



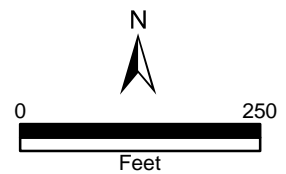
**7-B-23-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**321 Deaderick Ave. 37921**  
**Mechanicsville H**

Original Print Date: 8/7/2023  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: R. Bentley Marlow



**Meeting:** 8/17/2023  
**Applicant:** R. Bentley Marlow  
**Owner:** Bradley Huff

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## Property Information

**Location:** 321 Deaderick Ave. **Parcel ID** 94 F K 020  
**District:** Mechanicsville H  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**Description:** Craftsman, c.1920

1.5-story frame residence with a side-gable roof clad in asphalt shingles and an exterior of wood lap siding. Roof features a centered front-gable dormer and overhanging eaves. Full-length recessed front porch with wood posts on brick piers. Exterior brick chimney.

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## Description of Work

Level II Construction of Addition or Outbuilding

New secondary structure (detached garage with accessory dwelling unit above). Rectangular garage will measure 24' wide by 28' deep, located approximately 28' from the rear of the primary structure and 3' from the left (southwest) side property line. The garage will be accessible via an existing driveway on the left side of the primary house. The garage features a front-gable roof (12/12 pitch) clad in architectural shingles, with two shed-roof dormers (4/12 pitch) extending to each side. The garage will be clad in 4" lap fiber cement siding, with fiber cement shake siding on the dormers. The façade (southeast) features two 8' wide carriage-style steel garage doors with transom windows, and two 1/1 double-hung composite windows in the gable fields. On the side elevations, three evenly spaced windows are located on each dormer, with two pedestrian access doors flanking a window on the ground level of both sides. The rear elevation (northwest) features an upper-level window in the gable field. Additional design elements include triangular wood brackets and 4" fiber cement trim around windows and doors.

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## Applicable Design Guidelines

Mechanicsville Design Guidelines, adopted by the Knoxville City Council on September 20, 2011.

U. Rules for Secondary Structures

1. The design of outbuildings, such as garages, shall acknowledge and suggest the function of original outbuildings that would have been located in the neighborhood.
  2. The design of features like garage doors that face the street must mimic carriage house doors from an era consistent with the primary building on the lot.
  3. Garages and outbuildings must be located behind the primary building at the rear of the lot.
  4. Design characteristics and materials used in constructing new outbuildings or accessory buildings must be selected from this list: a roof pitch consistent with the primary building on the lot; overhanging eaves; exposed rafter tails; wood windows; wood lap siding with a four inch lap; board and batten; concrete siding hung to emulate four inch lap siding or used as board in board and batten; masonry, but not exposed concrete block or split-face block.
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#### A. Rules for Roofs

1. The shape of replacement roofs or roofs on new construction shall imitate the shapes of roofs on neighboring existing houses or other houses of the same architectural style. Roof pitch must duplicate the 12/12 pitch most often found in the neighborhood, the roof pitch typical of the style being referenced by a new building, or the pitch of neighboring buildings. Roof shapes must be complex, using a combination of hips with gables, dormers, or where appropriate to the style, turrets, or other features that emphasize the importance of Victorian-era or Craftsman styling.
2. The eaves on additions or new buildings must have an overhang that mimics existing buildings near the property. A minimum eave overhang of at least eight inches must be retained or used on new buildings or additions to existing buildings.

#### E. Rules for Wall Coverings:

1. Synthetic siding is inappropriate and is not allowed either as replacement siding on existing buildings or new siding in new construction.
4. New construction must incorporate corner and trim boards and appropriate door and window trim to be compatible with the adjacent historic buildings.
12. Concrete siding (also called Hardi-board) is allowed on outbuildings and garages for new construction only. The material can be used like board and batten if placed vertically. Batten strips of wood must be used, however, to preserve the look of historic materials. If used like normal siding, it must have a reveal of no more than 4.25 inches.

