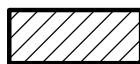




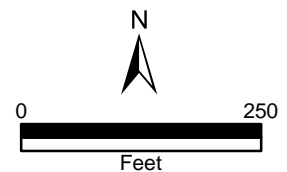
5-A-23-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



415 Lovenia Ave. 37917
Fourth and Gill H

Original Print Date: 5/2/2023
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Logan Higgins Heyoh Design and Development



Meeting: 5/18/2023
Applicant: Logan Higgins Heyoh Design and Development
Owner: Friends to Preserve 4th & Gill LLC

Property Information

Location: 415 Lovenia Ave. **Parcel ID** 81 M N 017
District: Fourth and Gill H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Mediterranean Revival, c.1900

Two-story, flat-roof brick masonry townhouses. Decorative corbelling along rooflines. One-story, partial-width front porches with decorative trim.

Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation and new rear porches.

Rear elevation: non-historic, one-story addition on the rear (southwest) corner to be removed. Two, two-story porches to be installed in recessed massings on rear elevations, partially enclosed with vertical wooden slats. Windows on recessed massings to be replaced with full-light double doors. One infilled window will be restored to original size.

East elevation: new double-hung, one-over-one, wood windows to be installed on the first and second stories, with a third new window to be installed in infilled opening towards the rear. New windows will feature low arches and sills to match original window detailing.

West elevation: three bays of new double-hung, one-over-one windows to be installed on the west elevation, with the third bay of windows (towards the rear) at a slightly smaller size. New windows will feature low arches and sills to match original window detailing.

Other exterior rehabilitation scopes: windows are proposed to be repaired as needed or replaced with new windows in same locations; new replacement windows will be one-over-one, double-hung wood to replace size and design of existing. Aluminum windows will be replaced with double-hung wood windows. Repair, repointing, and repainting of exterior brick masonry, and the removal of two brick masonry chimneys on the rear. Interior (center of roofline) brick chimneys will be retained. Brick masonry wall on rear elevation may require full reconstruction, pending engineer's assessment, due to extensive moisture intrusion.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Roofs

3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, and other unique roof features). Use some of these details in designing new buildings.

Windows

1. Vinyl and aluminum replacement windows should not be used.
2. Original windows should not be reused. It will be much less expensive and much better historically to retain the original windows.
4. If replacement windows are necessary, they should be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width, and profile. False muntins or grids should not be used.
7. It can be appropriate to design and install additional windows on the rear or another secondary elevation. The designs should be compatible with the overall design of the building.

Porches

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.
6. Screening porches may be acceptable if screening is translucent and the open appearance of the porch is maintained.

Entrances

1. Entry features that should be preserved include sidelights and transoms of plain, patterned, beveled or stained glass, fan light windows, entablatures, and the original doors.
2. It may be appropriate to design or construct a new entrance if the historic one is missing. Any restoration should be based on historical, pictorial, or physical documentation and should be compatible with the historic character of the building and with adjacent buildings. It should not create a false historic appearance. Entrances should not be removed when rehabilitating a building, either in adapting to a new use or continuing a historic one.
4. Secondary entrances should be compatible with the originals in size, scale, and materials but should not give the appearance of a primary entrance.
7. Missing doors should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should mimic doors typical for that architectural style, including materials, glazing, and pane configuration.

Masonry

2. Identify and preserve masonry features that define the historic character of the building, including walls, railings, columns and piers, cornices and door and window placements.
7. Historic masonry should not be coated with paint, stucco, vapor permeable water-repellant coatings or other non-historic coatings.

Additions

1. Locate attached exterior additions at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building. Proportion is very important.
3. Consider the attached exterior additions both in terms of the new use and the appearance of other buildings in the district. Design for the new work may be contemporary or may reference design motifs from the historic buildings. In either case, it should always be clearly differentiated from the historic building and be compatible in term of mass, materials, size, texture, scale, relationship of solids to voids, and color.

Comments

N/A

Staff Findings

1. 415 Lovenia Street is a contributing resource to the Fourth and Gill local overlay. While it's noted as non-contributing in the National Register nomination (noted as "severely altered"), the building retains sufficient integrity to be assessed as contributing to the district at present.
2. The one-story, flat-roof addition on the southwest corner is not original to the building; removal is appropriate within the guidelines.
3. Only one side elevation of the proposed two-story porches will be visible from the east on Lovenia Ave. The rear porch design is a contemporary interpretation of vertical balustrades and other porch detailing, and will be differentiated from the original front porch details. The vertical wooden slats will retain transparency instead of being a solid screen wall.
4. Replacement of non-historic aluminum windows and deteriorated windows with new one-over-one, double-hung wood windows to match in size is appropriate within the guidelines.
5. The guidelines note "it can be appropriate to design and install additional windows on the rear or another secondary elevation. The designs should be compatible with the overall design of the building." The SOI Guidelines on Rehabilitation (included) go further and recommend "adding new window openings on rear or other secondary, less-visible elevations, if required by a new use. The new openings and windows in them should be compatible with the overall design of the building but, in most cases, not duplicate the historic fenestration." Under the "not recommended" guidelines include changing the number of windows on primary or highly-visible elevations which will alter the historic character of the building; or cutting new openings on character-defining elevations or destroying significant features. NPS guidelines recommend new window openings on secondary blank walls be compatible but "not make such a strong architectural statement as to radically change the appearance of the building or overwhelm the composition of the historic façade."

The east elevation, in particular, is highly visible from the street, and did not originally have windows. The new windows will be compatible with the building's design and details and will not require removal of damage of significant features. On the east elevation, the wall in question is a large swath of brick with no transparency, with no additional details to contribute to a character-defining elevation.

The west elevation, adjacent to an alley, is less visually prominent and contributes less to the building's façade character. One new window will be installed in an existing, infilled opening, and the two others are recessed from the façade.

The Commission should discuss the prominence of the proposed east elevation windows with regards to the design guidelines and NPS standards. If approved, the new windows should include low arches, sills, and other window detailing to match the existing.

