

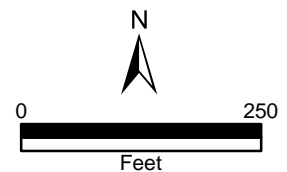
9-C-23-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1001 Thompson Pl 37918
Old North Knoxville H

Original Print Date: 9/8/2023
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: David and Jessica Bocangel



Meeting: 9/21/2023
Applicant: David and Jessica Bocangel
Owner: David and Jessica Bocangel

Property Information

Location: 1001 Thompson Pl **Parcel ID** 81 L E 023
District: Old North Knoxville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Queen Anne, c.1899

Two-story frame residence with a hipped roof with cross gables clad in asphalt shingles, an exterior of wood lap siding, and a continuous brick foundation. Outbuilding is an original two-story wood frame carriage house with wood board-and-batten cladding.

Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation of existing accessory structure. Overall project includes window replacement, revision of window and door placement, and addition of a deck.

South elevation: the applicant will remove an existing door and replace with a window to match existing window on right side of elevation.

East elevation: remove existing window and installation of a sliding glass door flanked by two fixed windows of the same size. The size of the door/window combination measures 12' wide by 6'-8" tall.

New deck: proposed new deck along the east elevation, with a section wrapping around the south elevation. The deck will feature Trex composite decking (matching the deck on the primary house) and a vertical aluminum railing with thin pickets and larger square posts. The size of the deck is not specified.

Window replacement: applicant proposes replacement in-kind of 6/6, double-hung wood windows on dormer levels. Applicant proposes the re-installation of new 6/6 double-hung wood windows (specifications not included).

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

B. Windows

1. Original windows shall be reused if possible. It will be much less expensive and much better historically to retain the original windows, and it is inappropriate to replace them with new windows that differ in size, material or pane division.
2. If replacement windows are necessary, they shall be the same overall size as the originals, with the same pane division and the same muntin depth, width and profile. They shall be the same materials as the original windows,

which were generally wood.

3. True divided lights shall be used in replacement window sashes with more than one pane.
4. Tinted or reflective glass may not be used on primary or other important elevations.
5. It can be appropriate to design and install additional windows on the rear or another secondary elevation. The design must be compatible with the overall design of the building.
8. Reuse existing, serviceable window hardware.

C. Porches

2. Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood posts and/or columns and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.

E. Wood Wall Coverings

1. Synthetic siding is inappropriate and is not allowed either as replacement siding on existing buildings or new siding in new construction.
3. Replacement siding must duplicate the original. Trim and patterned shingles that must be replaced must also duplicate the original material.
4. New construction must incorporate corner and trim boards and appropriate door and window trim to be compatible with adjacent historic buildings.
5. Wooden features shall be repaired by patching, piecing-in, or otherwise reinforcing

M. Auxiliary or Outbuildings

1. The design of outbuildings such as garages shall acknowledge and suggest the function of original outbuildings that would have been located in the neighborhood.
2. The design of features like garage doors that face the street shall mimic carriage house doors from an era consistent with the primary building on the lot.
3. Garages shall be located to the rear of the primary building on the lot.
4. Materials used in constructing outbuildings or accessory buildings may only use materials and design characteristics selected from the following list: wood lap siding with a four inch lap or board and batten; a 12/12 roof pitch; overhanging eaves; exposed rafter tails; wood windows; masonry but not exposed concrete block or split-face block; garage doors appearing to be carriage doors or plank doors with x-bracing or perimeter reinforcing timbers.

Comments

N/A

Staff Findings

1. 1001 Thompson Place is a contributing resource to the ONK National Register Historic District and local overlay. The carriage house to receive exterior rehabilitation is an original secondary structure, noted as a contributing resource to the NR district. The exterior rehabilitation work will allow the secondary structure to return to active use.
2. Most of the work is concentrated on elevations that are minimally or not visible from the street. The character-defining carriage doors will be retained and fixed in place from the interior. The original footprint and roofline of the secondary structure will be maintained.
3. On the south elevation, removal of a non-historic door and installation of a second fixed four-light wood window to match the existing is appropriate. The elevation has already been modified; a shed-roof addition projecting from the right half of the elevation is visible in a c.1995 photo and has since been removed. The new window should match the existing in material; muntin depth, width, and profile; and pane division, with trim and a sill to match.

5. Changes to the east elevation face an interior side property line and would not be visible from Armstrong Avenue and very minimally visible from the Thompson Place, if at all, due to the secondary structure's setback and existing vegetation. The installation of sliding glass doors requires the removal of one single-light fixed window but no other character-defining features. The applicant has proposed either wood or aluminum-clad wood for the sliding doors and full-light windows; final specifications should be submitted to staff for approval.
6. The applicant has provided some detail photos of the windows proposed for replacement, including rotten and disconnected stiles and rails, interior sills and casing, and broken panes. The Commission should evaluate the photos of the existing windows. The applicant should submit full specifications of replacement windows to be installed, including measurements for comparison between the two; replacement windows should be the same overall size, pane division, muntin depth, width, and profile, and materials.
7. Composite materials such as Trex have been approved in ONK for new decks. The deck will be minimally visible from the streets, so visual differences between a wood deck and composite materials would be difficult to discern. The deck is proposed to match the existing non-historic deck on the primary structure. Final measurements of the deck should be provided to staff and the deck should meet all setback requirements of the base zoning code.
8. The proposed exterior rehabilitation will accommodate an accessory dwelling unit within the existing footprint and roofline of the structure. A rear setback variance from the BZA is required to convert the existing structure to an ADU.