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## Comments

Applicant received a variance for garage placement and coverage in June 2023 (6-B-23-VA).

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## Staff Findings

1. 321 Deaderick Ave is a contributing resource to the Mechanicsville National Register Historic District and local overlay.
  2. The garage and accessory dwelling unit will be placed behind the primary building at the rear of the lot. While the tax parcel extends to Cansler Ave, the lot of record is approximately 140' long; placement of the new garage will not hinder future development on Cansler Avenue. Placement of the secondary structure meets the design guidelines.
  3. The secondary structure is smaller in height and massing than the primary structure, and the Craftsman style is aligned with the primary residence. The garage doors are compatible with historic Craftsman garage/secondary structure doors.
  4. The roof pitch and detailing are compatible with the primary house. The proposed 4" fiber cement lap siding and trim and architectural shingle roof meet the design guidelines. While the design guidelines specify wood windows, in the opinion of staff, one-over-one, double-hung composite windows are appropriate for a new secondary structure.
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## Staff Recommendation

Staff recommends approval of Certificate 7-B-23-HZ as submitted.



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

R. Bentley Marlow

Applicant

3 July 2023

July 20, 2023

7-B-23-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

R. Bentley Marlow

Marlow Builders, Inc.

Name

Company

322 Douglas Avenue

Knoxville

TN

37921

Address

City

State

Zip

865-607-4357

rbentleymarlow@gmail.com

Phone

Email

## CURRENT PROPERTY INFO

Bradley Huff

321 Deaderick Ave

865-385-3139

Owner Name (if different from applicant)

Owner Address

Owner Phone

321 Deaderick Avenue

094FK020

Property Address

Parcel ID

Moses Fairview

RN2

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*

Lindsay Crockett

7.3.2023

Staff Signature

Please Print

Date

*R Bentley Marlow*

R. Bentley Marlow

3 July 2023

Applicant Signature

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: Build a detached garage with an upstairs ADU more or less on the same footprint of the previously existing detached garage that has been demolished, but footprint is still visible on KGIS maps. A covered breezeway will connect the garage to rear entry of house.