6. All masonry repair, repointing, and repainting should meet the standards of NPS Preservation Brief 2 and the neighborhood guidelines for "Masonry" including the "maintenance" section.
7. Guidelines recommend retaining contributing masonry details such as chimneys. The chimneys may be significantly deteriorated due to moisture intrusion, and are not visible from the right-of-way. The applicant should make every effort to retain the existing rear chimneys. Recognizing the lack of visibility from the street, if the rear elevation walls require reconstruction, structural information and an engineer's report could be provided to staff for approval of chimney removal.

Staff Recommendation

Staff recommends approval of Certificate 5-A-23-HZ, subject to Commission discussion of the proposed new windows on the east elevation, and subject to two additional conditions: 1) new windows to receive arches, sills,

and details to reflect original elements; 2) masonry repair to reflect standards of NPS Preservation Brief 2; 3) rear elevation chimneys to be retained, with structural information contributing to potential removal to be provided to staff for approval if necessary.



DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☒ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

Heyoh Design - Logan Higgins

Applicant

5/1/23

5/18/23

5-A-23-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Logan Higgins

Heyoh Design and Development

Name

Company

133 S Gay St

Knoxville

TN

37902

Address

City

State

Zip

865.236.0430

logan@heyohdesign.com

Phone

Email

CURRENT PROPERTY INFO

FRIENDS TO PRESERVE 4TH & GILL LLC

18 EMORY PLACE STE 100, Knoxville 37917

865.679.8159

Owner Name (if different from applicant)

Owner Address

Owner Phone

415 & 417 Lovenia Ave

081MN017

Property Address

Parcel ID

Fourth and Gill

RN-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

5/1/23

Staff Signature

Please Print

Date

Logan Higgins

Logan Higgins

5/1/23

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☒ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☒ Brief description of work: New windows on sides, changes to rear porches and rear windows.
Work includes replacing rear porch with a balcony, and replacing non-original addition to rear with
a porch and balcony. Some rear windows will be replaced with doors for access.

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	TOTAL: 100.00
100.00	
FEE 2:	
FEE 3:	



HISTORIC ZONING COMMISSION PRESENTATION

415 & 417 LOVENIA AVENUE



- 03 LOCATION MAP
- 04 OVERVIEW
- 05 FOURTH & GILL HISTORIC GUIDELINES
- 06 RESPONSE TO NPS STANDARDS FOR PRESERVATION
- 07 EXISTING CONDITIONS
- 08 PRECEDENTS FOR PORCH DESIGN
- 09 SITE PLAN
- 10 EXISTING ELEVATIONS
- 12 PROPOSED ELEVATIONS
- 13 3D VIEWS (PROPOSED AND EXISTING)

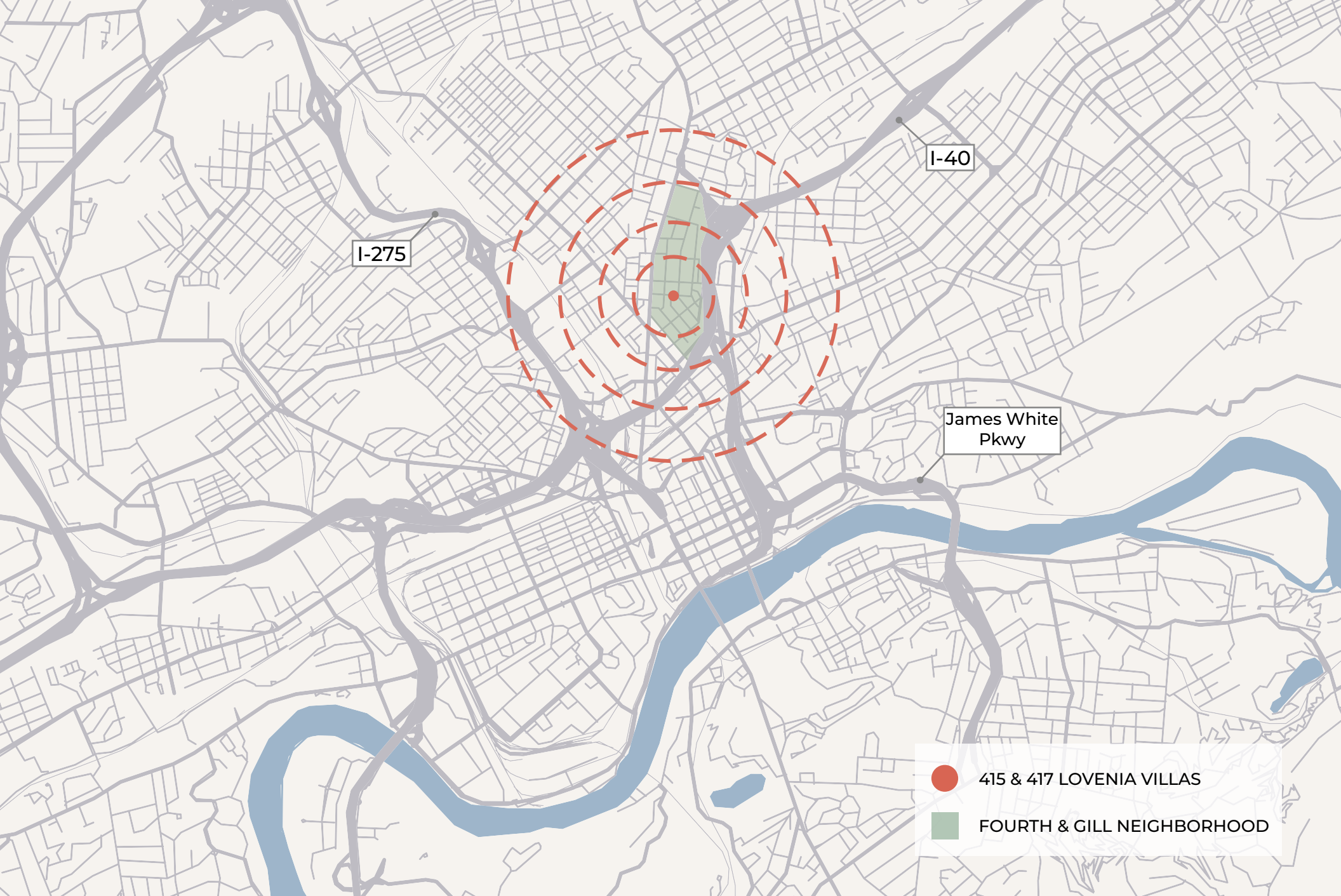
ARCHITECTURE BY:



heyohdesign.com
865.236.0430
admin@heyohdesign.com

DEVELOPMENT BY:

**FRIENDS TO PRESERVE
4TH & GILL LLC**



LOCATION MAP

KNOXVILLE, TN.

