from the alley, which meets the design guidelines. Final site plan and garage standards should meet City Engineering standards.

Staff Recommendation

Staff recommends approval of Certificate 4-G-24-HZ, subject to the following conditions: 1) meeting all requirements of CU-4 zoning and requirements of the Administrative Review Committee; 2) final site plan and parking to meet City Engineering standards.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Core Knoxville 18th, LLC

Applicant

April 1, 2024

April 18, 2024

4-G-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Benjamin C. Mullins

Frantz, McConnell & Seymour, LLP

Name

Company

550 West Main Street, Suite 500

Knoxville

TN

37902

Address

City

State

Zip

865-546-9321

bmullins@fmsllp.com

Phone

Email

CURRENT PROPERTY INFO

IDB and Med LLC

901 N. Broadway and P.O.B 78 Knoxville

Owner Name (if different from applicant)

Owner Address

Owner Phone

1826, 1804, 1800 White Ave. and 1801, 1807, 1815 Cumberland Ave.

Property Address

Parcel ID

Fort Sanders

CU-4 and CU-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett

4.1.24

Please Print

Date

Benjamin C. Mullins
Applicant Signature

Benjamin C. Mullins

4-1-2024

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Construction of new building on the back part of 1804 and 1800 White Ave. to face Eighteenth Street.
 The 2 existing contributing structures shall remain.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
250.00		
FEE 2:		
FEE 3:		

HUB ON CAMPUS KNOXVILLE DEVELOPMENT BUILDING 4

HPC SUBMITTAL

03/29/2024

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**HUB KNOXVILLE
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SHEET NAME:
**HPC COVER
SHEET**

JOB NUMBER:
22249502

DRAWN BY: **XN** DATE: **03/29/2024**

HPC-CS

SHEET INDEX		
SHEET NUMBER	SHEET NAME	HPC SUBMITTAL 03-29-2024
HPC-CS	HPC COVER SHEET	X
HPC-R01	RENDERING 01	X
HPC-R02	RENDERING 02	X
HPC-SP	HPC_BUILDING PLAN - SITE PLAN	X
HPC-01	HPC_BUILDING PLAN - BASEMENT	X
HPC-02	HPC_BUILDING PLAN - LEVELS 1 - 4	X
HPC-E1	EAST ELEVATION - 18TH STREET	X
HPC-E2	NORTH ELEVATION - WHITE AVENUE	X
HPC-E3	ALLEY ELEVATION	X
HPC-MB	HPC EXTERIOR ELEVATION - MATERIALS BOARD	X

OWNER CORE KNOXVILLE 18TH LLC ATTN: DOUG TICHENOR CORE SPACES 1643 N. MILWAUKEE AVE 5TH FLOOR CHICAGO, IL 60647	CO-OWNER CORE KNOXVILLE 18TH LLC ATTN: JARED SCHENK SCHENK REALTY GROUP	ARCHITECT JAY SILVERMAN DWELL DESIGN STUDIO, LLC 1280 HIGHTOWER TRAIL ATLANTA, GA 30350 (770) 864-1035	CIVIL CASEY TYREE BARGE DESIGN SOLUTIONS, INC. 520 W. SUMMIT HILL DR SUITE 1202 KNOXVILLE, TN 37902 (865) 637-2810
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VIEW ALONG 18TH STREET