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

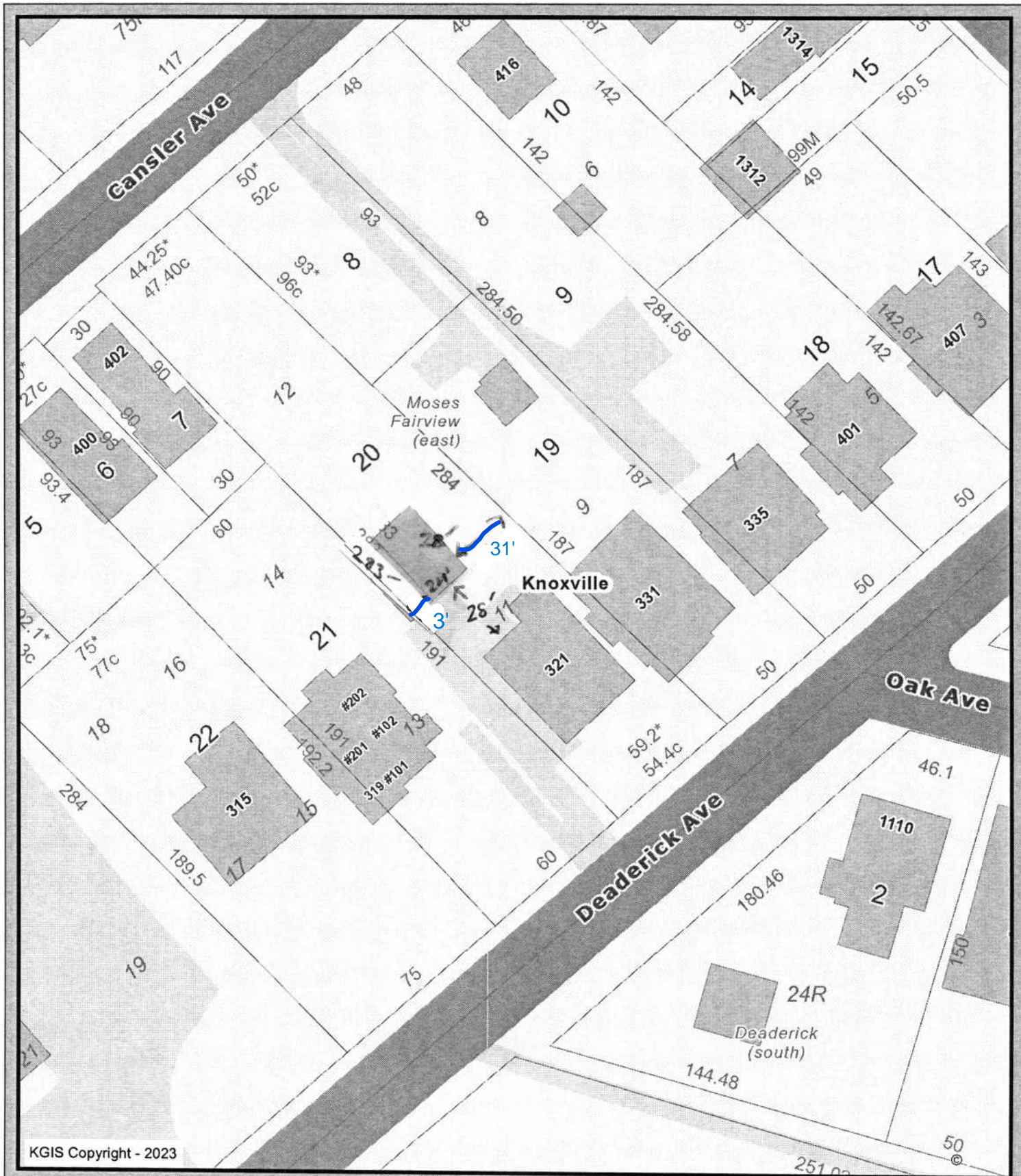
- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>		<b>TOTAL:</b> \$100.00
Level 2	100.00	
<b>FEE 2:</b>		
<b>FEE 3:</b>		



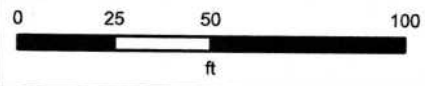
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**321 Deaderick Ave**  
 Detached Garage/ADU

**Knoxville - Knox County - KUB Geographic Information System**



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321 Deaderick Ave  
Detached Garage with ADU upstairs  
24 feet wide x 28 feet deep; 18' tall to mid-point of gable