OVERVIEW

Description of Work: The exterior scope is to repaint/repair the historic portions in kind and add new outdoor covered balconies after the removal of the non-original rear corner addition.

Style and compliance: The architectural styles present in the Fourth and Gill Historic Overlay District are a good representation of the residential architecture popular in America between the 1880's and the 1940's. Houses are primarily of wood-frame construction, with large porches and complex rooflines. The majority are Queen Anne and Craftsman styles. We seek to continue to strengthen these revitalization efforts with the restoration, rehabilitation and maintenance of the following elements of the building:

The materials that will be used for the project are:

- **Exterior Wall Materials:** Existing brick to be repaired, repointed, and repainted.
- **Roofing Materials:** TPO Roofing Membrane to match existing flat roof.
- **Windows and Entrances:** Existing windows are mostly wood double hung, some with muntins. All new windows will be wood or color clad metal with trim as permitted under Fourth & Gill Design Guidelines.
- **Porches:** Existing front porches will be repaired/refinished in kind. New double-decker rear porches will be made with painted wood columns, painted wood railings, balusters, screening elements, and wood ceilings, and floors. Screening elements will be slatted (translucent) so the open appearance of the porch is maintained.
- **Doors:** Wood doors with trim



FOURTH & GILL HISTORIC NEIGHBORHOOD DESIGN GUIDELINES

New Additions

New additions may be necessary for some of the houses in the Fourth and Gill Historic District. They should duplicate the lot coverage and placement of adjacent historic buildings. The details that should be considered are discussed below.

Recommendations:

1. Locate attached exterior additions at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building. Proportion is very important.
2. Design new additions in a manner that makes clear what is historic and what is new.
3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the Historic district. Design for the new work may be contemporary or may reference design motifs from the historic buildings. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, size, texture, scale, relationship of solids to voids, and color.
4. Place new additions, such as balconies or solar greenhouses, on non-character-defining elevations, and limit the size and scale in relationship to the historic building.
5. Rather than expanding the size of the historic building by constructing a new addition, try to alter interior spaces that do not define the character of the building to accommodate the new space needs.
6. It is best not to add additional stories. If required for the new use, make sure they are set back from the wall plane and are as inconspicuous as possible when viewed from the street.
7. New work should not appear to be as old as the historic building. Do not duplicate the exact form, material, style, and detailing of the historic building in the new addition.
8. New additions should not cause a lessening or loss of historic character, including the historic building's design, materials, workmanship, location, or setting.

Roofs

Rehabilitation and New Construction

1. The shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style. Replacement roofs should copy the shape and pitch of original roofs, and the soffit, fascia and trim detail between roof and wall should mimic the original.

2. The eaves on additions or new buildings should have an overhang that mimics the original eave, or where this is not feasible, mimics the existing buildings near the property. A minimum eave overhang of at least eight inches should be used on new construction. Fascia boards should be included on the gables.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, and other unique roof features). Use some of these details in designing new buildings.
4. Materials used in roofing existing buildings or new construction should duplicate the original roofing materials if possible. Asphalt or fiberglass shingles can be appropriate, as are slate, standing seam metal or metal shingle roof coverings. The color of roofing materials should be a dark green, charcoal gray, black or dark reddish brown to simulate the original roof colors.
5. Do not use solar collectors, modern skylights, or inappropriate structures on roof planes that are visible from the street. Do not install them where they interfere with decorative roof elements. If they are installed, they should not comprise more than 3% of the total roof surface.

Windows

Rehabilitation and New Construction

1. Vinyl and aluminum replacement windows should not be used.
2. Original windows should be reused. It will be much less expensive and much better historically to retain the original windows.
3. Storm windows are often considered when a homeowner wants to increase the heating and cooling efficiency of a building. Interior storm windows that cannot be seen from the street might be a better alternative. If exterior storm windows are used, the windows can be wood, or color clad metal to match the building's trim. Exterior storm windows and security windows should not be used if they damage or obscure the original windows and frames.
4. If replacement windows are necessary, they should be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width and profile. False muntins or grids should not be used.
5. Windows should not be replaced with fixed thermal glazing or permitted to be inoperable. In many cases fixed or inoperable glazing violates code requirements for egress.
6. Tinted or reflective glass should not be used on primary or other important elevations. LO-E glass, which selectively removes ultraviolet light, is allowed.
7. It can be appropriate to design and install additional windows on the rear or another secondary elevation. The designs should be compatible with the overall design of the building.

8. Historic windows should not be blocked in. If ceilings have been dropped, provide a setback of the ceiling to allow for the full height of the original window openings. Do not cut across an existing window with a new floor or ceiling, so that the outside appearance of the window is changed.
9. Reuse existing, serviceable window hardware.
10. Security bars should only be used on windows that are not visible from public streets, and should be designed to be appropriate with the architecture and design period of the building where they are to be installed.