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HPC-R01



VIEW ALONG 18TH STREET

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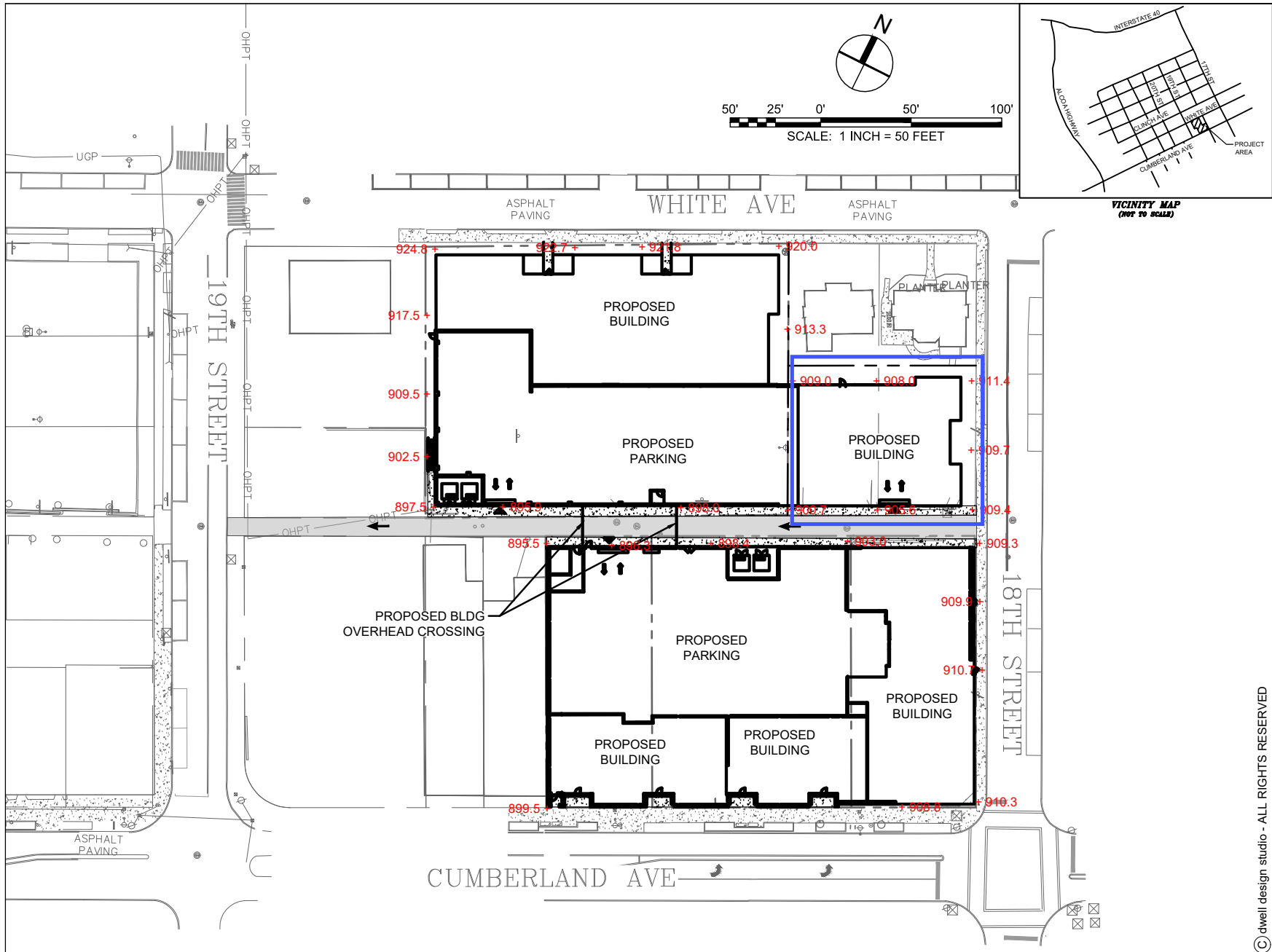
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JOB NUMBER:
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DRAWN BY: XN DATE: 03/29/2024

HPC-R02



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SHEET NAME:
**Conceptual
Site Plan**

JOB NUMBER:
37792-06

DRAWN BY: **BRD** DATE: **03/25/2024**

C01

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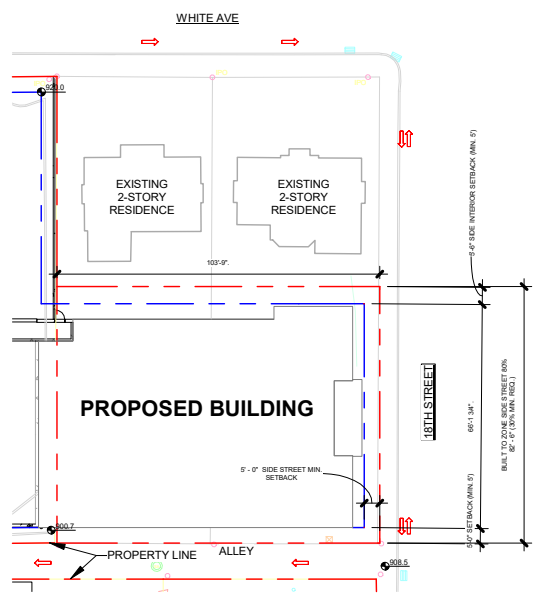
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HPC_SITE PLAN

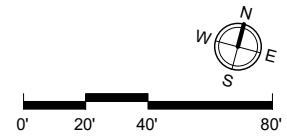
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HPC-SP



