

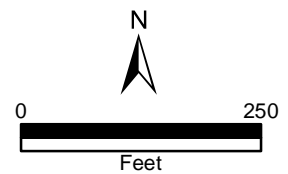
1-D-23-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1800 Clinch Ave. 37916
Ft. Sanders NC

Original Print Date: 1/5/2023
Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Logan Higgins Heyoh Design + Development



Meeting: 1/19/2023
Applicant: Logan Higgins Heyoh Design + Development
Owner: Henson Development

Property Information

Location: 1800 Clinch Ave. **Parcel ID:** 94 N J 010
District: Ft. Sanders NC
Zoning: O (Office)
Description: American Four Square, c.1915

Two-and-one-half-story residence with a hipped roof clad in asphalt shingles, a brick exterior, and a continuous brick foundation. Hipped roof centered on façade.

Description of Work

Level II Construction of Addition or Outbuilding

Proposed addition to third-story and exterior rehabilitation.

Third-story addition: existing hipped roof structure to be removed, elevated three feet in height (featuring a 3' tall section of shingle-style siding), and reconstructed as an 8/12 pitch, hipped roof. Existing dormers to be removed and reconstructed on all elevations. The façade will feature a hipped roof dormer, centered over the primary entry, with an 8/12 pitch roof and two double-hung windows. Both side elevations will feature 3/12 pitch, shed-roof dormers with four adjoining windows. A shed-roof dormer is centered over the rear elevation.

Exterior rehabilitation includes the installation of new windows (creating new fenestrations on some elevations) and the enclosure of some others. On the façade, the center second-story windows will be enlarged. On the east elevation, two bays of main-level existing windows will be replaced with shorter windows; with three stories of paired double-hung windows to be installed on leftmost bay. On the west elevation, several windows will be partially enclosed or shifted in header height, along with addition of a secondary access door on the main level. Several windows will be enclosed on the south elevation.

Work also includes repair to existing porch roof, replacement of front door if needed, and repair/repointing to exterior brick masonry siding.

Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.
 3. Transitional space shall be provided between the addition and the existing structure. This should include a courtyard or a connecting structure. The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' by 6' indentation.
-

5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.
9. Expansion to the front with a bay and/or a porch is acceptable.

A. Height, Scale, & Massing

2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.

B. Roofs

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs, and dormers.
3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal, and slate were used.
4. Darker shades of shingles were historically used and should be selected in new construction.

D. In making additions to existing buildings, wall cladding should complement the original wall covering. Acceptable materials are clapboard, vinyl siding, cement fiber board, brick, and stucco.

E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
2. Windows should be double hung, sash windows. Vinyl or metal-clad windows may be used in place of wood frame windows.
4. Double-hung sash windows are recommended for two- to three-story new construction.
6. The proportions of upper level windows should not exceed the proportion of the first level.
7. Upper level windows should be provided and aligned with doors.

F. Parking

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.
2. Provide parking access off the alley or off a side street.

Comments

N/A

Staff Findings

1. 1800 Clinch Avenue is a contributing structure to the Fort Sanders National Register Historic District and Neighborhood Conservation overlay.
2. The primary scope of work focuses on increasing the height and interior capacity of the house's upper level (typically described as a half story when just dormers exist in the roofline). The addition of three feet in height, along with four dormers, will increase the house to a full three stories.
3. The primary relevant guideline in the Fort Sanders NC Design Guidelines states "additions should be made to the side or rear of the building." The addition is proposed for the roofline, which is currently lower in pitch than the proposed 8/12. Guidelines recommend that houses remain proportional to compatible houses in height and width. The Commission should determine if the addition of space to the third-story is appropriate within the guidelines.
4. The proposed roofline alteration meets the relevant guidelines for roof pitch (maintaining an 8/12 pitch), materials (introducing shingle cladding that is compatible with the brick siding), and windows (using proportions

compatible with the historic style).

5. Guidelines recommend that second- and third-story construction use double-hung windows; the casement windows on the west elevation dormer should match the east elevation dormer's window size and design.

6. In general, the revision to side and rear elevation window placement maintains the recommended "proportions and symmetry," including adding additional transparency on the east elevation.

7. The remaining exterior rehabilitation scopes meet the design guidelines. All repointing and masonry repair should meet the specifications of NPS Brief 2, "Repointing Mortar Joints on Historic Masonry Buildings."