Staff Recommendation

Staff recommends approval of Certificate 9-C-23-HZ, subject to the following conditions: 1) applicant to provide final specifications for replacement windows to staff; windows to reflect existing in size, pane division, muntin depth, width, and profile, and material; 2) applicant to provide final specifications for sliding doors/full-light windows to staff for approval; 3) applicant to provide final measurements of new deck, including a railing detail.



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☒ HISTORIC ZONING (H)
☐ INFILL HOUSING (IH)

David and Jessica Bocánel

Applicant

9/5/2023

9/21/2023

9-C-23-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☒ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

David+Jessica Bocánel

Name	Company		
1001 Thompson Place	Knoxville	TN	37917
Address	City	State	Zip
865-235-9897	jhbocangel@gmail.com		
Phone	Email		

CURRENT PROPERTY INFO

David+Jessica Bocánel	1001 Thompson Place	865-235-9897
Owner Name (if different from applicant)	Owner Address	Owner Phone
1001 Thompson Place	081LE023	
Property Address	Parcel ID	
Historic Old North	H-1	
Neighborhood	Zoning	

AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

9.5.23

Date

Jessica Bocánel

Applicant Signature

Jessica Bocánel

Please Print

9/5/2023

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required *Downtown Design* attachment for more details.

- ☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☒ Major repair, removal, or replacement of architectural elements or materials ☒ Additions and accessory structures
existing carriage house

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required *Historic Zoning* attachment for more details.

- ☒ Brief description of work: Preserve the existing shell of the Carriage House by reinforcing structure to prevent collapse and also provide purpose + function as mother in law suite.

Maintain all current elements/features visible from Thompson Pl (front yard) + Armstrong Ave (side yard). Replace all existing/broken/rotten windows with same size/pane painted wood windows. Install additional window/door/deck access on tertiary elevation not visible from either street. See attachment.

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required *Infill Housing* attachment for more details.

- ☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

100.00

FEE 2:

FEE 3:

TOTAL:

100.00

HZC APPLICATION: Change of Use
The Pink House's Carriage House
corner of Thompson Pl. + Armstrong Ave. in Historic Old North

Current Conditions: The old carriage house is going to fall down if we don't fix her up.

Summary of Plans for Preservation:

1. Preserve the existing shell of the carriage house by reinforcing structure to prevent collapse and also to provide both purpose and function as a mother-in-law suite;
2. Maintain current elements/features visible from front yard on Thompson Place (primary elevation);
3. Maintain current elements/features visible from back yard on Armstrong Ave (secondary elevation);
4. Install additional window/door/deck access on tertiary elevation not visible from either street
 - a. Deck will match existing deck of primary residence
5. Replace all existing broken, rotten, non-usable windows with same size, new wood windows, painted (double hung Andersen with same pane division as original)



SURVEY PLAT: Bocangel Residence
1001 Thompson Place; 37917 with Carriage House Indicated

1182-B

TOTAL AREA
0.597 ACRES or
26,025 SQ. FT.

TOTAL LOTS=2

Certification of Final Plat - Construction Complete
I hereby certify that I am a surveyor licensed to do surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents, and statements conform to all applicable provisions of the Tennessee/Knox County Subdivision Regulations and to the applicable provisions of the Metropolitan Planning Commission, or for purposes for which application was made. The indicated monuments are in place and are in accordance with the plat.

Surveyor
S. J. Lynch
Tennessee Certificate No. 1443

Time and Assurances
This is to certify that all ground taxes and assessments due on this property have been paid.
Signed: *[Signature]* Date: *3-9-04*
Signed: *[Signature]* Date: *3/10/04*

Subdivision Name and Street Names
Confirmed:
Date: *09 March 2004*
By: *[Signature]*
Knoxville Metropolitan Planning Commission

2004
This is to certify that the subdivision shown hereon is approved subject to the installation of sanitary sewers and treatment facilities, and that such installation shall be in accordance with state and local regulations.
Signed: *[Signature]* Date: *3/9/04*

In the City of Knoxville and Sevier Area of Knox County
This is to certify that the subdivision shown hereon is approved subject to the installation of sanitary sewers and treatment facilities, and that such installation shall be in accordance with state and local regulations.
Signed: *[Signature]* Date: *3-8-04* *[Signature]*
Knox County Health Department

Certification of Approval for Recording
This is to certify that the subdivision plat shown hereon and the Composite Design Plan # *1* have been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and stipulations noted on this plat and in the minutes of the Knoxville/Knox County Metropolitan Planning Commission, the *Day of 03-03-2004* and that the record plat is hereby approved for recording in the office of the Knoxville County Register of Deeds.

City of Knoxville Department of Engineering
The Department of Engineering hereby approves this plat on this the *9* day of *March* 2004.
[Signature]
Engineer

GRAPHIC SCALE
1 inch = 20 ft.