1 HPC_SITE PLAN
1" = 40'-0"



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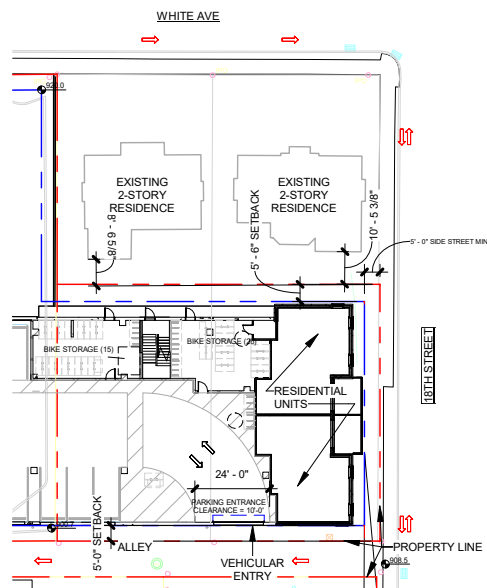
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SHEET NAME:
HPC_BUILDING PLAN - BASEMENT

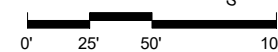
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HPC-01



1 HPC_BUILDING PLAN -BASEMENT
1" = 40'-0"





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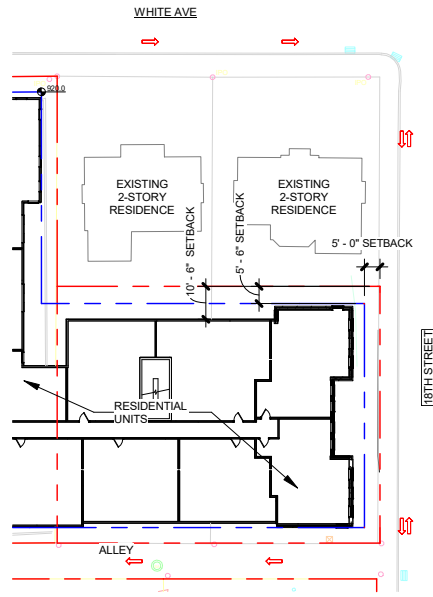
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SHEET NAME:
HPC_BUILDING PLAN - LEVELS 1-4
1-4

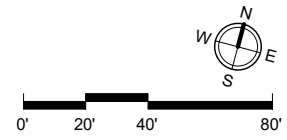
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HPC-02

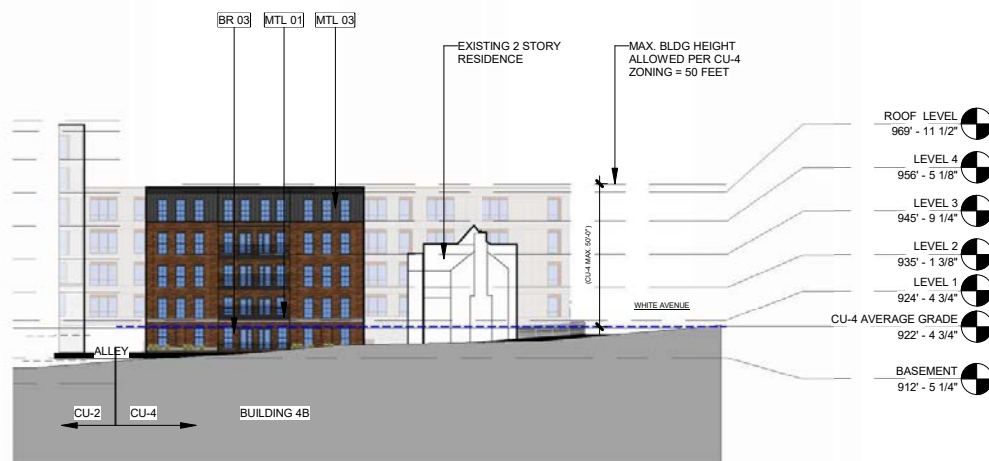


1 HPC_BUILDING PLAN - LEVELS 1-4
1" = 40'-0"



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HUB KNOXVILLE
BUILDING 4
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KNOXVILLE, TENNESSEE 37916



1 EAST ELEVATION - 18TH STREET
1" = 40'-0"

	BR 03 BRICK HS WELMOUR IRON SPOT GLEEN GERY MORTAR ARGOS PUTTY		MTL 01 METAL RAILING DARK BRONZE		MTL 03 CORRUGATED METAL PAC-CLAD-GRAPHITE
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SHEET NAME:
**EAST
ELEVATION -
18TH STREET**

JOB NUMBER:
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DRAWN BY: XN DATE: 03/29/2024