Staff Recommendation

The Commission should determine the appropriateness of the upper-level roofline alterations/third-story addition. Pending HZC approval of the addition, additional conditions of approval should include: 1) windows on west elevation dormer to match east elevation dormer; 2) masonry repointing and brick repair to meet specifications of NPS Preservation Brief 2.



DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☒ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

Heyoh Design + Development

Applicant

1/2/23

1/19/2023

1-D-23-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Logan Higgins

Heyoh Design + Development

Name

Company

133C S Gay Street

Knoxville

TN

37902

Address

City

State

Zip

(423) 502-4210

logan@heyohdesign.com

Phone

Email

CURRENT PROPERTY INFO

Henson Development

900 Phillips Ave #103

865.805.9684

Owner Name (if different from applicant)

Owner Address

Owner Phone

1800 Clinch Avenue

094NJ010

Property Address

Parcel ID

Fort Sanders

O (Office)

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

1.3.23

Staff Signature

Please Print

Date

Logan Higgins

Logan Higgins

1/2/23

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

☐ Signs ☐ Alteration of an existing building/structure

Level 2:

☐ Addition to an existing building/structure

Level 3:

☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

☐ Major repair, removal, or replacement of architectural elements or materials ☒ Additions and accessory structures

Level 3:

☐ Construction of a new primary building

Level 4:

☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☒ Brief description of work: Rebuilding roof structure to allow for better headroom on third floor.

INFILL HOUSING

Level 1:

☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

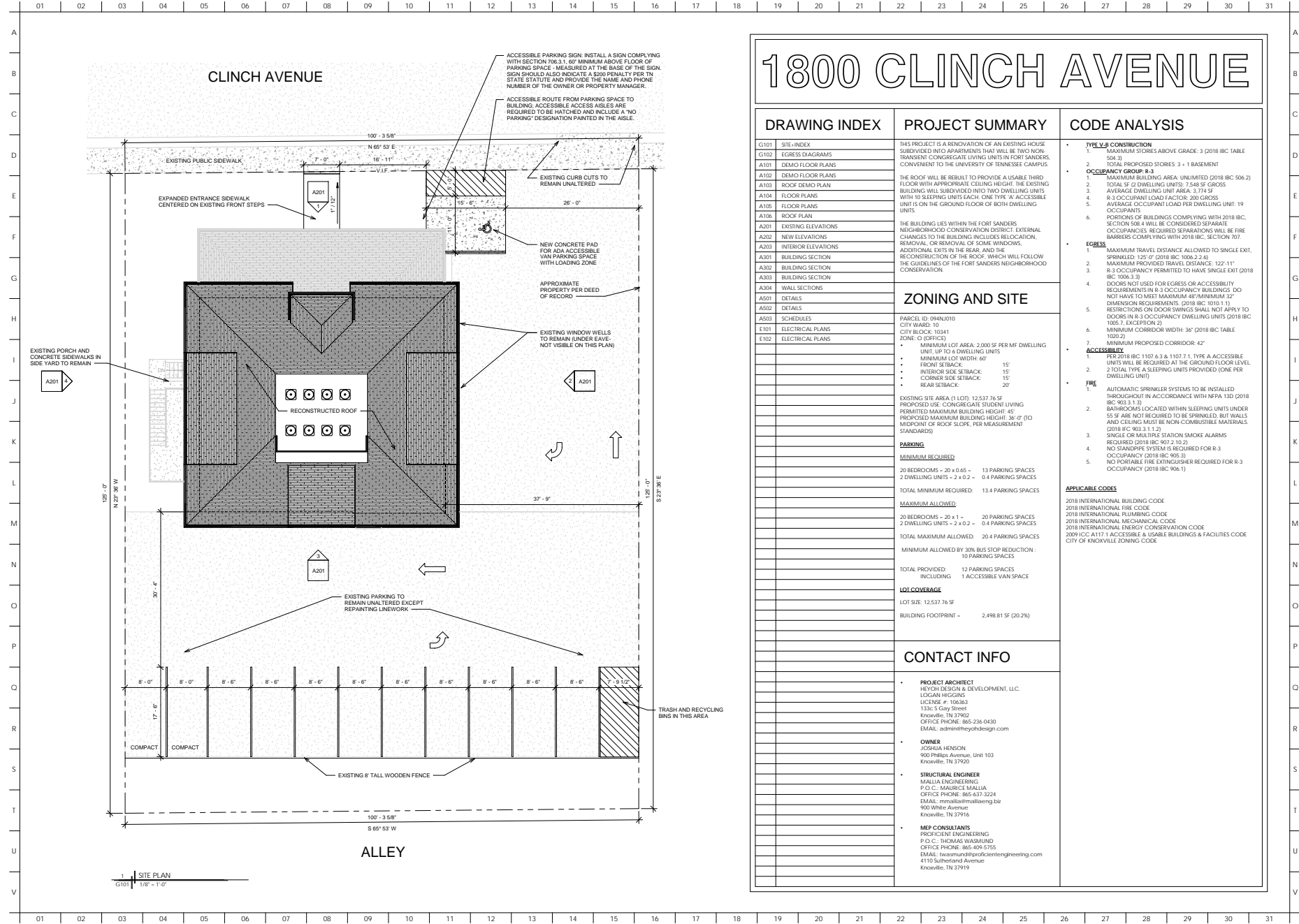
- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