BEFORE YOU DIG STOP CALL 1-800-351-1111 TENNESSEE ONE CALL

12-VI-03 M 650872A1

FOR OWNER:
THOMAS R. HAVASY
1001 THOMPSON PLACE
KNOXVILLE, TENNESSEE 37917
(865) 524-8897

ONE LOT SUBDIVISION OF:
THOMAS R. HAVASY PROPERTY
1001 THOMPSON PLACE
WARD 11, KNOXVILLE, TENNESSEE
DISTRICT 1, KNOX COUNTY, TENNESSEE

PROJECT NO.
2918-FP

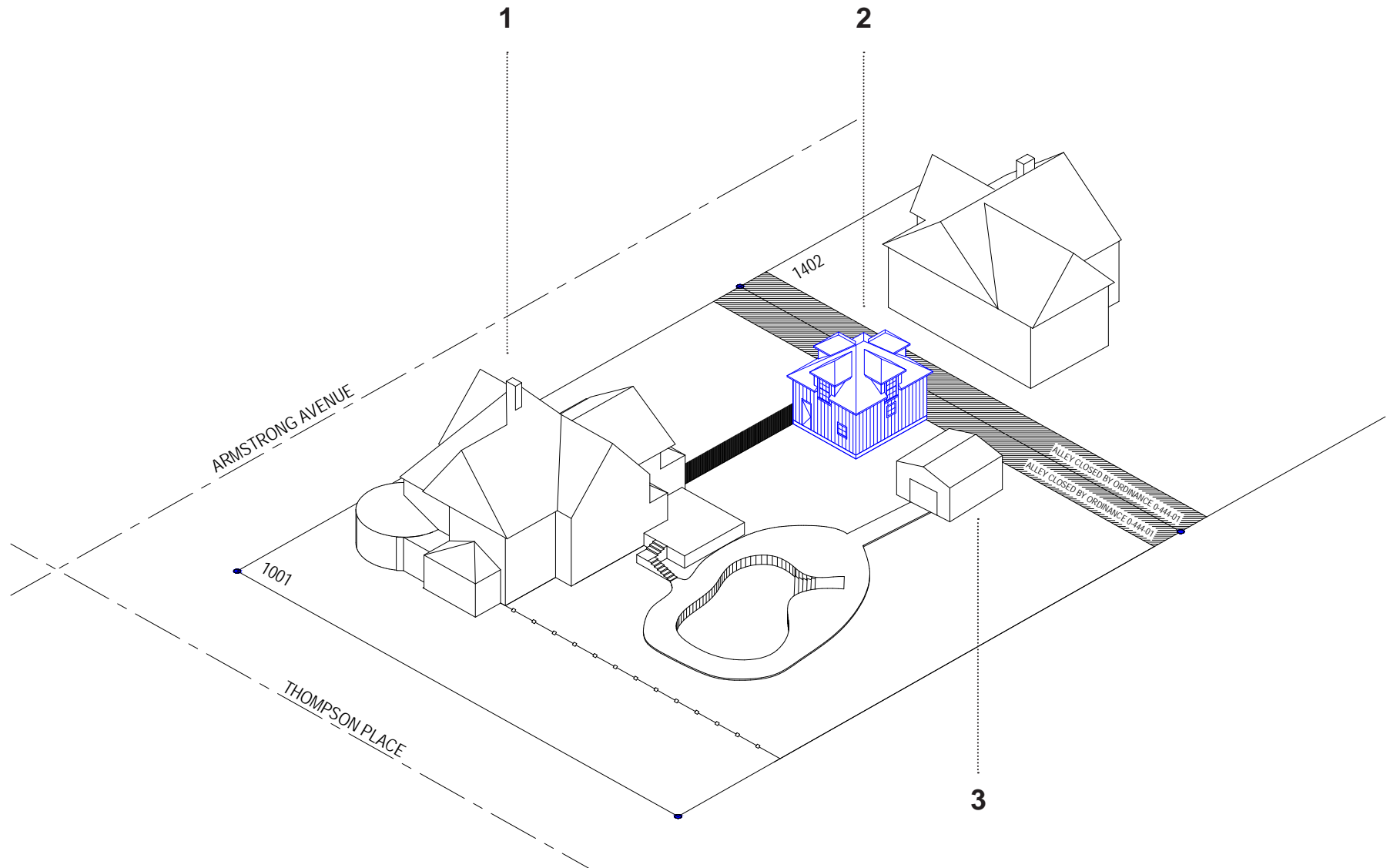
REVISIONS

NO.	DATE	DESCRIPTION
1	12/08/2003	ADDED ALLEY TO SUBD.
2	12/02/2003	OSR/MCY COMMENT
3	12/02/2003	OSR/MCY COMMENT
4	12/02/2003	OSR/MCY COMMENT
5	12/02/2003	OSR/MCY COMMENT