HPC-E1



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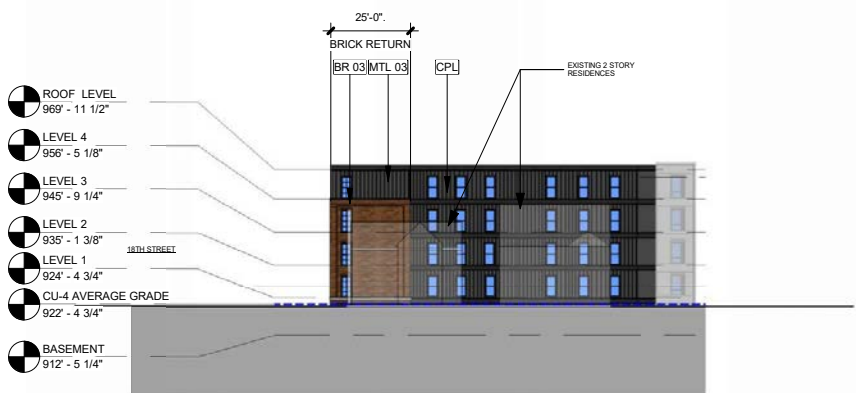
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SHEET NAME
NORTH ELEVATION - WHITE AVENUE

JOB NUMBER
22249502

DRAWN BY DATE
XN 03/29/2024

HPC-E2



1 NORTH ELEVATION - WHITE AVENUE
1" = 40'-0"

 <p>BR 03 BRICK HS VELL MOUR IRON SPOT GLEN GERY MORTAR ARGOS PUTTY</p>	 <p>MTL 03 CORRUGATED METAL PAC-CLAD-GRAPHITE</p>	 <p>CPL CEMENTITIOUS PANEL W/BOARD & BATTEN SW - IRON ORE HIGHLINE S1 PROFILE</p>
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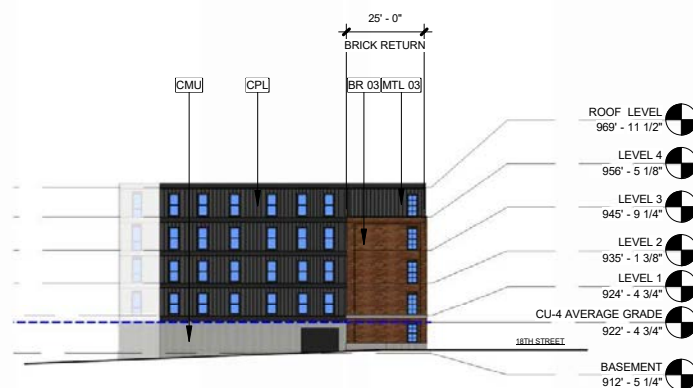
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SHEET NAME:
ALLEY
ELEVATION

JOB NUMBER:
22249502

DRAWN BY: XN DATE: 03/29/2024

HPC-E3



1 ALLEY ELEVATION
1" = 40'-0"

	BR 03 BRICK HS VELMOUR IRON SPOT GLEN GERY MORTAR ARGOS PUTTY		MTL 03 CORRUGATED METAL PAC-CLAD-GRAPHITE		CPL CEMENTITIOUS PANEL W/BOARD & BATTEN SW - IRON ORE HIGHLINE S1 PROFILE
--	--	--	--	--	--



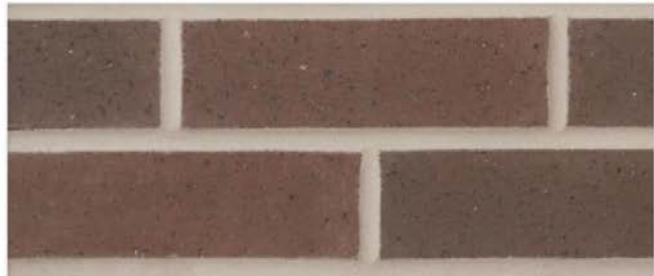
HUB KNOXVILLE BLOCK 04 HISTORIC SECTION



MTL 01 - RAILING
DARK BRONZE



WIN 02
VINYL WINDOWS - DARK BRONZE



BR 03
HEARTHSTONE VELOUR IRONSPOT- GLEN-GERY - MORTAR ARGOS PUTTY



MTL 03
CORRUGATED METAL
PAC-CLAD - GRAPHITE



CPL
BOARD AND BATTEN CEMENTITIOUS PANEL
SHERWIN WILLIAMS - IRON ORE
HIGHLINE S1 PROFILE



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SHEET NAME:
**MATERIALS
BOARD**

JOB NUMBER:
22249502

DRAWN BY: XN DATE: 03/29/2024

HPC-MB

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