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|--------|----------------------|
| FEE 1: | TOTAL: 100.00 |
| 100.00 | |
| FEE 2: | |
| FEE 3: | |



1800 CLINCH AVENUE

| DRAWING INDEX | PROJECT SUMMARY | CODE ANALYSIS |
|--|--|--|
| G101 SITE INDEX G102 EGRESS DIAGRAMS A101 DEMO FLOOR PLANS A102 DEMO FLOOR PLANS A103 ROOF DEMO PLAN A104 FLOOR PLANS A105 FLOOR PLANS A106 ROOF PLAN A201 EXISTING ELEVATIONS A202 NEW ELEVATIONS A203 INTERIOR ELEVATIONS A301 BUILDING SECTION A302 BUILDING SECTION A303 BUILDING SECTION A304 WALL SECTIONS A501 DETAILS A502 DETAILS A503 SCHEDULES E101 ELECTRICAL PLANS E102 ELECTRICAL PLANS | <p>THIS PROJECT IS A RENOVATION OF AN EXISTING HOUSE SUBDIVIDED INTO APARTMENTS THAT WILL BE TWO NON-TRANSIENT CONGREGATE LIVING UNITS IN FORT SANDERS CONVENTION TO THE UNIVERSITY OF TENNESSEE CAMPUS.</p> <p>THE ROOF WILL BE REBUILT TO PROVIDE A USABLE THIRD FLOOR WITH APPROPRIATE CEILING HEIGHT. THE EXISTING BUILDING WILL BE SUBDIVIDED INTO TWO DWELLING UNITS WITH 10 SLEEPING UNITS EACH. ONE TYPE 'A' ACCESSIBLE UNIT IS ON THE GROUND FLOOR OF BOTH DWELLING UNITS.</p> <p>THE BUILDING LIES WITHIN THE FORT SANDERS NEIGHBORHOOD CONSERVATION DISTRICT. EXTERNAL CHANGES TO THE BUILDING INCLUDES RELOCATION, REMOVAL, OR REMOVAL OF SOME WINDOWS. ADDITIONAL EXITS IN THE REAR, AND THE RECONSTRUCTION OF THE ROOF, WHICH WILL FOLLOW THE GUIDELINES OF THE FORT SANDERS NEIGHBORHOOD CONSERVATION.</p> <h3>ZONING AND SITE</h3> <p>PARCEL ID: 09AN010 CITY WARD: 10 CITY BLOCK: 10341 ZONE: O (OFFICE)</p> <ul style="list-style-type: none">MINIMUM LOT AREA: 2,000 SF PER MF DWELLING UNIT, UP TO 4 DWELLING UNITSMINIMUM LOT WIDTH: 66'FRONT SETBACK: 15'INTERIOR SIDE SETBACK: 15'CORNER SIDE SETBACK: 15'REAR SETBACK: 20' <p>EXISTING SITE AREA (1 LOT): 12,537.76 SF PROPOSED USE: CONGREGATE STUDENT LIVING PERMITTED MAXIMUM BUILDING HEIGHT: 45' PROPOSED MAXIMUM BUILDING HEIGHT: 36' 5" (TO MIDPOINT OF ROOF SLOPE, PER MEASUREMENT STANDARDS)</p> <h3>PARKING</h3> <p>MINIMUM REQUIRED: 20 BEDROOMS - 20 x 0.65 = 13 PARKING SPACES 2 DWELLING UNITS - 2 x 0.2 = 0.4 PARKING SPACES TOTAL MINIMUM REQUIRED: 13.4 PARKING SPACES</p> <p>MAXIMUM ALLOWED: 20 BEDROOMS - 20 x 1 = 20 PARKING SPACES 2 DWELLING UNITS - 2 x 0.2 = 0.4 PARKING SPACES TOTAL MAXIMUM ALLOWED: 20.4 PARKING SPACES</p> <p>MINIMUM ALLOWED BY 30% BUS STOP REDUCTION: 10 PARKING SPACES</p> <p>TOTAL PROVIDED: 12 PARKING SPACES INCLUDING: 1 ACCESSIBLE VAN SPACE</p> <h3>LOT COVERAGE</h3> <p>LOT SIZE: 12,537.76 SF BUILDING FOOTPRINT = 2,498.81 SF (20.2%)</p> <h3>CONTACT INFO</h3> <ul style="list-style-type: none">PROJECT ARCHITECT HEYOH DESIGN & DEVELOPMENT, LLC. LOGAN HIGGINS LICENSE #: 109363 1326 S Gay Street Knoxville, TN 37902 OFFICE PHONE: 865-236-0430 EMAIL: admin@heyohdesign.comOWNER JOSHUA HENSON 900 Philips Avenue, Unit 103 Knoxville, TN 37920STRUCTURAL ENGINEER MALLIA ENGINEERING P.O. C.: MAURICE MALLIA OFFICE PHONE: 865-637-3224 EMAIL: mmallia@mallaeng.biz 900 White Avenue Knoxville, TN 37916MEP CONSULTANTS PROICIENT ENGINEERING P.O. C.: THOMAS WASMUND OFFICE PHONE: 865-409-5755 EMAIL: twasmund@proicientengineering.com 4110 Sutherland Avenue Knoxville, TN 37919 | <ul style="list-style-type: none">TYPE V-B CONSTRUCTION 1. MAXIMUM STORES ABOVE GRADE: 3 (2018 IBC TABLE 504.3)OCCUPANCY GROUP R-3 1. MAXIMUM BUILDING AREA: UNLIMITED (2018 IBC 506.2)2. TOTAL SF OF DWELLING UNITS: 7,548 SF GROSS3. AVERAGE DWELLING UNIT AREA: 3,774 SF4. R-3 OCCUPANCY LOAD FACTOR: 200 GROSS5. AVERAGE OCCUPANT LOAD PER DWELLING UNIT: 19 OCCUPANTS6. PORTIONS OF BUILDINGS COMPLYING WITH 2018 IBC, SECTION 508 WILL BE CONSIDERED SEPARATE OCCUPANCIES. REQUIRED SEPARATIONS WILL BE FIRE BARRIERS COMPLYING WITH 2018 IBC, SECTION 702EGRESS 1. MAXIMUM TRAVEL DISTANCE ALLOWED TO SINGLE EXIT, SPRINKLED: 125'-0" (2018 IBC 1006.2.2.4)2. MAXIMUM PROVIDED TRAVEL DISTANCE: 122'-11" R-3 OCCUPANCY PERMITTED TO HAVE SINGLE EXIT (2018 IBC 1006.3.3)3. DOORS NOT USED FOR EGRESS OR ACCESSIBILITY REQUIREMENTS IN R-3 OCCUPANCY BUILDINGS DO NOT HAVE TO MEET MAXIMUM 48" MINIMUM 32" DIMENSION REQUIREMENTS. (2018 IBC 1010.1.1)4. RESTRICTIONS ON DOOR SWINGS SHALL NOT APPLY TO DOORS IN R-3 OCCUPANCY DWELLING UNITS (2018 IBC 1005.7, EXCEPTION 2)5. MINIMUM CORRIDOR WIDTH: 36" (2018 IBC TABLE 1002.2)6. MINIMUM PROPOSED CORRIDOR: 42"ACCESSIBILITY 1. PER 2018 IBC 1107.6.3 & 1107.7.1, TYPE A ACCESSIBLE UNITS WILL BE REQUIRED AT THE GROUND FLOOR LEVEL2. TOTAL TYPE A SLEEPING UNITS PROVIDED (ONE PER DWELLING UNIT)FIRE 1. AUTOMATIC SPRINKLER SYSTEMS TO BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13D (2018 IBC 903.3.1.3)2. BATHROOMS LOCATED WITHIN SLEEPING UNITS UNDER 55 SF ARE NOT REQUIRED TO BE SPRINKLED, BUT WALLS AND CEILING MUST BE NON-COMBUSTIBLE MATERIALS (2018 IBC 903.3.1.2)3. SINGLE OR MULTIPLE STATION SMOKE ALARMS REQUIRED (2018 IBC 907.2.10.2)4. NO STAIRWELL SYSTEM IS REQUIRED FOR R-3 OCCUPANCY (2018 IBC 905.3)5. NO PORTABLE FIRE EXTINGUISHER REQUIRED FOR R-3 OCCUPANCY (2018 IBC 906.1) <h3>APPLICABLE CODES</h3> <p>2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2009 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS & FACILITIES CODE CITY OF KNOXVILLE ZONING CODE</p> |