1182-B

BASIC 3-D RENDERING: Bocangel Residence

1001 Thompson Place; 37917



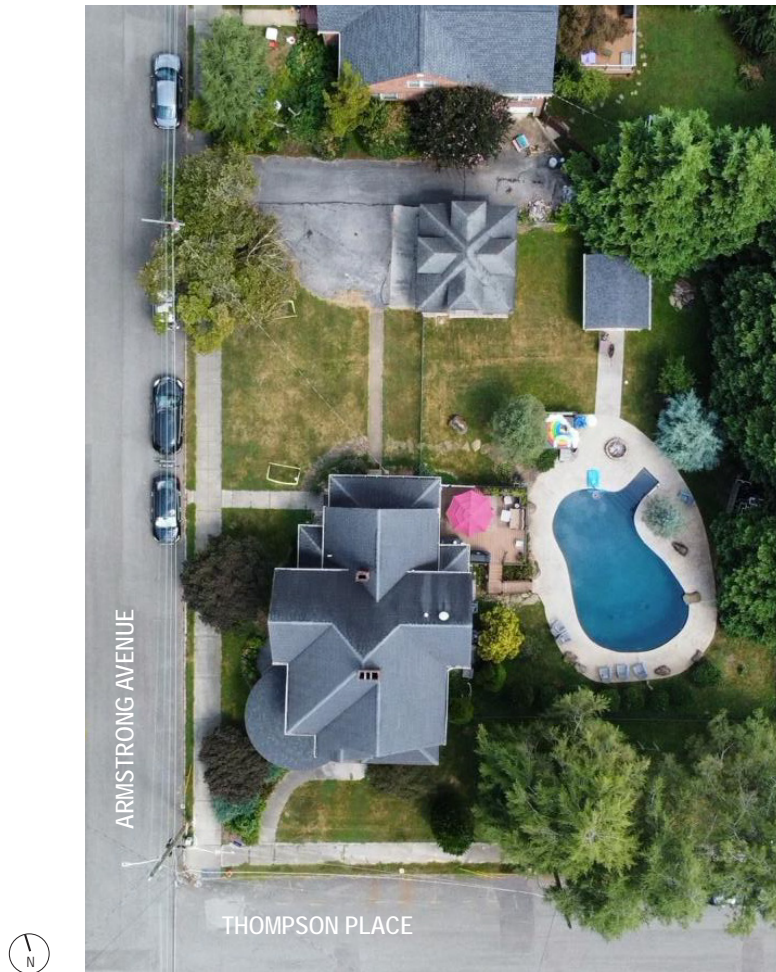
- 1. Primary Residence (existing)
- 2. Carriage House (existing)
- 3. Pool House (existing)

HISTORIC ZONING COMMISSION

Application Review | Sept 05, 2023 | 1001 Thompson Place.

