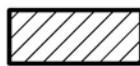




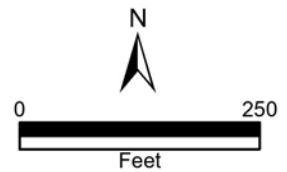
4-D-24-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1704 Highland Ave. 37916
Ft. Sanders NC

Original Print Date: 4/3/2024
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes





Staff Report

Knoxville Historic Zoning Commission

File Number: 4-D-24-HZ

Meeting: 4/18/2024
Applicant: John Holmes
Owner: John Holmes

Property Information

Location: 1704 Highland Ave. **Parcel ID** 94 N L 015
District: Ft. Sanders NC
Zoning: RN-5 (General Residential Neighborhood)
Description: Craftsman, c.1915
1.5-story frame residence, with a front-gable roof, an exterior of vinyl siding, and a rusticated concrete block foundation. Recessed corner porch.

Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement
Exterior rehabilitation and new rear and right side addition.

Exterior rehabilitation scopes include removal of existing vinyl siding and installation of new fiber cement lap and shingle siding. Corner front porch will be reconstructed in-kind, with the corner hipped roof to be reconstructed, and new square porch supports. Applicant also lists roof replacement, new fascia and soffits, replacement of windows and doors, repair and replacement in patches to the brick foundation, removal of the metal awnings and exterior shutters.

New rear and side addition, to include reconstruction of on the right side elevation. The shed-roof dormer on the right side will be removed. New two-story, gable-roof massing to project from the rear, featuring a centered secondary entry, and a side-gable massing projecting to the left. The right side elevation will receive a new addition via two side-gable massings evenly spaced on the building elevation. The right side additions will be clad in fiber cement shingle siding, with windows evenly spaced on the first story, one in the gable field, and two in the basement. A secondary entry will be located in the basement (as existing).

Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

A. Height, Scale, & Massing

1. Foundation heights should be consistent with other pre-1940 buildings in the neighborhood.
2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.

B. Roofs

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.

2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs, and dormers.
3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal, and slate were used.
4. Darker shades of shingles were historically used and should be selected in new construction.

C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.

D. Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl, shingle (or shingle-like material), or brick should be used.
5. In making additions to existing buildings, wall cladding should complement the original wall covering.
6. Materials that are not typical in pre-1940 construction should not be used. These include cinder block, T-111 siding, and stone facing.

E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
2. Windows should be double-hung sash windows. Vinyl or metal-clad may be used in place of wood frame windows.
- 2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.
6. The proportions of upper level windows should not exceed the proportion of the first level.
7. Upper level windows should be provided and aligned with doors.
8. There should be at least 50% transparency that is created by windows or French doors and balconies on the recessed breaks between sections of buildings, including buildings joined together.
9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.
10. When parking areas are provided behind buildings, rear entrances are also allowed.

F. Parking

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.
2. Provide parking access off the alley or off a side street.
7. Surface parking area shall always be to the rear of the building.

G. Landscaping, Fencing, & Retaining Walls

1. Plant one native shade tree (e.g. oak or maple) and one ornamental tree (e.g. dogwood) in both the front and rear yards for every 50 feet of lot width.

H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.
3. Transitional space shall be provided between the addition and the existing structure. This should include a courtyard (200 sq. ft. minimum), and a connecting structure (e.g. porch or breezeway). The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' by 6' indentation.
4. Bays at least two feet in depth shall be provided for 50% of the side façade.
5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.

