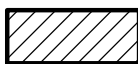


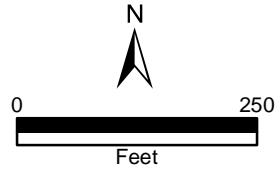
**1-E-23-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



200 W. Hill Ave. 37902  
 Blount Mansion Individual H Landmark

Original Print Date: 1/5/2023  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: David Hearnes Blount Mansion Association



**Meeting:** 1/19/2023  
**Applicant:** David Hearnese Blount Mansion Association  
**Owner:** David Hearnese Blount Mansion Association

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## Property Information

**Location:** 200 W. Hill Ave. **Parcel ID** 95 I D 010  
**District:** Blount Mansion Individual H Landmark  
**Zoning:** DK (Downtown Knoxville)  
**Description:** Various

Blount Mansion is a two-story, side-gable roof residence with an exterior clad in wood lap siding and a brick foundation, and two one-story wings extending from the side elevations. The adjacent Craighead-Jackson house is a two-story (with a basement) brick masonry structure. The overall property features reconstructed gardens and associated secondary structures.

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## Description of Work

Level II Construction of Addition or Outbuilding

New secondary structure (greenhouse) for Blount Mansion and Craighead-Jackson House complex. The greenhouse is proposed for the northeast corner of the property, east of the Craighead-Jackson house and the existing gardens. The greenhouse will be set at an angle aligned with the southeast property line, set approximately 5' from the north property line and 10' from the east/southeast property line.

The rectangular greenhouse will measure approximately 14'-4" wide by 20'-4" deep, with an 8/12 pitch gable roof. The greenhouse rests on an 18" CMU foundation, clad in brick, above a concrete turn-down slab. Primarily enclosed by large single-light glass awning windows on the walls and ceiling, the greenhouse is supported by wood four by four posts with decorative carvings. The façade features full cornice returns, wood louvered vents, and a centrally-located full-light door. A decorative ridge runs the length of the roofline.

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## Applicable Design Guidelines

Secretary of the Interior's Standards for Rehabilitating Historic Buildings.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
  2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
  9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
  10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
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## Comments

N/A

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## Staff Findings

1. Blount Mansion is a National Historic Landmark and a local historic overlay, and the Craighead-Jackson House is listed on the National Register of Historic Places.
  2. The greenhouse is proposed for a secondary location on the site, adjacent to the Craighead-Jackson's gardens, and set at a grade lower than the Hill Avenue viaduct. The greenhouse will be clearly secondary in placement to the main houses on the property. Final modifications may be necessary to the site plan to meet City standards or accommodate a challenging topography; staff could approve minor changes to the site plan, provided the overall scale and design are not modified.
  3. The greenhouse is modest in height, scale, and massing, and will be secondary but compatible with the simple gable-roof houses on the property. The proposed materials of glass, wood supports, and a brick-clad foundation are compatible with both Blount Mansion and the Craighead-Jackson House. Due to secondary placement, compatible design, and the use of contemporary materials and construction tactics, the greenhouse will be differentiated from the original and historic structures on the property.
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## Staff Recommendation

Staff recommends approval of Certificate 1-E-23-HZ, with final site plan revisions to be approved by staff.



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Gov. William Blount Mansion Association

Applicant

01.03.2022

01.19.2022

1-E-23-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

David E. Hearnese

Blount Mansion Association

Name

Company

200 W Hill Avenue

Knoxville

TN

37902

Address

City

State

Zip

865-525-2375

director@blountmansion.org

Phone

Email

## CURRENT PROPERTY INFO

Gov William Blount Mansion Assocaiton

P.O. Box 1703 Knoxville, TN 37901

865-525-2375

Owner Name (if different from applicant)

Owner Address

Owner Phone

1000 State Street Knoxville, TN 37902

095ID010

Property Address

Parcel ID

Downtown

DK-G

Neighborhood

Zoning

## AUTHORIZATION

Lindsay Crockett

1.3.22

Staff Signature

Please Print

Date

David E Hearnese

01.03.2022

Applicant Signature

Please Print

Date

# REQUEST

DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: **Building a greenhouse.** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

