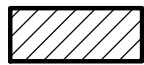
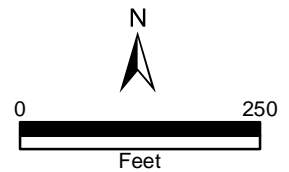


3-F-23-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

 1000 Olive Rd. 37934
 Village of Concord HZ

Original Print Date: 3/2/2023
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Cheryl Baxter Baxter Architecture and Design, LLC





Staff Report

Knox County Historic Zoning Commission

File Number: 3-F-23-HZ

Meeting: 3/16/2023
Applicant: Cheryl Baxter Baxter Architecture and Design, LLC
Owner: Stephanie and Charles Ellis

Property Information

Location: 1000 Olive Rd. **Parcel ID** 153 G A 009
District: Village of Concord HZ
Zoning: RA (Low Density Residential)
Description: Bailey-Smith House. Altered Folk Victorian, c.1895.

One-story frame residence with a side-gable roof with intersecting front-gable. Applied board-and-batten wall covering with an extended height brick foundation. One-over-one replacement windows. L-shaped plan.

Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation, involving revisions to window and door placement. Removal of vinyl lap siding and brick veneer and installation of wood, board-and-batten siding.

Façade (west elevation, fronting Olive Road): replace centrally-located door with a new double-hung, one-over-one, wood window; replace existing window on leftmost bay with smaller sized double-hung, one-over-one, wood window.

Rear elevation (east, fronting Cedar Street): remove two-bay garage door and install two double-hung, one-over-one, wood windows.

Right side elevation (south): reversing locations of centrally located doors and windows. On the right-most bay (non-historic, c.1990, two-story garage), adding paired double-hung wood windows to first story.

Applicable Design Guidelines

Village of Concord Design Guidelines, adopted by the Knox County Commission on October 22, 2001.

Windows

3. If replacement windows are necessary, they must be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width, and profile. Thermal sash windows that use false or snap-on muntins are not acceptable.
6. It can be appropriate to design and install additional windows on the rear or another secondary elevation. The designs should be compatible with the overall design of other windows in the building.
7. Historic windows shall not be blocked in. If ceilings have been dropped, provide a setback to allow for the full height of the original window openings. Do not cut across an existing window with a new floor or ceiling, so that the outside appearance of the window is changed.

Entrances

1. Entry features that must be preserved include sidelights and transoms, fan light windows, entablatures, and original doors. All add character to the structures in the historic district.
2. It may be appropriate to design or construct a new entrance if the historic one is missing. Any restoration must be based on historical, pictorial, and physical documentation and should be compatible with the historic character of the building.
3. A replacement entrance shall not create a false historic appearance. A new entrance should be compatible in size, scale, materials, and color.
4. Original entrances shall not be removed when rehabilitating a building.
6. Secondary entrances shall be compatible with the originals in size, scale, and materials.

Exterior Wall Coverings: Wood

2. If replacement of original features is necessary, the new materials shall match the old in size, placement, and design, including not only wood siding but also wood and asphalt shingles.
4. The removal of synthetic sidings such as aluminum, asbestos, and vinyl and the restoration of the original wood siding is encouraged.
6. Consideration for determining the appropriateness of a change in siding will be based on the following criteria: what is the age of the building? Is it contributing or significant to the district? Where is the building located within the district? Are the proposed changes visible from the street or on a primary façade?