Comments

Staff Findings

1. 1704 Highland Ave is a contributing resource to the Fort Sanders National Register Historic District and local NC overlay.
2. The application includes the removal of exterior vinyl siding and installation of fiber cement lap and shingle siding, which meets the Fort Sanders design guidelines. The project should incorporate appropriately sized vertical cornerboards and window trim, which are not shown on the drawings. The rusticated concrete block foundation is not original to the structure; replacement with a brick cladding typical to the neighborhood is appropriate.
3. Reconstruction of the front porch roof and foundation meet the design guidelines. The drawings show the front porch roof as extended out to the existing foundation. The architectural inventory in the NC overlay report note the round fluted columns are original; if possible, the original columns should be replicated. Larger 8 by 8 or 10 by 10 square wood columns would also be appropriate.
4. Some window openings may be shifted and new openings will be installed on the side and rear elevations. Overall, the revised window placement is evenly spaced and the proportions meet the design guidelines.
5. The drawings show the façade roofline as lower in pitch than the existing roofline; the original roof pitch on the façade should be retained. The application proposes to remove sections of the rear elevation roofline to build a rear addition. The rear addition's roofline appears stepped up in height from the massing closest to the façade, but the roofline drawing provided as part of the site plan does not correspond with the existing roofline or the section highlighted as the proposed addition. As drawn on elevations, the roofline appears appropriate within the design guidelines, but the applicant should provide a revised roofline drawing showing specifically what will be reconstructed.
6. In general, the placement of a new addition on the rear and side elevation is appropriate within the guidelines. The projecting side-gable massing additions on the right side are compatible in scale with the existing house.
7. The replacement door on the façade should meet the design guidelines ("similar proportions and features to pre-1940 architecture") and retain the original transom window if possible.
8. Front yard parking does not meet the design guidelines; the current front driveway is existing but may not meet Engineering standards. Final modifications to the site plan will be necessary to meet City Engineering standards for parking. The house and parking area should remain below the 45% impervious surface requirement for the zoning. The final site plan could be approved by staff, provided there are no substantial modifications to the addition's design and placement.

Staff Recommendation

Staff recommends approval of Certificate 4-D-24-HZ, subject to the following conditions:

- 1) applicant to submit a revised roofline drawing, clearly showing the area to be reconstructed,
- 2) existing roof pitch on the main front gable massing to be retained;
- 3) replication of the original round fluted porch columns or installation of 10 by 10 square columns;
- 4) final drawings to indicate appropriately sized cornerboards and window trim;
- 5) final site plan to meet City Engineering standards and requirements of the base zoning code.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

3/26/24

April 18, 2024

4-D-24-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

John Holmes

Name

Company

PO Box 1335

Morristown

tn

37816

Address

City

State

Zip

423-231-4980

jholmes6@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Evian partners

PO Box 1335, Morristown, TN 37814

Owner Name (if different from applicant)

Owner Address

Owner Phone

1704 Highland Ave

094NL015

Property Address

Parcel ID

Ft Sanders

RN-5, NC-1

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett

3.26.24

Please Print

Date

John Holmes
Applicant Signature

John Holmes

3/26/24

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: new siding, new roof, fascia, soffits, all exterior replaced, windows, doors, front porch rebuilt and rebuild brick columns
Replace brick foundation, restore porch on left side of house, replace mismatched columns. Rebuild front stairs, porch and railings, remove all shutters
remove metal awnings and fencing. Remove concrete from building perimeter, addition