| REVISION | |
|----------|----------|
| No. | REVISION |
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Project:
CLINCH AVENUE HOUSE

Number: **222018**

Client:
Joshua Henson

Info:
Project Status

Location:
1800 Clinch Avenue
Knoxville, TN 37916

heyoh

DESIGN + DEVELOPMENT

PROGRESS SET

N.F.C.

REQUIRES ARCH. STAMP

CHECKED BY: Checker

DRAWN BY: D.A.W.

11/02/22

1/8" = 1'-0"



NEIGHBORHOOD CONSERVATION REVIEW OF
CLINCH AVENUE HOUSE
1800 CLINCH AVE



- 03 LOCATION MAP
- 04 OVERVIEW
- 05 EXISTING ELEVATIONS
- 06 PROPOSED ELEVATIONS
- 07 PRECEDENTS FOR HOUSE DESIGN
- 08 STREET 3D VIEWS (PROPOSED AND EXISTING)
- 10 STREET FRONTAL VIEWS (EXISTING AND PROPOSED)
- 12 EXISTING EXTERIOR BUILDING PHOTOS

ARCHITECTURE BY:

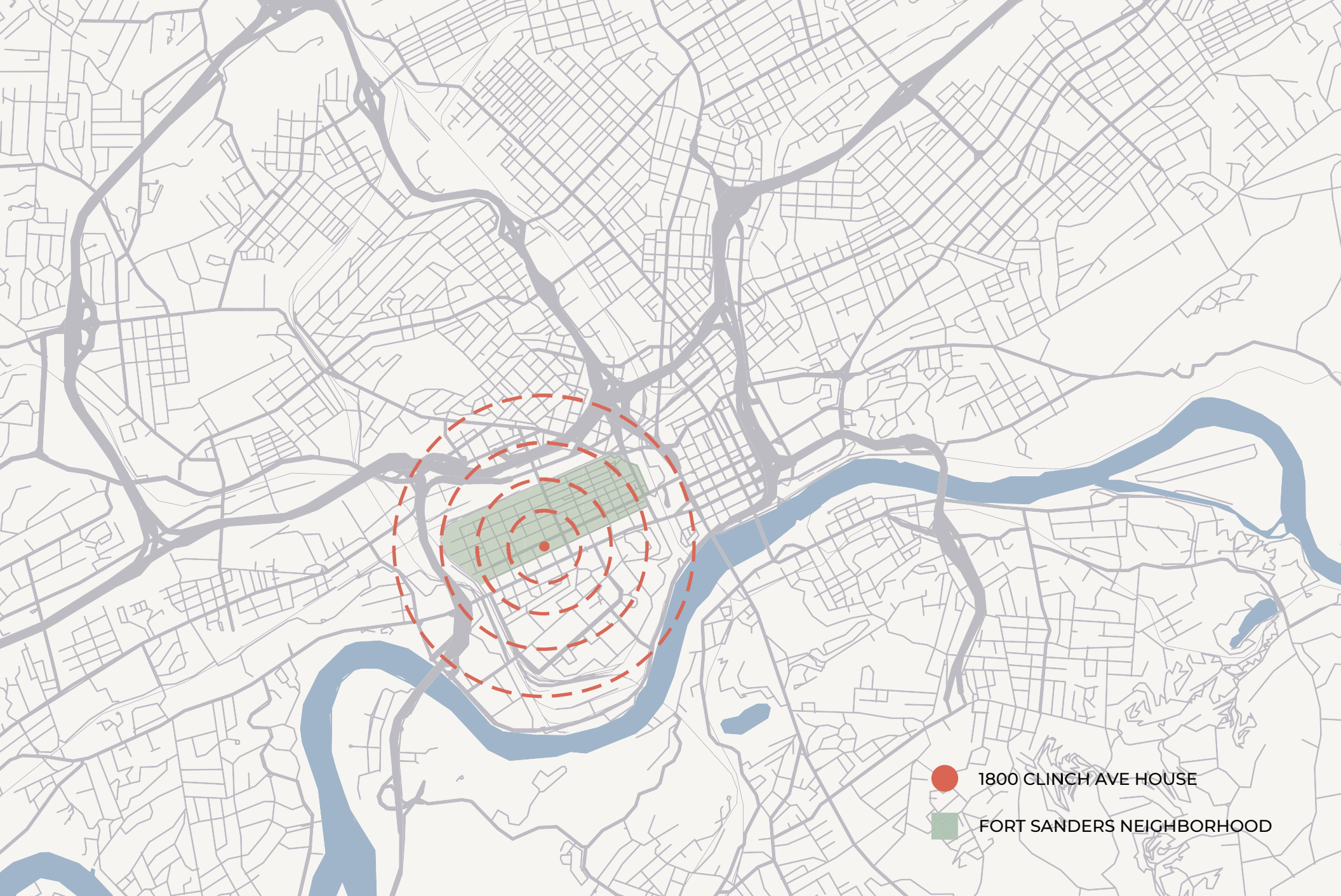


heyohdesign.com
865.236.0430
admin@heyohdesign.com

DEVELOPMENT BY:



hensondev.com
865.805.9684
joshua@hensondev.com



1800 CLINCH AVE HOUSE



FORT SANDERS NEIGHBORHOOD

LOCATION MAP

KNOXVILLE, TN.

OVERVIEW

Description of Work

The structure at 1800 Clinch is currently 3 stories with a basement. The third floor is currently a dangerous dwelling unit, with no fire protection and poor egress. Additionally, there are many places within the unit that do not have proper headroom.

The owner plans to perform an interior remodel of the entire building. In the process, they intended to completely redo the existing third floor and raise the roof by 3 feet so that it can be code compliant and safe for occupants.