Comments

N/A

Staff Findings

1. 1000 Olive Road is a contributing resource to the Village of Concord National Register Historic District and local overlay. The house has been significantly modified, including mid-century decorative brick veneer on the façade, the installation of vinyl siding and non-historic shutters, and a large, two-story garage addition on the rear dating to approximately 1990. The existing windows and doors are not historic.
2. Replacement of non-historic windows with new, double-hung, one-over-one wood windows which meet the guidelines is appropriate. Final specifications for new windows should be submitted to staff for approval. The proposal includes the retention and shifting of the existing non-historic entry doors.
3. On the rear elevation, all scopes of work will occur on a non-historic, two-story garage. Removal of the two-bay garage door and installation of new windows is appropriate.
4. On the right side (south) elevation, work will occur on a side elevation which has already been significantly modified. Shifting the door one bay and installing a new, full length, double-hung window restores a more consistent pattern of windows and doors. The overall fenestration design will be compatible with the character of the house and the secondary nature of the side elevation.
5. Also on the right side elevation, the proposed addition of paired double-hung wood windows to the first story of the c.1990 garage will contribute additional transparency to what's currently a large swath of siding.
6. While the west elevation (façade) is not currently used as the primary entryway to the house, the elevation is the house's historic façade, fronting Olive Road. The centrally located door, flanked by windows on the two exterior bays, is characteristic of the simple Folk Victorian style. The guidelines note that original entrances shall not be removed. Reducing the size of the left side window also does not meet the guidelines. The existing façade window and door placement should be retained.

7. The architectural description on the guidelines note that the house featured board-and-batten siding. The applicant should provide documentation via historic photos or existing conditions that the board-and-batten siding was an original feature. Otherwise, removal of vinyl siding and installation of wood lap siding with historically appropriate exposure, overlap, and trim details would be preferable.

Staff Recommendation

Staff recommends approval of Certificate 3-F-23-HZ, subject to the following conditions: 1) façade (west elevation) window and door placement to be retained; 2) final window specifications to be submitted to staff for approval; 3) documentation to be provided regarding board-and-batten siding, with wood lap siding as a secondary option.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Cheryl Baxter

Applicant

02/28, 2023

03/16/2023

3-F-23-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Cheryl Baxter

Baxter Architecture And Design, LLC

Name

Company

474 Cherokee Blvd

Knoxville

TN

37919

Address

City

State

Zip

646-785-9740

cheryl@baad.studio

Phone

Email

CURRENT PROPERTY INFO

Charles and Stephanie Ellis

8440 FARANDA WAY

854.604.8134

Owner Name (if different from applicant)

Owner Address

Owner Phone

1000 Olive Road

153GA009

Property Address

Parcel ID

Concord Village

RA/HZ

Neighborhood

Zoning

AUTHORIZATION



Lindsay Crockett

2.28.23

Staff Signature

Please Print

Date



Cheryl Baxter

02/28/2023

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
100.00		
FEE 2:		
FEE 3:		

COA Application: 1000 Olive Road

Below, you will find proposed changes for 1000 Olive Road in the Village of Concord Historic District at the corner of Olive Road and Third Drive.

According to the Village of Concord Design Guidelines, the property was built in approximately 1895 and is known as the Bailey-Smith House and is of the Altered Folk Victorian style. The original house is a one-story, I-shape with a side gable roof and intersecting front gable. The previous owner added a two-story addition in approximately 1990 and replaced the board and batten wall covering with vinyl siding. The house has an existing extended-height brick foundation and the windows have all been replaced with wood-framed insulated glass.

Please refer to the attached diagrams and photos for visual clarification of the following items for review:

1. Moving, Replacing, and/or altering Existing Windows:
 - a. Elevation facing North: No proposed changes
 - b. Elevation facing East:
 - i. Remove the existing two-bay garage door.
 - ii. Add (2) windows (**Windows A** (to match existing window XN) and **B** (to match existing window XS)) to match in materials (wood) and proportion as existing windows as noted.
 - c. Elevation facing South:
 - i. Add (1) window (**Window C**) in the existing addition, matching materials (wood) and proportion to existing windows.
 - ii. Move the existing entry door (**Door A**) to the existing **Window D** location.
 - iii. Add (1) window (**Window E**) at the existing entry door location (**Door A**). New window to match in materials (wood) and proportion as existing windows.
 - d. Elevation facing West:
 - i. Replace the existing entry door (**Door B**) with a new window (**Window F**) to match the adjacent materials and proportion.
 - ii. Replace the existing window (**Window G**) with a new window (to match existing window NX) with a higher sill to allow for kitchen cabinets below. The new window will match the materials (wood) and proportion of existing windows at the elevation facing North.
2. Replace existing vinyl siding with board and batten wood siding to match existing.