STAFF USE ONLY

**ATTACHMENTS**

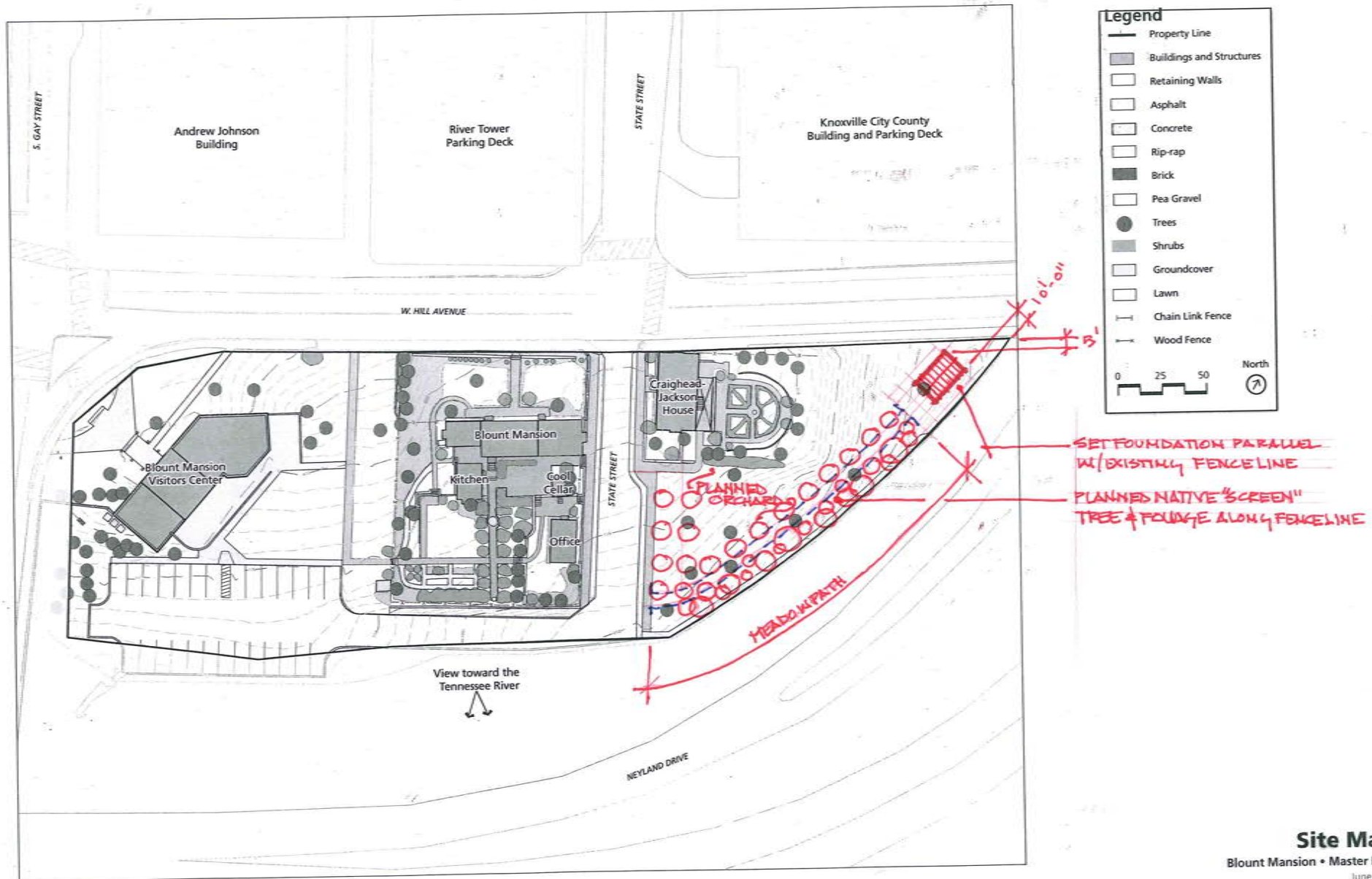
- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>		<b>TOTAL:</b>  <b>\$100</b>
	\$100	
<b>FEE 2:</b>		
<b>FEE 3:</b>		



Overall Project Area

# BLOUNT MANSION GREENHOUSE

SCALE: 1/2" = 1'-0" - JAN 2023