CARRIAGE HOUSE | Change of Use

AERIAL VIEWS: Bocangel Residence
1001 Thompson Place; 37917

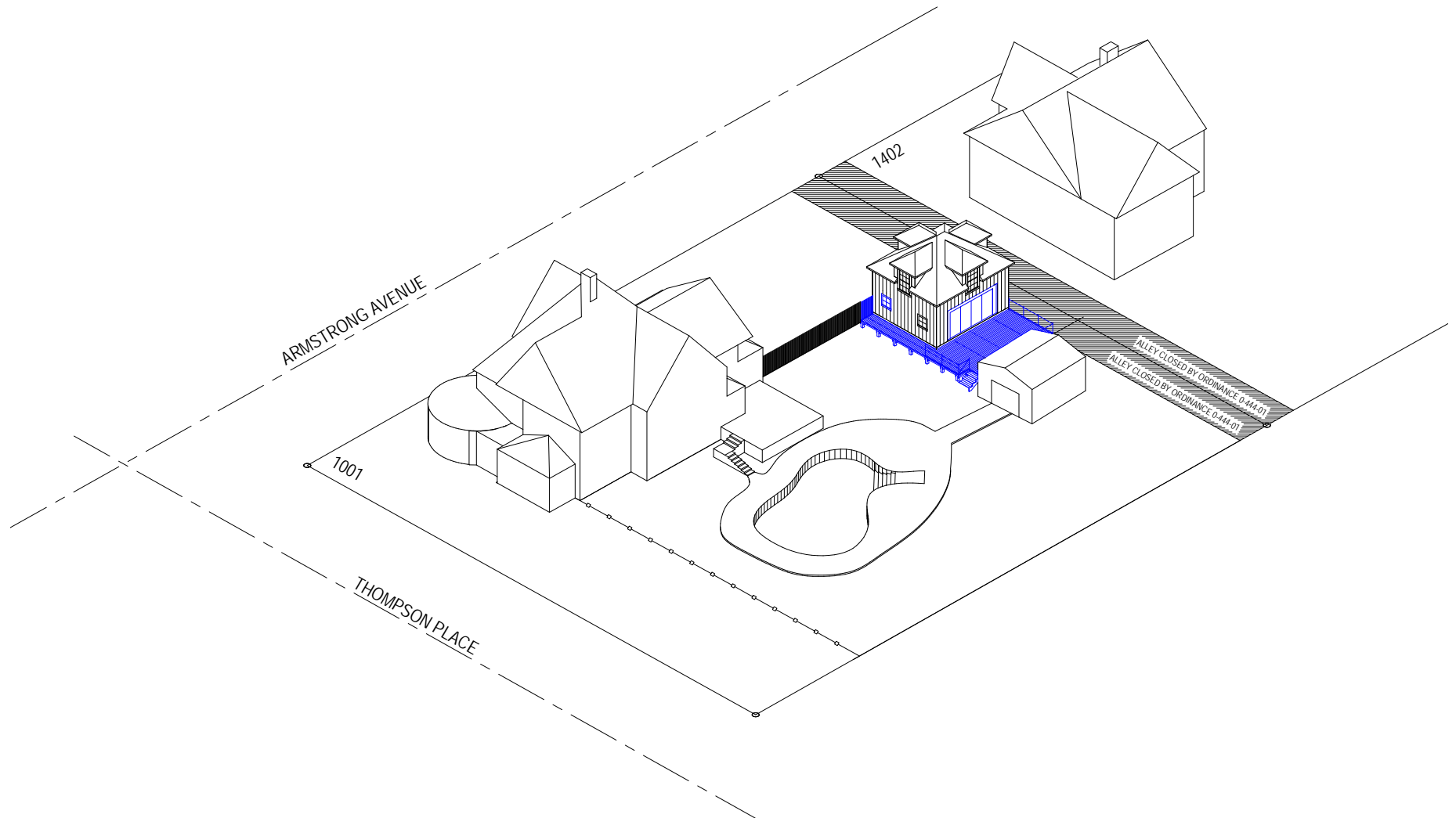


Actual state Carriage house
1001 Thompson Place; 37917



General proposal

1001 Thompson Place; 37917



*NOTE

The blue highlights reflect the proposed changes to the shell of the carriage house. On the south-facing elevation, we will convert a non-historic door to a matching, symmetrical window. On the east-facing elevation, we will install a large window/door to allow for more natural light on the interior. We will also add an access gate, walkway, and small deck that will match the existing deck on the primary residence.

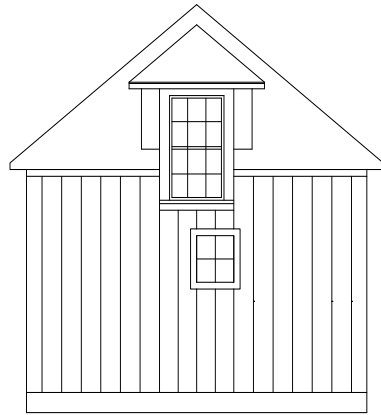
HISTORIC ZONING COMMISSION

Application Review | Sept 05, 2023 | 1001 Thompson Place.
CARRIAGE HOUSE | Change of Use

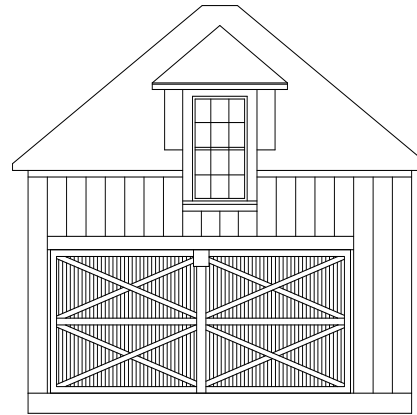
Proposal facades | no changes
1001 Thompson Place; 37917



Existing



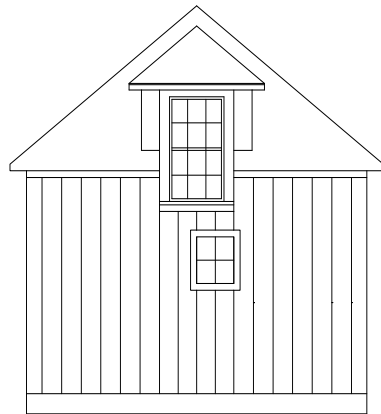
North



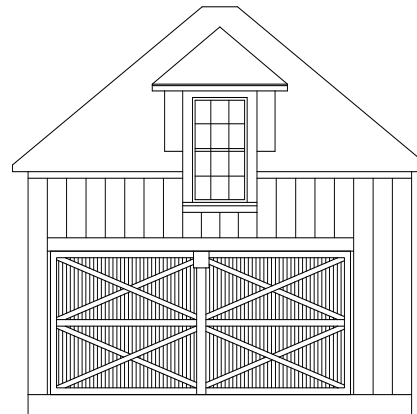
West



Proposal



North



West



Note

The doors of the old gate of the carriage house will be fixed to the façade maintaining the current configuration

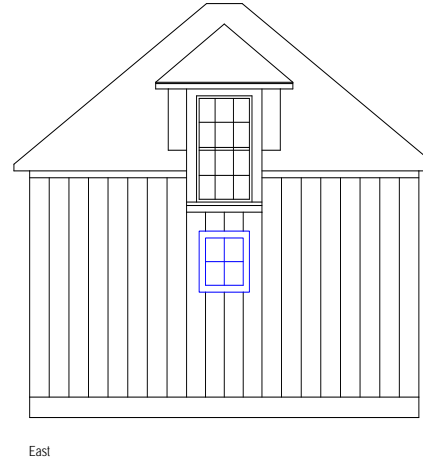
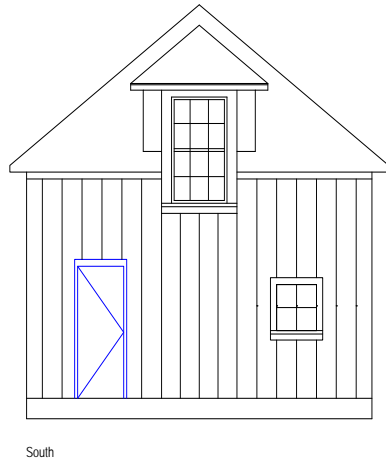
HISTORIC ZONING COMMISSION