Porches

Rehabilitation and New Construction

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.
2. Porches visible from a street may not be completely enclosed.
3. New front porches in Fourth and Gill must be large enough to provide seating, i.e., six to eight feet in depth.
4. In new construction, the proportion of the porches to the front facades should be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades and porch flooring must use materials that present a visually and physically appropriate appearance historically.
5. Do not replace a wooden porch floor with a poured concrete or masonry floor. The concrete floor will change the historic appearance of the building, and can retain moisture that eventually damages the building.
6. Screening porches may be acceptable if screening is translucent and the open appearance of the porch is maintained.
7. Porches on the fronts of dwellings may be partially enclosed with lattice panels for privacy. This screening should not exceed more than one-third of the porch area in order to maintain the traditional open appearance, and lattice panels should be added behind, not in front of, porch columns and railings. Owners considering adding lattice screening should think carefully about the seclusion it can create, which can make it easier for burglars to enter the house without adequate surveillance from nearby neighbors.

Entrances

Rehabilitation and New Construction

1. Entry features that should be preserved include sidelights and transoms of plain, patterned, beveled or stained glass, fan light windows, entablatures, and the original doors. All add character to the structures within the Fourth and Gill Historic District.

2. It may be appropriate to design or construct a new entrance if the historic one is missing. Any restoration should be based on historical, pictorial and physical documentation and should be compatible with the historic character of the building and with adjacent buildings. It should not create a false historic appearance. Entrances should not be removed when rehabilitating a building, either in adapting to a new use or continuing a historic one.
3. Service (rear or side) entrances should not be altered to make them appear to be formal entrances by adding paneled doors, fanlights or sidelights.
4. Secondary entrances should be compatible with the originals in size, scale or materials but should not give the appearance of a primary entrance.
5. Determine if a storm door will be instrumental to saving energy. If a storm door is used, it should have a color-clad frame and a full view glass, or be designed to respect the original entry door. Security doors should follow the same guidelines.
6. Retain, repair or replace screened doors.
7. Missing doors should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should mimic doors typical for that architectural style, including materials, glazing, and pane configuration. Solid six panel or flush wood or steel design doors should only be used for entrances not visible from the public street. "Decorator" designed doors available from wholesale hardware stores are usually not appropriate for the

Wall Coverings

MASONRY

• Historic Characteristics

There are some brick, stone and stucco homes in the Fourth and Gill Historic District. Foundations and chimneys are often built of these materials. Concrete block, if it is used, is usually ashlar faced.

The mortar used in old masonry has a very low percentage of Portland cement, and is made up primarily of sand and lime. This soft mortar expands and contracts at the same rate as the old brick. If repointing is necessary, any new mortar should match the old both in color and in composition. If old deteriorating mortar must be removed from mortar joints, use hand tools.

Always carefully evaluate the condition of the masonry feature to determine if more than protection and maintenance are required. Any cleaning of masonry should be done using the gentlest methods available, and only then to remove any encrustation of dirt or pollutants that are harming the masonry.

ALL APPLICABLE REQUIREMENTS ARE BEING CONSIDERED AND IMPLEMENTED IN THIS PROPOSAL.

NPS STANDARDS FOR PRESERVATION/REHABILITATION

The Standards will be applied taking into consideration the economic and technical feasibility of each project.

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

This building is to keep its current use but change from (6) residential units to (4) units. Most of the work is interior in nature, but new window openings will be added following the historic style and proportions. New double-decker porches will be added to the rear, following historic conceptual precedents but clearly contemporary to provide distinction from the historic. All other exterior changes will be repaired/refinished in kind or are required by code.

2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The main historic features, including the existing masonry, parapet, decorative elements, door and window overall size and volumetric adjacencies shall be retained and preserved.

3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.

The main historic feature that we desire to change is the non-original rear corner addition with a double-decker porch. Any work that we pursue will preserve the original existing features of the building and any new work will be compatible with the time, place, and use of this building.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

We believe that the existing non-original rear corner addition does not add historical or aesthetic value to the house, and that the porch proposal is much more appropriate since porches are a major historical element of Fourth and Gill. Also, the addition is structurally unsound and on the verge of removing itself.

5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

We desire to maintain the original craftsmanship of the building and to restore any of the character that has been lost.

6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color and texture.

Appropriate measures will be taken in order to ensure that any features in need of repair or replacement will be done so in a historic manner.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible.

Treatments that cause damage to historic materials will not be used.

Any construction that the building undergoes will be done so in a careful manner in order to not cause any further damage.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Any found historic objects will be left in place or be taken to the correct party for preservation.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The proposed porch design draws inspiration from the decorative filigree that is characteristic of many Victorian porches, but reinterprets it in a contemporary way staying true to the period in which it is constructed while also differentiating the historic from the new.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If the proposed porches were removed in the future, the essence and integrity of the historic structure would remain.



EXISTING ADDITION TO BE DEMOLISHED AND CHANGED TO A COVERED BALCONY AND PATIO



EXISTING EXTERIOR WALL TO BE REPAIRED AND REFINISHED IN KIND



DECORATIVE FRONT PORCHES TO BE REPAIRED AND REPAINTED IN KIND



EXISTING WINDOWS TO BE REPLACED WITH NEW ONES OF SIMILAR SIZE, STYLE, AND FINISH.



EXISTING COVERED PATIO TO BE REPLACED WITH COVERED PORCH AND PATIO WITH SAME FOOTPRINT



EXISTING BRICKWORK TO BE REPAIRED AND REPAINTED IN KIND TO MAINTAIN HISTORIC CHARACTER

EXISTING CONDITIONS



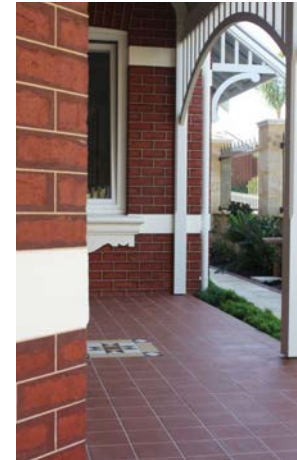
415 & 417 LOVENIA AVE VILLAS DESIGN PROPOSAL

Most of the houses in Fourth and Gill have porches. To reinforce the character of the historic townhouses, we decided to repair and preserve the existing entries and add a new double-decker porch at the rear entrance. The rear porches will include vertical screening elements that are reminiscent of the Victorian filigree motif of the front porch and others within the historic neighborhood. Adjacent are some precedents we looked at for this proposal.

