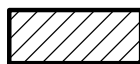


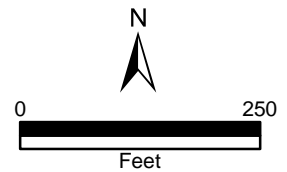
10-E-23-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1701 Emoriland Blvd. 37917
Fairmont-Emoriland NC

Original Print Date: 10/4/2023
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Cynthia Brady





Staff Report

Knoxville Historic Zoning Commission

File Number: 10-E-23-HZ

Meeting: 10/19/2023
Applicant: Cynthia Brady
Owner: Cynthia Brady

Property Information

Location: 1701 Emoriland Blvd. **Parcel ID** 69 L H 013
District: Fairmont-Emoriland NC
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Ranch, c.1953
One-story frame residence with a hipped roof clad in asphalt shingles and a brick exterior.

Description of Work

Level II Construction of Addition or Outbuilding

Proposal is to fasten existing wooden railings with aluminum balusters to rear elevated patio. Previous wrought iron railing on the patio has been removed. The height of the railings is unspecified. The proposal also calls for the construction of a metal roof over the patio, supported by six 6x6 wooden posts. The exact square footage of the proposed roof structure is not indicated, although it is mentioned to cover only half of the existing patio.

Applicable Design Guidelines

Fairmont Park Neighborhood Conservation District Design Guidelines, adopted by the Knoxville City Council on November 26, 2002.

A. New Development and Additions

1. The design of additions and accessory buildings should be consistent with the character of the main structure.
4. The recommended location for additions is to the rear or side of existing buildings. Additions to the front of buildings are not encouraged, because they obscure the original architectural designs.
8. If additions are to be made to the existing building they should be located at least five feet behind the front facade of the existing building

B. Building and Roof Form

4. The minimum roof pitch should be appropriate for the style of house that is being constructed, as shown on the matrix in these guidelines.

C. Materials

2. If an addition is made to an existing house, the wall cladding materials should duplicate those on the existing house, or as shown on the matrix on page 00.
 4. The following wall cladding materials should not be used on primary buildings or on accessory structures visible from Fairmont or Emoriland Boulevards: T-111 or similar products. Exposed concrete blocks.
-

Comments

N/A

Staff Findings

1. 1701 Emoriland Blvd is a contributing resource to the Fairmont Park NC overlay.
 2. The proposed railings are compatible with the main house and will be minimally visible from the street. The balusters are set into the top and bottom rails instead of nailed to the sides.
 3. The proposed roof structure is not related to the roofline or architectural style of the primary house (a Ranch house). It will be minimally visible from the right-of-way, as the site's topography slopes to the rear. It could be removed without effect on the primary structure.
 4. The drawings provided for HZC review lack some details. The applicant should provide information on the roof pitch and height of the proposed structure. The porch roof structure should be confirmed to be lower in height at the roof peak than the primary structure, to minimize visibility from the right of way.
-

Staff Recommendation

Staff recommends approval of Certificate 10-E-23-HZ, subject to the following conditions: 1) applicant to provide final elevation drawing and site plan to staff for approval; 2) overall height of roof structure to be less than the height (to roof peak) of the primary structure.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Applicant