Application Review | Sept 05, 2023 | 1001 Thompson Place.
CARRIAGE HOUSE | Change of Use

Proposal facades |with changes
1001 Thompson Place; 37917



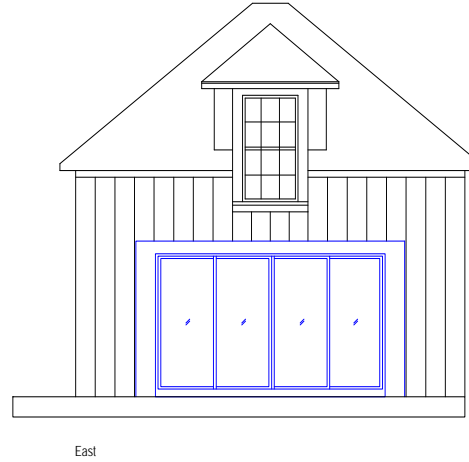
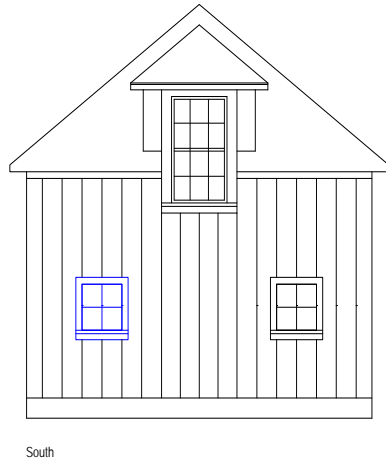
Existing



Note

The non-historic door on the left side will be replaced with a matching window on the same elevation, which will result in a symmetrical and visually pleasing elevation.

Proposal

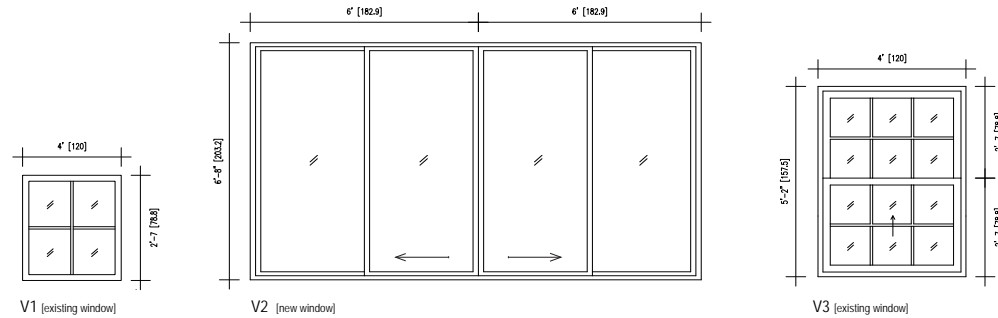


HISTORIC ZONING COMISSION

Application Review | Sept 05, 2023 | 1001 Thompson Place.
CARRIAGE HOUSE | Change of Use

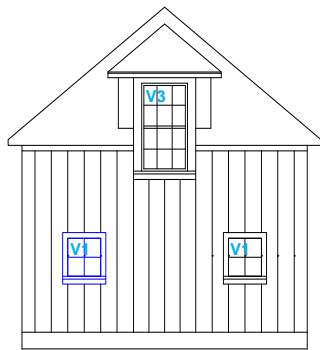
Windows detail

1001 Thompson Place; 37917

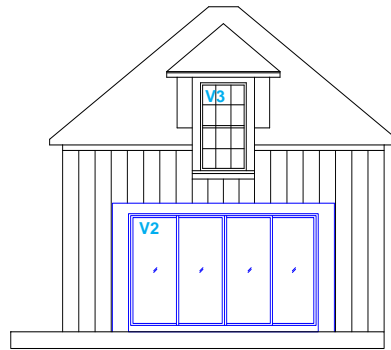


*Once the project is approved, we will work with Anderson Windows to

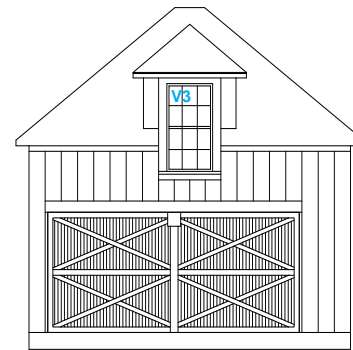
- Please note that on the WEST Elevation, which is visible from Armstrong Ave, we will permanently fix the existing sliding garage doors in their position and the view won't change.
- Please note that on the NORTH Elevation, which is visible from the closed alley, we will replace the windows but their location will remain the same and the view won't change.
- Please note that on the SOUTH Elevation, which is barely visible from Thompson Place and only slightly visible from Armstrong, the non-historic door on the left side will be replaced with a matching window on the same elevation, which will result in a symmetrical and visually pleasing elevation.
- Please note that on the EAST Elevation, which is only visible from the inside of our back yard due to the existing trees, we will install a window/door combination which will allow for increased natural light on the interior of the Carriage House.