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

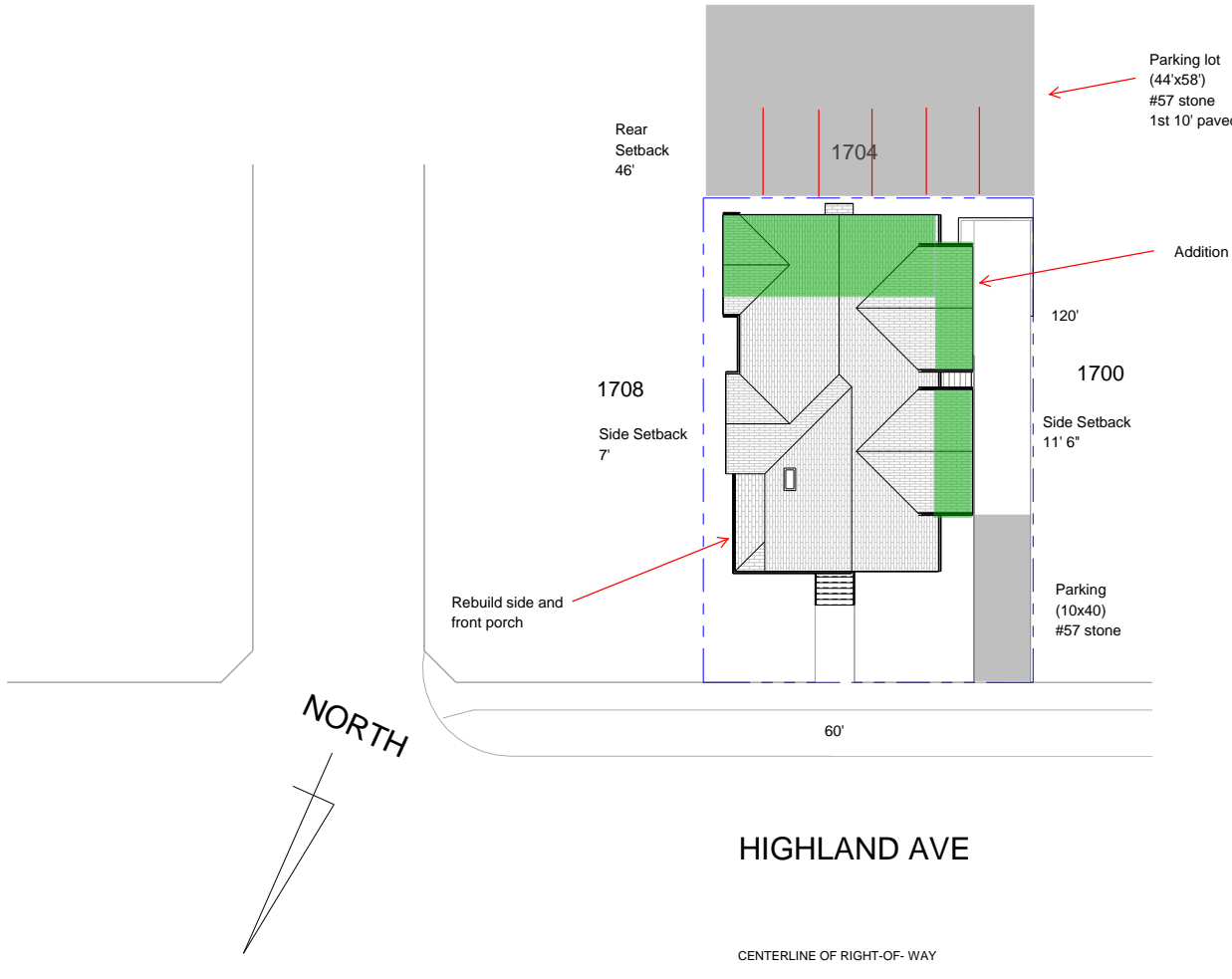
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL: 100.00
100.00		
FEE 2:		
FEE 3:		

PROPOSED DWELLING AT 1704 HIGHLAND AVE, KNOXVILLE, TN 37916



Owner	
Project Name	
COVER	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A200	
Scale	



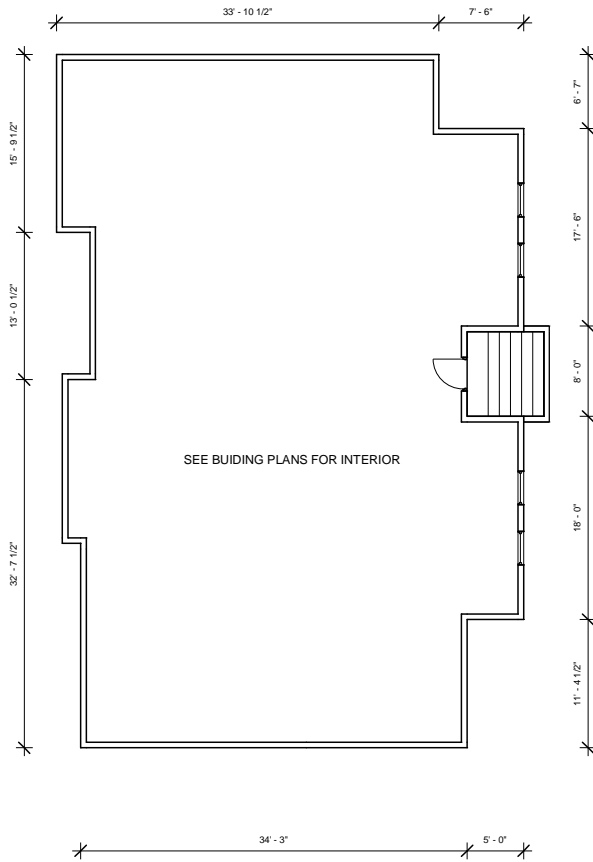
Parking lot
 (44x58')
 #57 stone
 1st 10' paved