1000 Olive Road; View facing North



1000 Olive Road; View facing South

Exterior House Views



View facing East



Location Map

a. Elevation Facing North

circa 1990 2-story addition



Elevation facing North

No proposed changes.

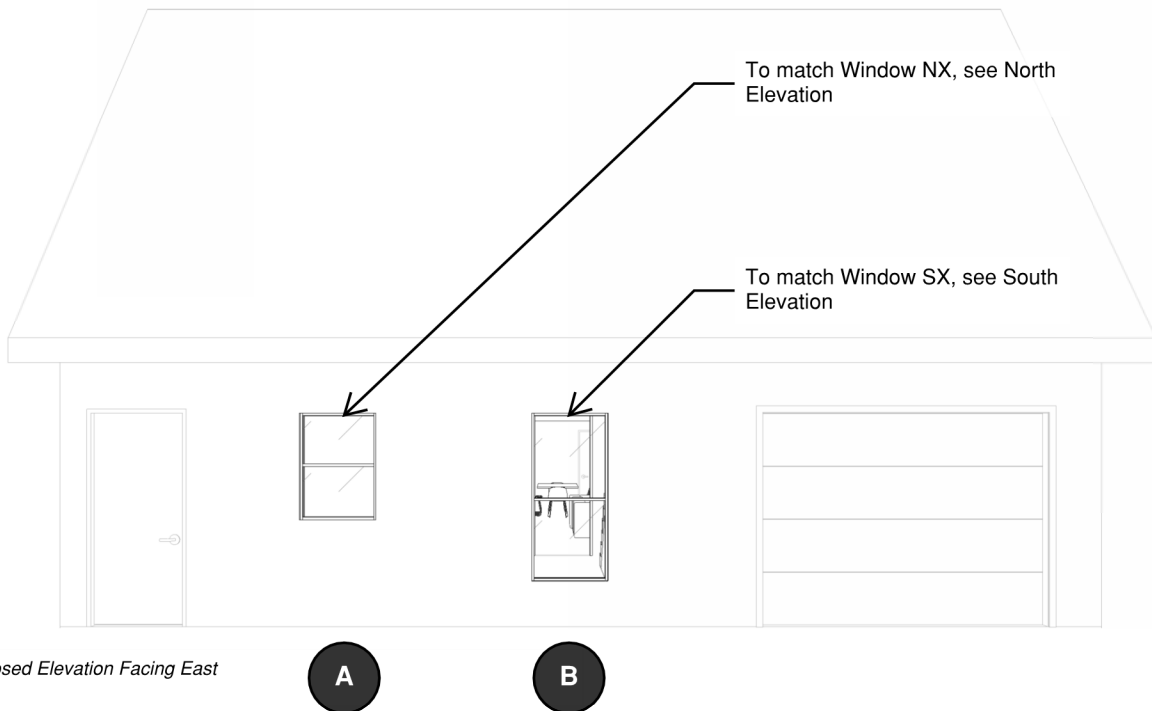


b. Elevation Facing East



Elevation facing East

- i. Remove existing 2-bay garage door.
- ii. Add **Windows A** and **B**



Proposed Elevation Facing East

c. Elevation Facing South

circa 1990 2-story addition



Elevation facing South

XS

i. Add Window C.



Existing Elevation Facing South



Proposed Elevation Facing South

C

c. Elevation Facing South

- ii. Move existing entry door, **Door A**.
- iii. Add **Window E**



Existing Porch Elevation Facing South

DA

D

XS



Proposed Porch Elevation Facing South

E

DA

XS

d. Elevation Facing West



Existing Elevation facing West

G

DB

- i. Replace **Door B** with new **Window F**.
- ii. Replace existing **Window G**.



Proposed Elevation facing West

G

F

d. Elevation Facing West



Existing Elevation facing West

XN

G

DB

- i. Replace **Door B** with new **Window F**.
- ii. Replace existing Window G.



Proposed Elevation facing West

XN

G

F