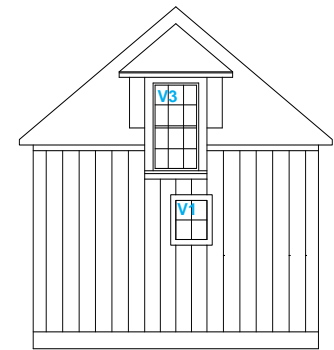
South



East



West

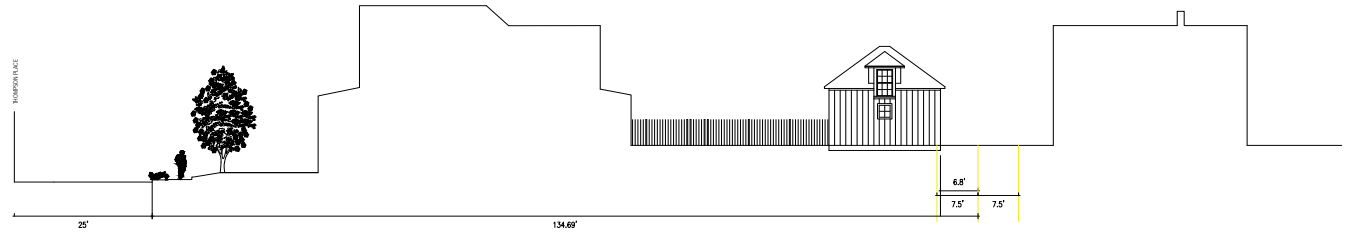


North

HISTORIC ZONING COMMISSION

Application Review | Sept 05, 2023 | 1001 Thompson Place.

CARRIAGE HOUSE | Change of Use



EXISTING SITUATION -- East Elevation

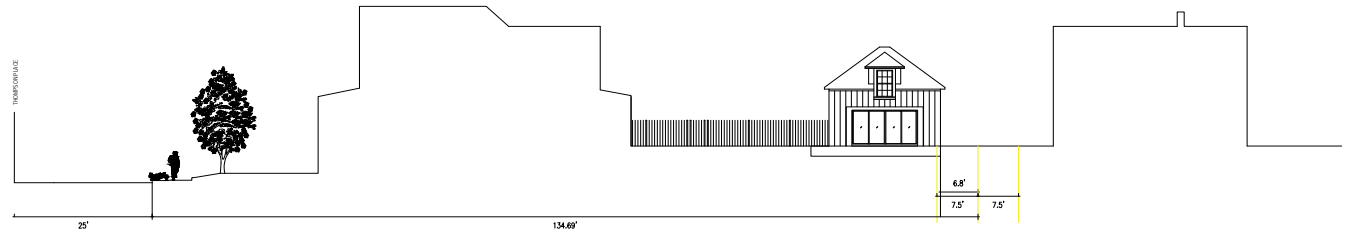
The East Elevation is only visible if you are standing in the inside of our backyard.



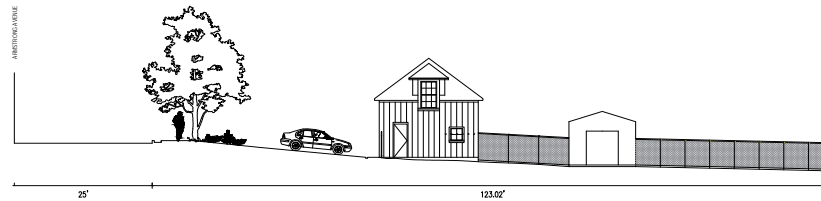
East
Elevation

South
Elevation

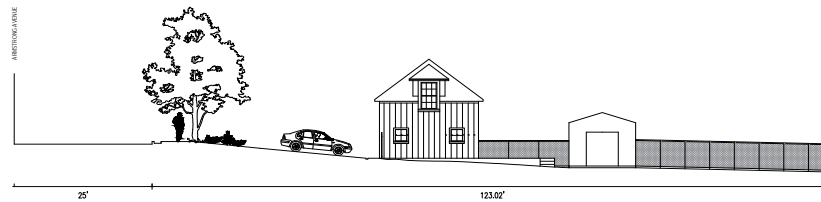
The South Elevation is partially visible from Armstrong Ave. and is fully visible from the inside of our backyard.