Zoning Information: RN5/NC1
 Multifamily - 3 units, same as exists, no change in use
 Lot Size - 60'x120' - 7,120
 Lot Coverage allowed (50%) - 3,600
 Lot Coverage provided - 2,272
 Impervious allowed (60%) - 4,320
 Impervious provided - 3,748
 Parking Required - 4
 Parking Provided - 6

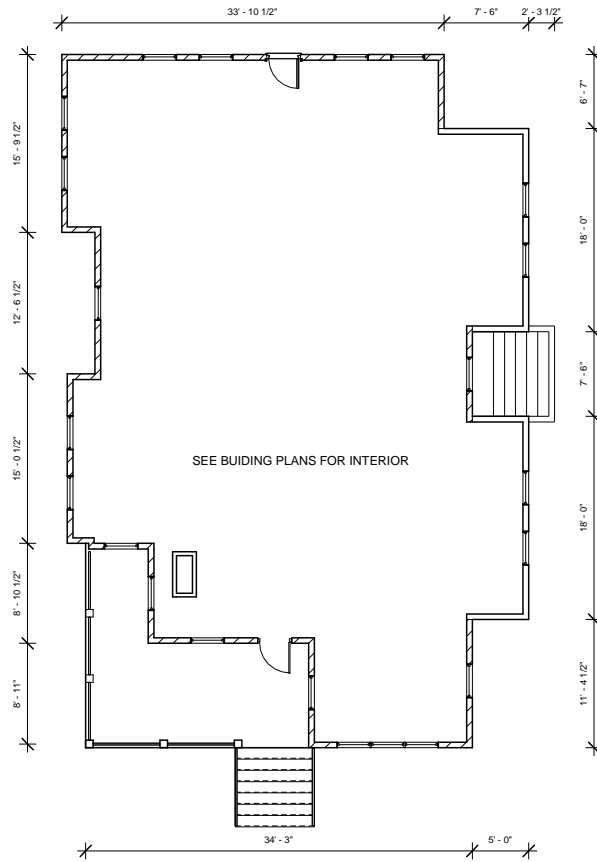
Existing House: 1692
 Addition: 580
 Total Building: 2272
 Rear Parking: 44'x58'.5 = 1276
 Side Parking: = 10'x40'.5 = 200
 Concrete all along sides of house to be removed

① SITE PLAN
 1/16" = 1'-0"

Owner	
Project Name	
SITE PLAN	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A201	
Scale	1/16" = 1'-0"



① BASEMENT FLOOR PLAN
1/8" = 1'-0"



② GROUND FLOOR PLAN
1/8" = 1'-0"

Owner	
Project Name	
FLOOR PLANS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A202	
Scale	1/8" = 1'-0"



② FRONT ELEVATION
1/8" = 1'-0"



① SIDE ELEVATION 1
1/8" = 1'-0"

Owner Project Name	
ELEVATIONS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A203	
Scale	1/8" = 1'-0"



① REAR ELEVATION
1/8" = 1'-0"



② SIDE ELEVATION 2
1/8" = 1'-0"

Owner Project Name ELEVATIONS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A204	
Scale	1/8" = 1'-0"









FOR RENT

CHEVROLET

48721