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Name

Company

Address

City

State

Zip

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

Property Address

Parcel ID

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Please Print

Date

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

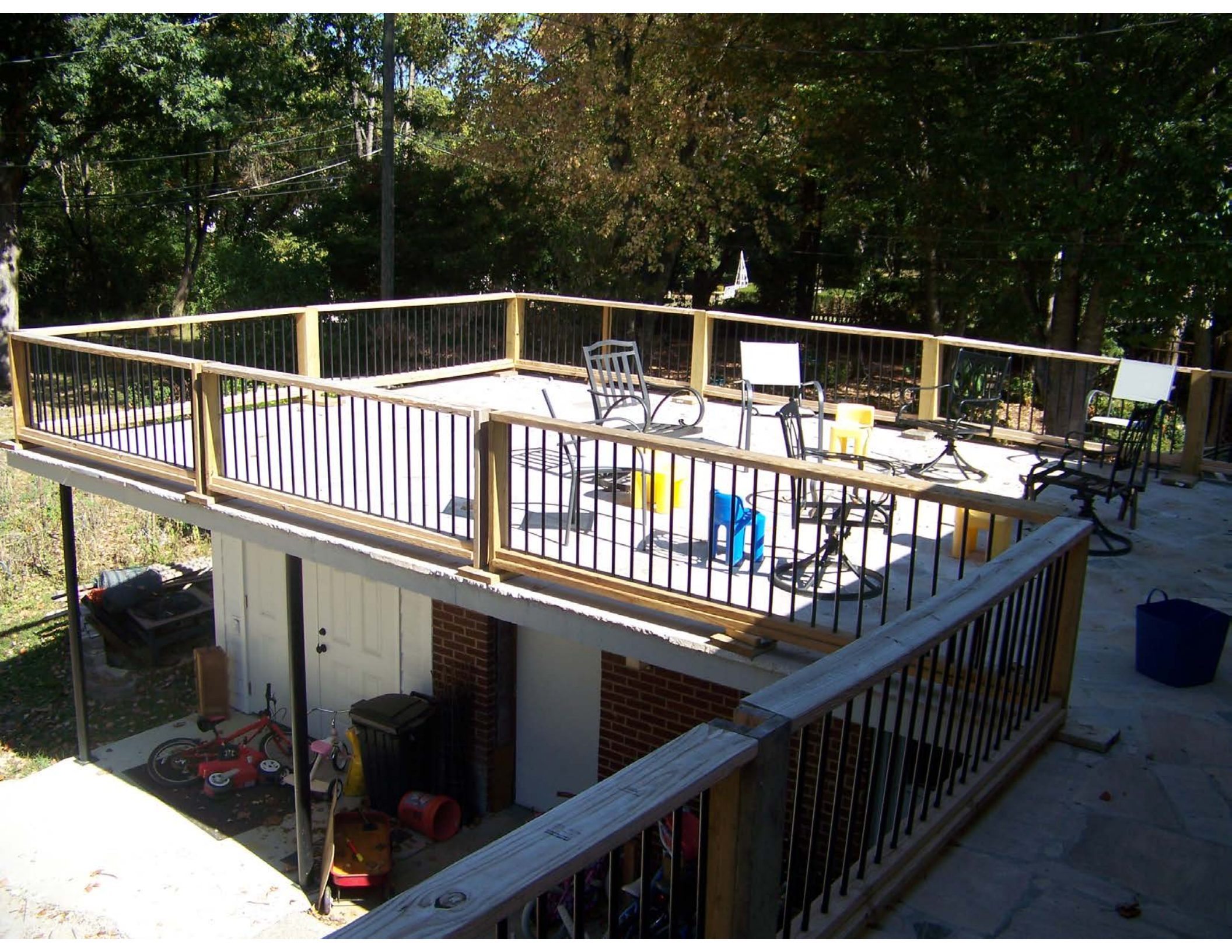
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:







Detailed Description of Proposed Work

This project is both a repair and a new structure. The original wrought iron railing around the existing second floor flagstone portico was badly deteriorated and was too short with verticals too far apart to meet code (or to be safe for our grandchildren who live in the house.) For safety's sake we have built temporary railings to replace it; they are self-supporting and just sitting in place but are not fastened to the portico in any way. These are the railings that are seen in the pictures. We are now seeking permission to make these railings permanent. As part of this project, we would also like to add a metal roof to the far end of the portico (away from the house) to provide shade, as the flagstone gets quite hot on sunny days. The roof would not be attached to the house, and would be built to code and supported by the permanent posts that would be part of the permanent railing. The proposed roof is not an addition of hard surface area to the lot, since the existing portico is a hard surface already. It would cover less than half of the portico area.

The railings are pressure treated wood and have black aluminum balusters, and would be fastened to the portico with a black powder-coated post bracket for each post. The structure of the roof would use pressure treated wood and would have a light brown metal roof, to blend with the medium brown of the shingles on the house.

The drawing we have does not include all the railings—it is just a sketch of the part that would be roofed. The actual photographs show the railings with the temporary supports. These would be replaced by the permanent 6x6 posts and brackets, with taller posts where needed for the roof supports.

This map shows the location of the existing home according to KGIS. We are not changing the footprint of the home—we are only applying to add railings and a small shade cover to the already existing second floor flagstone portico. The percentage of lot coverage will not be affected, as the portico is already a hard surface on the second floor level of the home and the roof will not cover anything except the back part of the portico. The location of the portico is on top of the projection at the back of the house. There are rooms located below the portico on the ground level of the house, which is a ranch design with a walkout basement at the back.



16 foot
laminated
beam

2x2 19 ft

6x6 posts
black metal spindles
rafters are 2x8
roof crosspieces for
fastening metal are 1x4
all lumber is treated