The changes will include replacing and widening the dormers, and replacing the roof with a new hip roof. Additionally, due to layout changes, there will be some changes to windows, many of which are broken, boarded over, or significantly non-energy code compliant.

Style and compliance

This building is a typical Foursquare style house that was converted into a multi-unit apartment building.

In researching the modifications to the building, we looked into precedents of Foursquare houses with raised roofs. As seen later in the packet, we are able to follow an established pattern of this style and use guideline compliant cedar shake shingles for the new wall portion.

Furthermore, the new roof structure will comply with the NC FS Guidelines of 8:12 roof pitch and dark asphalt shingles.

The height and scale of the building will remain consistent with other pre-1940's structures in the neighborhood, because the height change is very minimal.

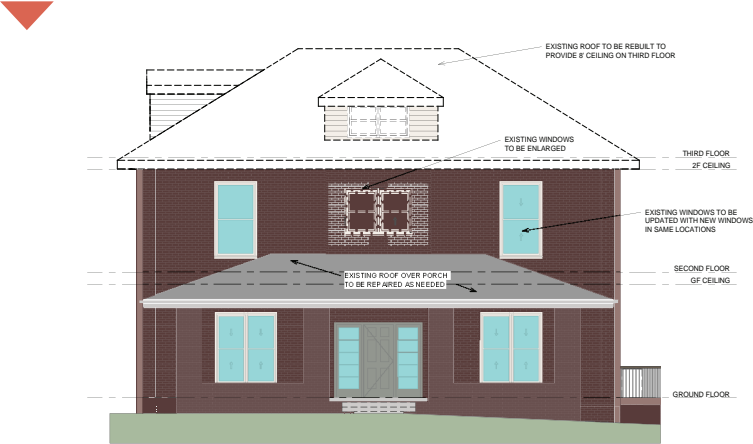
The materials that will be used for the project are:

- **Wall Materials:** Shingle and Brick.
- **Roofing Materials:** Asphalt and Shingle.
- **Windows and Entrances:** Existing windows are mostly vinyl, broken windows will be repaired and replaced as-needed. Some windows will be modified in size. All new windows will be vinyl as permitted under Fort Sanders NC Guidelines.