FOURTH & GILL PRECEDENTS

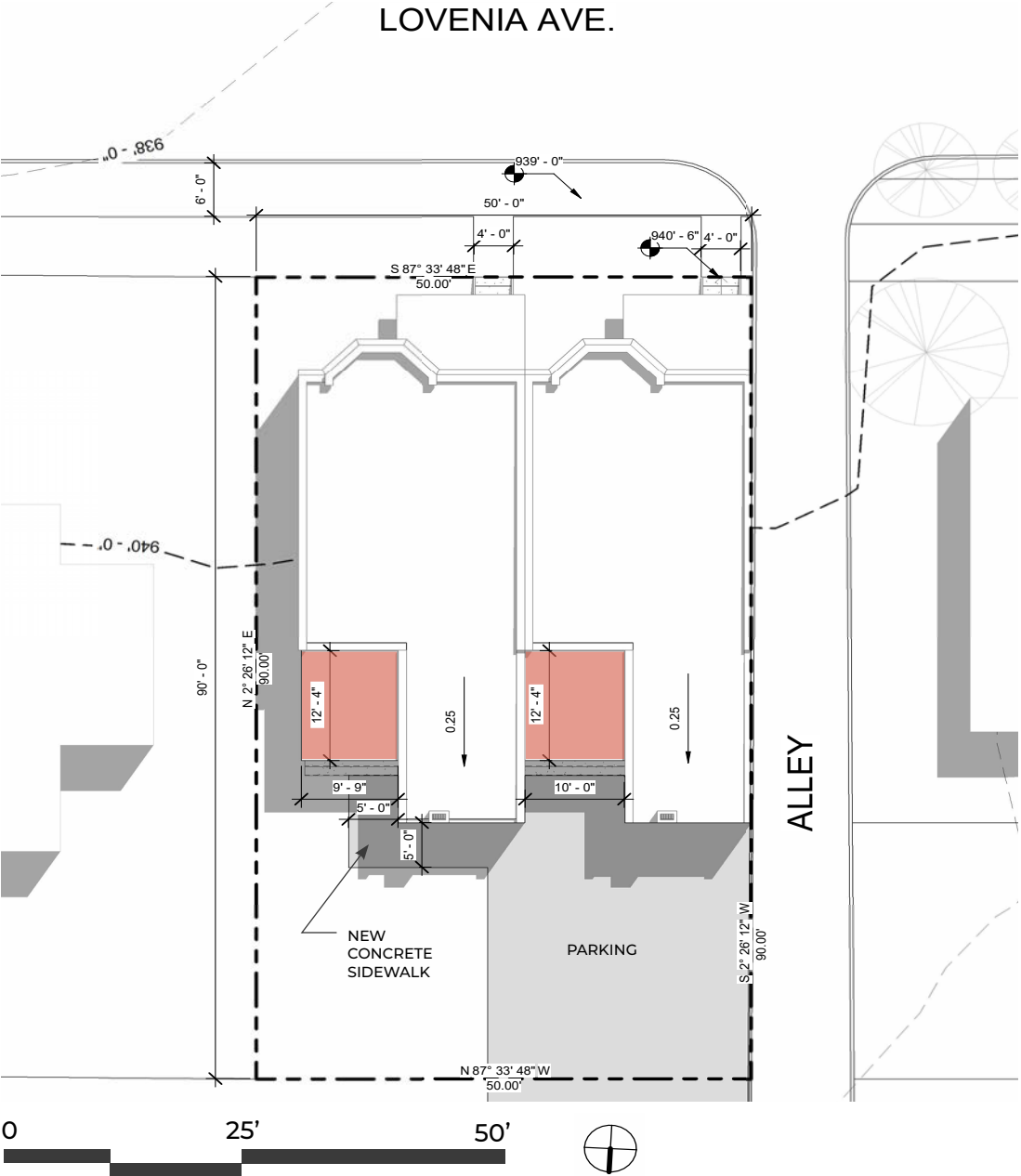


PRECEDENTS IN SIMILAR CONTEXT




PRECEDENTS FOR PORCH DESIGN

SITE PLAN



- NOTES:
- 1. Rear porch footprints to match existing non-original addition and covered patio.
 - 2. No change to front porch footprints.
 - 3. No net change to impervious site area.

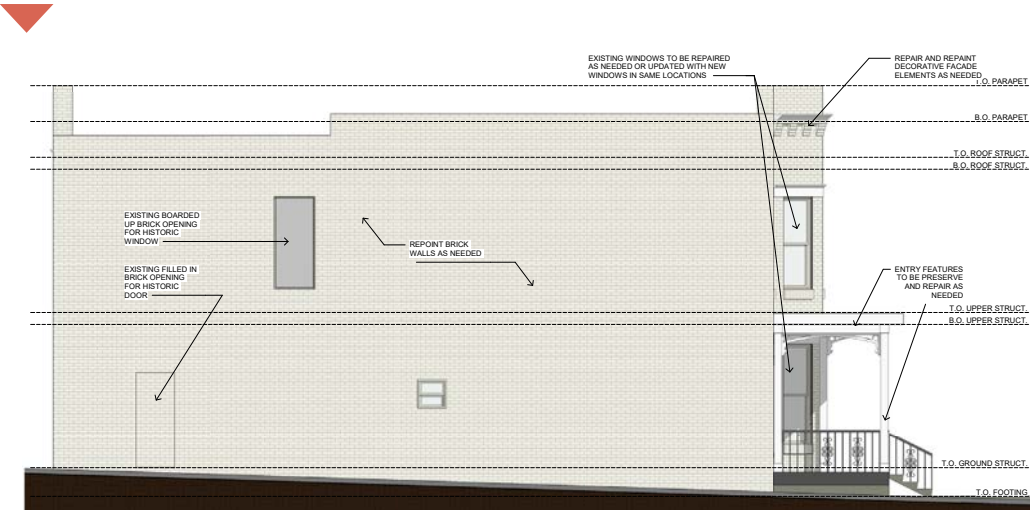
 New Construction: Double-decker Rear Porch