THE PROPOSED SITUATION -- East Elevation

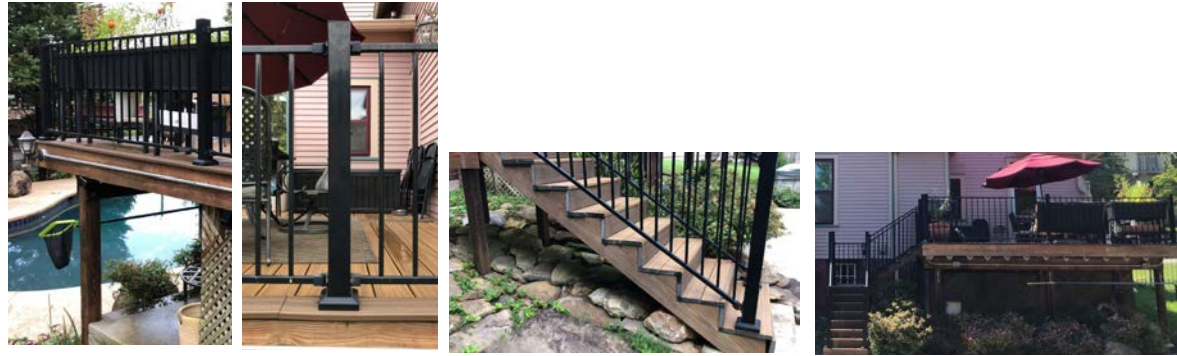


EXISTING SITUATION -- South Elevation



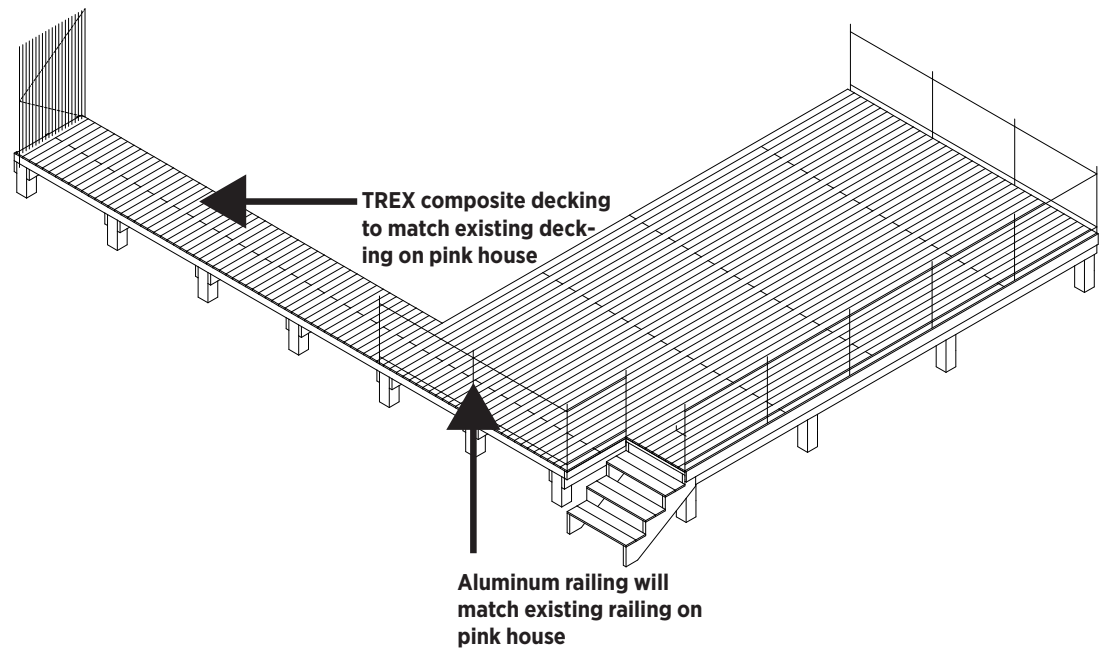
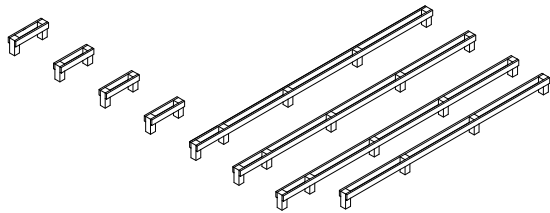
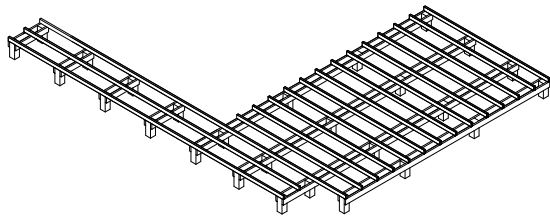
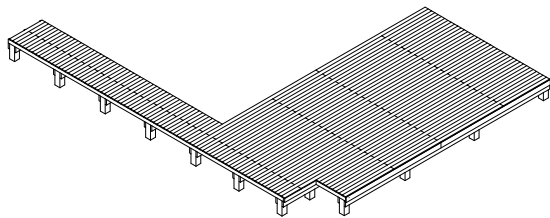
THE PROPOSED SITUATION -- South Elevation

Terrace proposal detail
1001 Thompson Place; 37917



Note

The proposed new terrace will follow the design and finishes of the existing terrace adjacent to the pink house.



HISTORIC ZONING COMMISSION

Application Review | Sept 05, 2023 | 1001 Thompson Place.
CARRIAGE HOUSE | Change of Use

Armstrong Avenue view
1001 Thompson Place; 37917