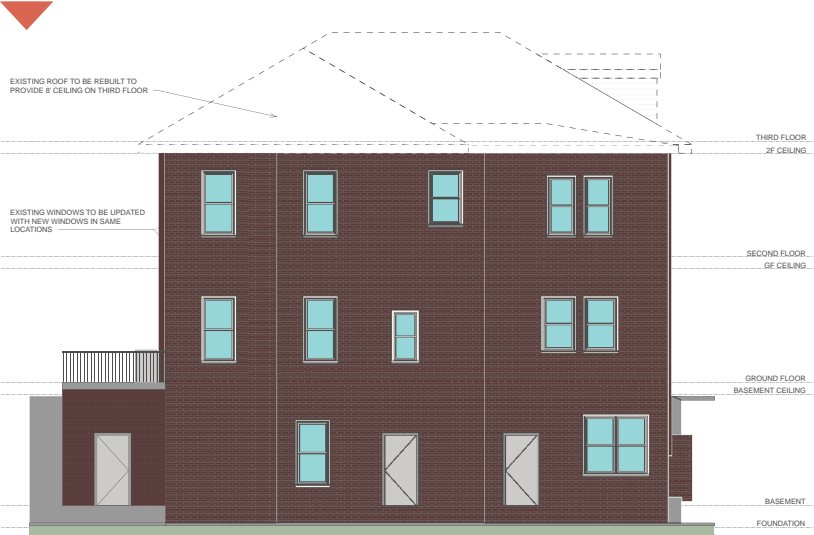


EXISTING ELEVATIONS

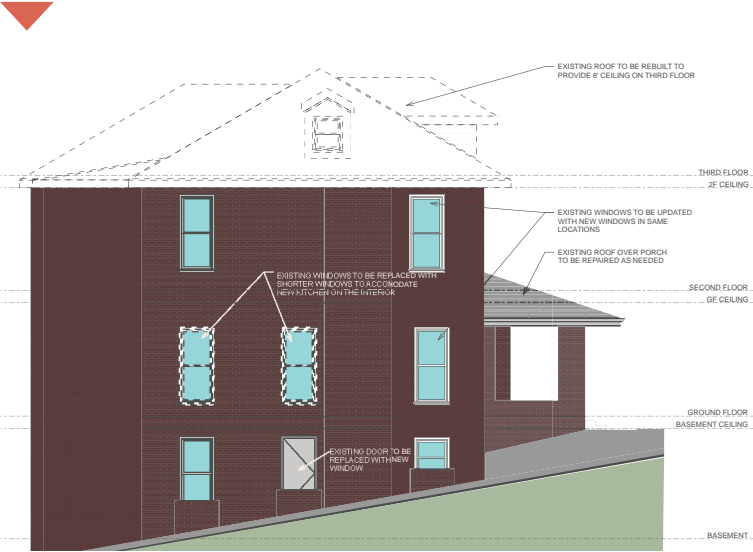
EXISTING NORTH ELEVATION



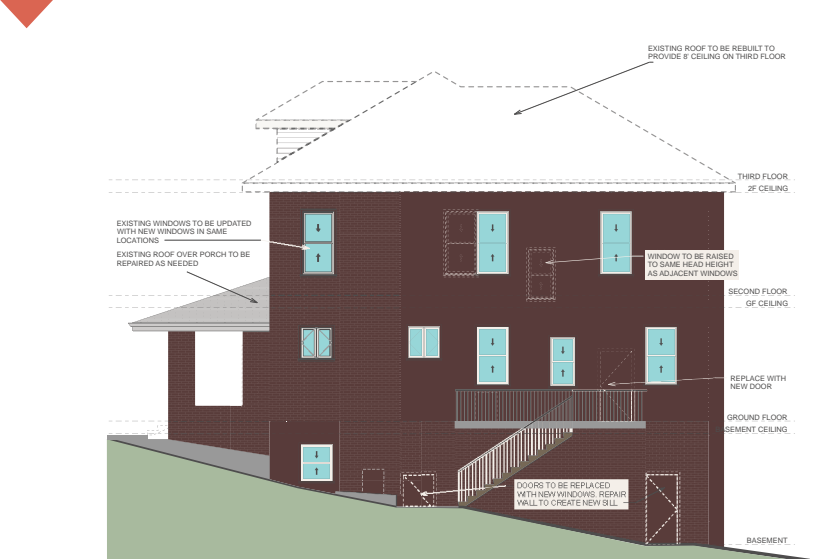
EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