EXISTING ELEVATIONS

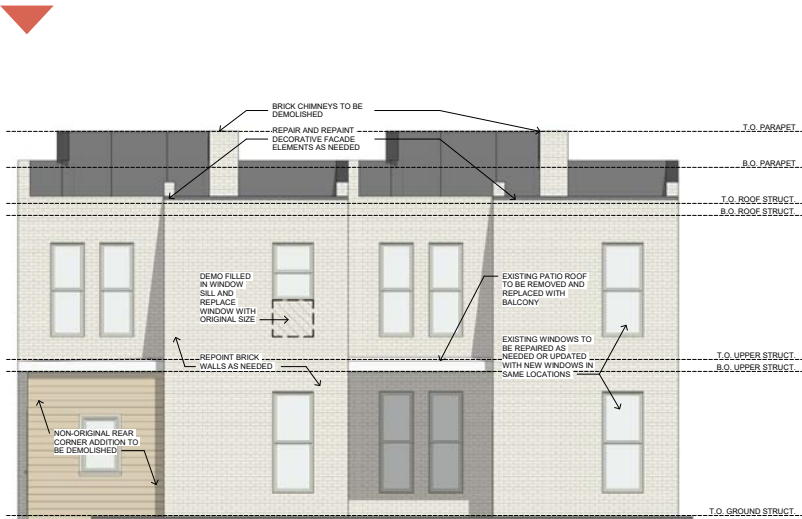
EXISTING SOUTH ELEVATION



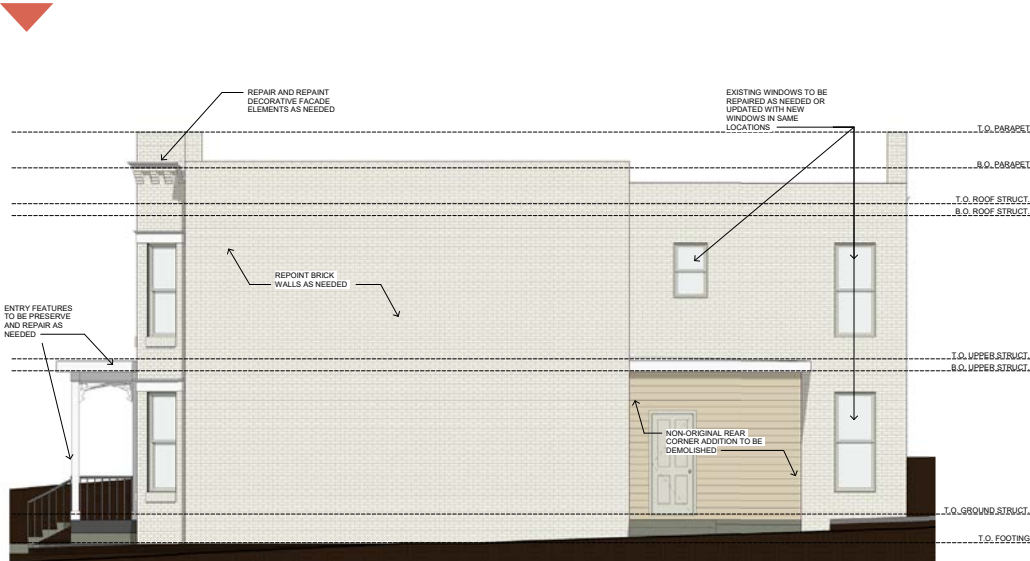
EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION

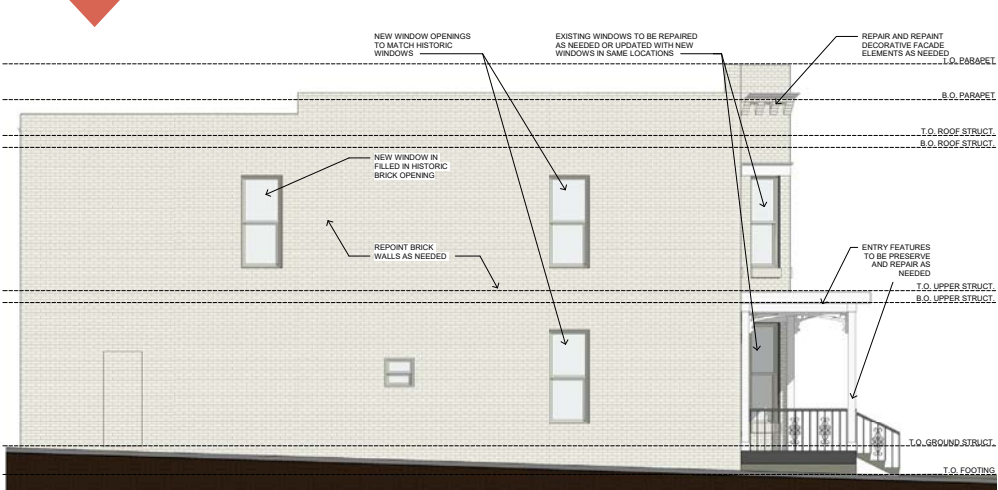


PROPOSED ELEVATIONS

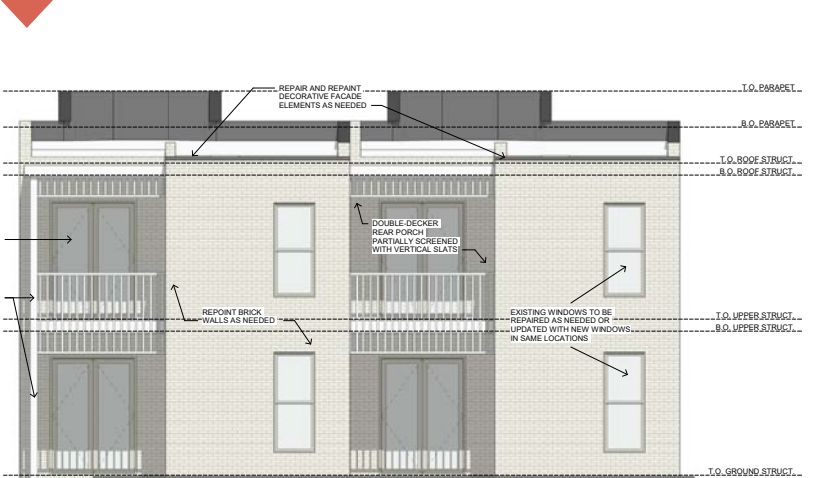
NEW SOUTH ELEVATION



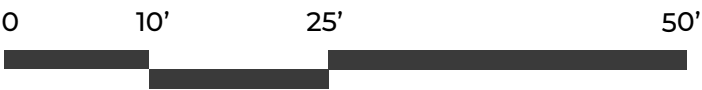
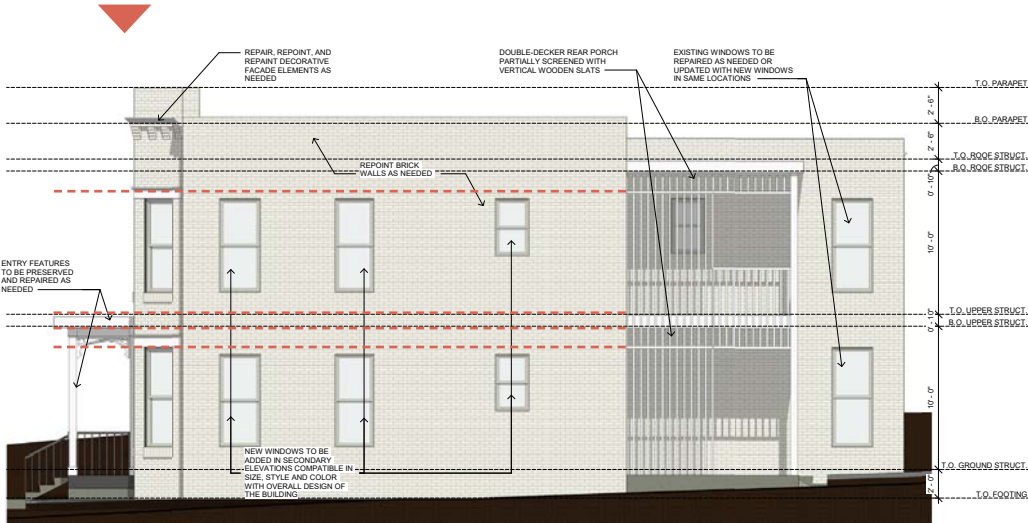
NEW WEST ELEVATION



NEW NORTH ELEVATION



NEW EAST ELEVATION

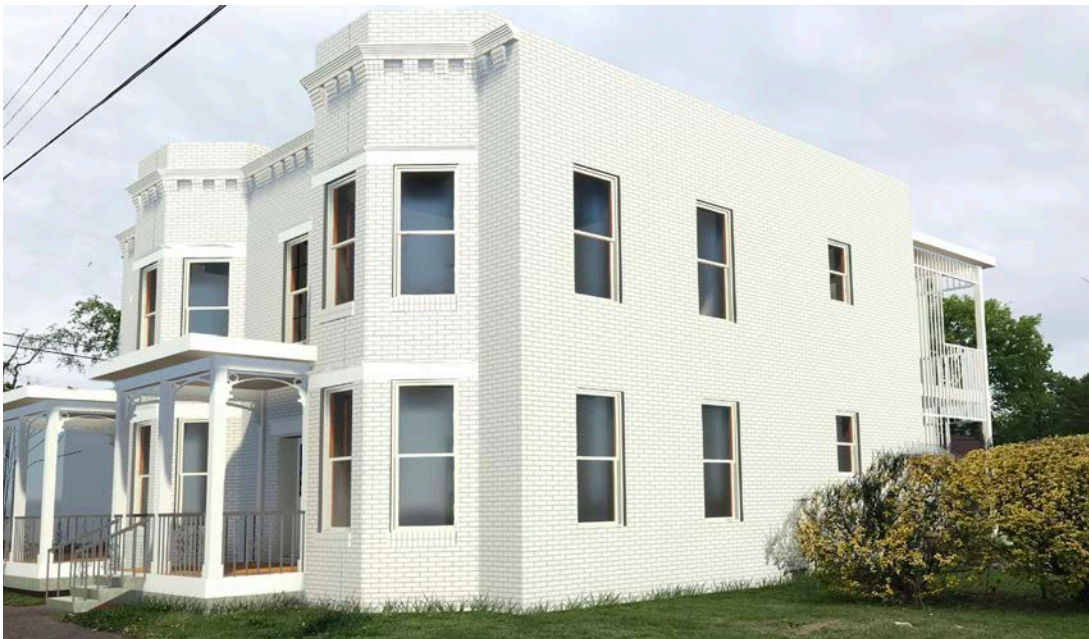


NEW REAR PORCH DETAILING CARRIES HORIZONTAL LINES FROM THE HISTORIC FRONT FACADE

3D FRONT VIEW



◀ EXISTING BUILDING STREET VIEW



◀ PROPOSED BUILDING STREET VIEW

NOTES:

1. NEW WINDOW OPENINGS IN EXISTING FACADE WILL MATCH THE EXISTING BRICK ARCHES AND SILLS.
2. FOOTPRINTS OF FRONT PORCHES WILL NOT CHANGE.

3D REAR VIEW



◀ EXISTING BUILDING STREET VIEW



◀ PROPOSED BUILDING STREET VIEW

NOTES:

1. NEW WINDOW OPENINGS IN EXISTING FACADE WILL MATCH THE EXISTING BRICK ARCHES AND SILLS.
2. REAR BRICK WALLS HAVE SIGNIFICANT WATER DAMAGE AND WILL POTENTIALLY NEED TO BE REBUILT.
3. REAR CHIMNEYS TO BE DEMOLISHED.

WINDOWS

RECOMMENDED

NOT RECOMMENDED

Alterations and Additions for a New Use

Adding new window openings on rear or other secondary, less-visible elevations, if required by a new use. The new openings and the windows in them should be compatible with the overall design of the building but, in most cases, not duplicate the historic fenestration.

Changing the number, location, size, or glazing pattern of windows on primary or highly-visible elevations which will alter the historic character of the building.

Cutting new openings on character-defining elevations or cutting new openings that damage or destroy significant features.

Adding balconies at existing window openings or new window openings on primary or other highly-visible elevations where balconies never existed and, therefore, would be incompatible with the historic character of the building.

Replacing windows that are too deteriorated to repair using the same sash and pane configuration, but with new windows that operate differently, if necessary, to accommodate a new use. Any change must have minimal visual impact. Examples could include replacing hopper or awning windows with casement windows, or adding a realigned and enlarged operable portion of industrial steel windows to meet life-safety codes.

Replacing a window that contributes to the historic character of the building with a new window that is different in design (such as glass divisions or muntin profiles), dimensions, materials (wood, metal, or glass), finish or color, or location that will have a noticeably different appearance from the historic windows, which may negatively impact the character of the building.

Installing impact-resistant glazing, when necessary for security, so that it is compatible with the historic windows and does not damage them or negatively impact their character.

Installing impact-resistant glazing, when necessary for security, that is incompatible with the historic windows and that damages them or negatively impacts their character.

Using compatible window treatments (such as frosted glass, appropriate shades or blinds, or shutters) to retain the historic character of the building when it is necessary to conceal mechanical equipment, for example, that the new use requires be placed in a location behind a window or windows on a primary or highly-visible elevation.

Removing a character-defining window to conceal mechanical equipment or to provide privacy for a new use of the building by blocking up the opening.



ITS

NUMBER 14

Interpreting The Secretary of the Interior's Standards for Rehabilitation

Subject: New Openings in Secondary Elevations or Introducing New Windows in Blank Walls

Applicable Standards: 2. Retention of Historic Character
9. Compatible New Additions/Alterations

Issue: Rehabilitating historic buildings for new uses occasionally requires cutting in new window openings in secondary elevations to increase light and ventilation. Secondary building elevations, while usually not as important as the façade, are often articulated and quite visible, even though they may have few, if any, openings. Since secondary elevations can contribute to the historic character of a building, the integration of new openings requires careful consideration to meet the Secretary of the Interior's Standards for Rehabilitation. This can be accomplished through attention to the number, location, and design of proposed new openings during the design process.

Application I (*Incompatible new openings*): This freestanding brick warehouse was constructed in 1859 to store grain and dry goods. Although the largely solid end wall elevations were secondary, they were highly visible and contributed to the historic character of this building. During a conversion to offices, a series of new openings were inserted in the end walls to admit more light and take advantage of desirable views. The number and design of the new windows, which mimic the historic windows in size, proportion, detail and light configuration, fundamentally altered this building's historic character giving the building a significantly different look. The treatment did not meet the Standards.

New windows could have been installed while maintaining the historic massiveness of the end wall. This would have required the introduction of only a few smaller windows.



Top: The historically important 1859 brick warehouse with largely solid end wall.

Bottom: The number and design of the windows added to the end wall make this an inappropriate treatment.





Left: 1882 corner commercial building.

Right: The number and location of the new openings do not alter the historic character nor cause this elevation to compete with the facade.

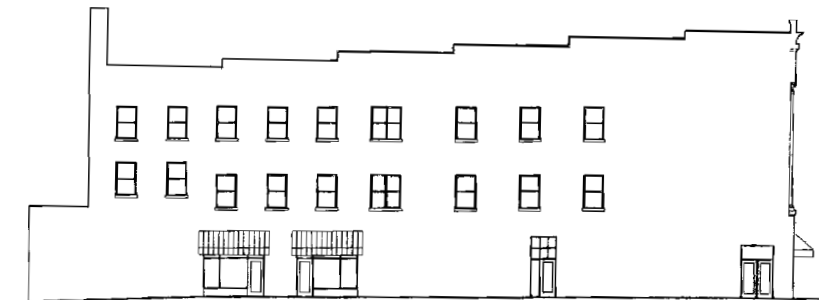
Application 2 (*Compatible new openings*): This 1882 structure exemplifies the transition in commercial architecture after the Civil War from simple, domestically scaled buildings to structures distinguished as symbols of commercial prestige by their size and height, decoration, quality of architecture and prominence. When rehabilitating this building into bank offices, the owner proposed inserting new openings on the third floors of the secondary side elevation for added light and ventilation. The number and location of these new openings did not impact the character-defining features nor direct too much focus to the secondary elevation.



Application 3 (*Incompatible treatment modified to meet the Standards*): A nineteenth century commercial building with an exposed party wall, where the adjacent buildings have been razed, presents a greater opportunity for compatible new openings. Nonetheless, the design must not make such a strong architectural statement as to radically change the appearance of the building or overwhelm the composition of the historic façade.

Left: 19th century commercial building with exposed partywall. Above: Inappropriate treatment. Below: Appropriate solution.

This 1897 commercial building with exposed party wall on the west was constructed to house a significant early twentieth century retail establishment. Four entry doorways were cut into the party wall when the building was altered in 1937 and 1992. When rehabilitating this building for mixed-use in 1999, with a restaurant and specialty shops on the first floor and residential apartments on the upper three stories, twenty-five new openings were proposed on the west elevation. These new openings with varying header heights included four different window sizes and pane configurations, and two projecting balconies. The number, placement, rhythm created by the variations in header heights and window sizes and proposed balconies make a strong architectural statement that is incompatible with the historic character of this large solid masonry wall.



The revised elevation design eliminated the balconies and some of the new window openings, standardized the header heights, sash size and pane configuration. This compatible treatment meets the standards.

Kaaren R. Staveteig, Technical Preservation Services, National Park Service

These bulletins are issued to explain preservation project decisions made by the U.S. Department of the Interior. The resulting determinations, based on the [Secretary of the Interior's Standards for Rehabilitation](#), are not necessarily applicable beyond the unique facts and circumstances of each particular case.