EXISTING WEST ELEVATION



PROPOSED ELEVATIONS

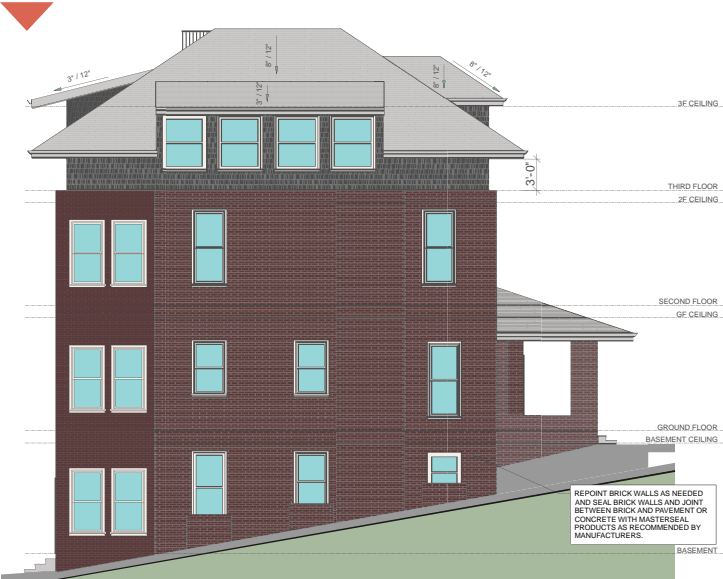
NEW NORTH ELEVATION



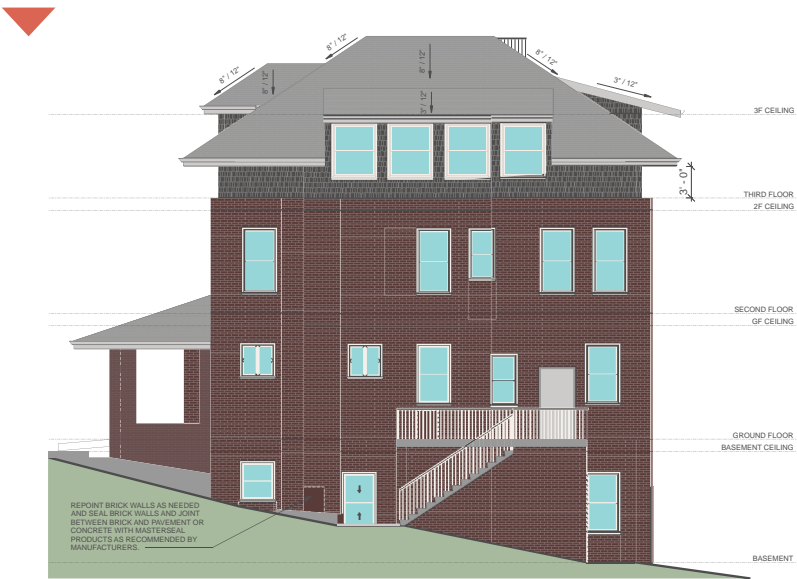
NEW SOUTH ELEVATION



NEW EAST ELEVATION



NEW WEST ELEVATION





1800 CLINCH AVE HOUSE DESIGN PROPOSAL

Third floors dependent on dormers are common in Foursquare style houses. However, these third floors were often built with dangerously low ceilings in some areas and precarious means of accessing them. This one is no different.

In order to meet modern codes and standards of living, the roof needed to be raised slightly higher.

To do this, we looked at the historic patterns of this style, to determine a method of raising the roof while keeping with the style. Adjacent are some precedents we looked at for this change.



STREET 3D VIEWS



EXISTING BUILDING STREET VIEW



PROPOSED BUILDING STREET VIEW

STREET 3D VIEWS



EXISTING BUILDING STREET VIEW



PROPOSED BUILDING STREET VIEW

FRONTAL STREET VIEW

EXISTING BUILDING STREET VIEW



PROPOSED BUILDING STREET VIEW



FRONTAL STREET VIEW

EXISTING BUILDING STREET VIEW



PROPOSED BUILDING STREET VIEW





EXISTING ROOF TO BE REBUILT TO PROVIDE TALLER CEILING ON THIRD FLOOR



EXISTING ROOF TO BE REBUILT TO PROVIDE 8' CEILING ON THIRD FLOOR



REPOINT BRICK WALLS AS NEEDED AND SEAL BRICK WALLS AND JOINT BETWEEN BRICK AND PAVEMENT



EXISTING WINDOWS TO BE REPLACED WITH SHORTER WINDOWS TO ACCOMMODATE NEW KITCHEN ON THE INTERIOR



EXISTING ROOF OVER PORCH TO BE REPAIRED AS NEEDED