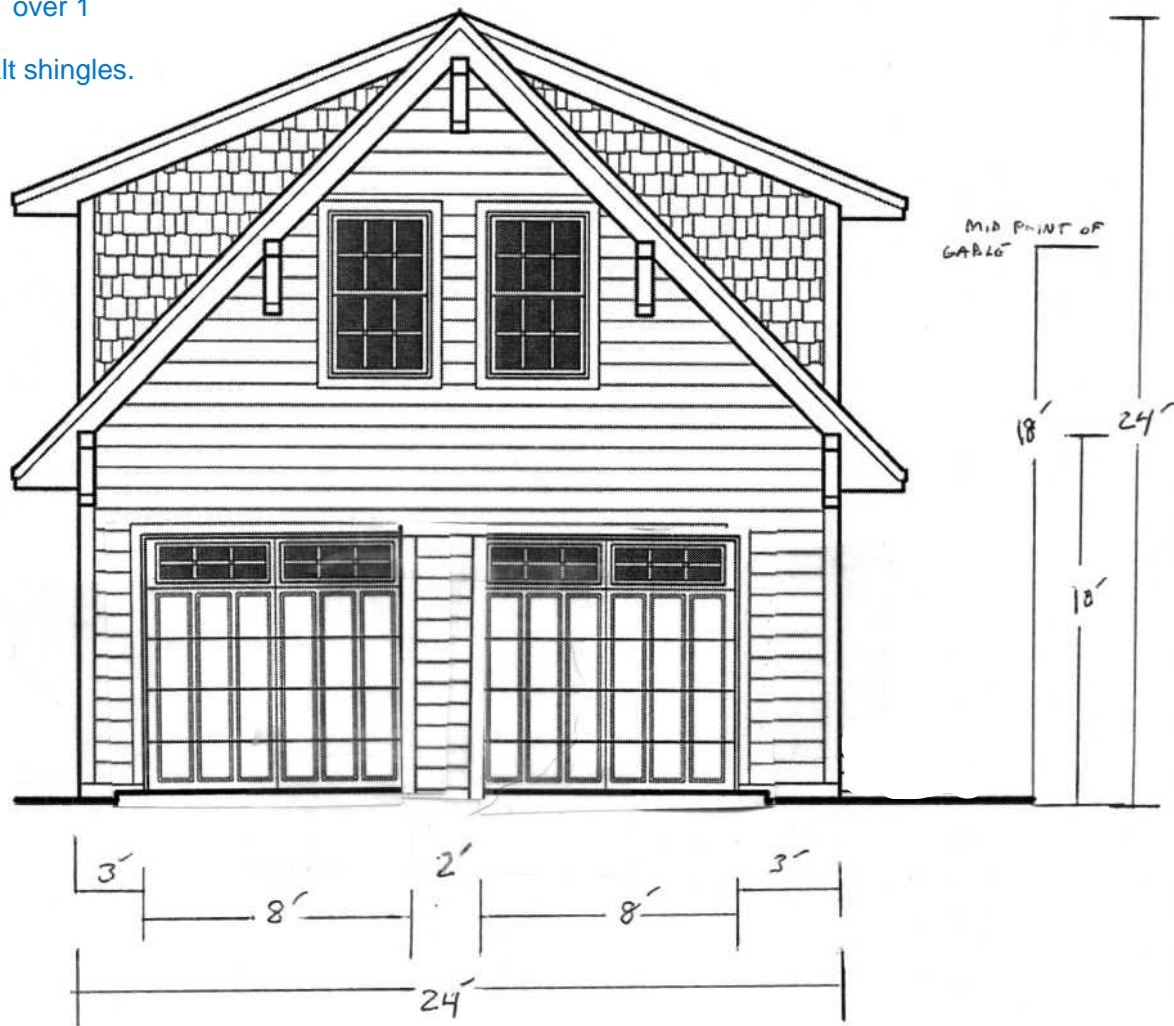
1 August 2023

Materials:

James Hardie Siding - 4" lap  
James Hardie Trim - 1x4" nominal  
Dormer Siding - James Hardie Shake Panels  
Soffits - Plybead  
Facia - James Hardie Trim 1x6" nominal  
Corbels - Pressure treated wood 4x4" nominal  
Garage Doors - Insulated steel - windows 1 over 1  
8'0" wide x 8'0" tall  
Windows - Composite Jam. 1 over 1  
2'6" wide x 4'0" tall  
Shingles - architectural asphalt shingles.

Roof Pitch

Primary Gable - 12/12  
Dormers - 4/12



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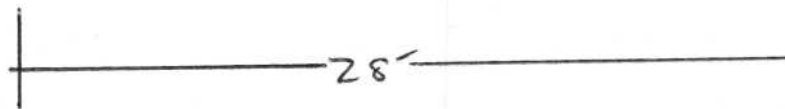
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- Soffits - Plybead
- Facia - James Hardie Trim 1x6" nominal
- Corbels - Pressure treated wood 4x4 nominal
- Man Doors - Insulated Fiberglass 3'0" x 6'8"
- Windows - Composite Jam. 1 over 1  
2'6" wide x 4'0" tall
- Shingles - architectural asphalt shingles.



SIDE ELEVATION



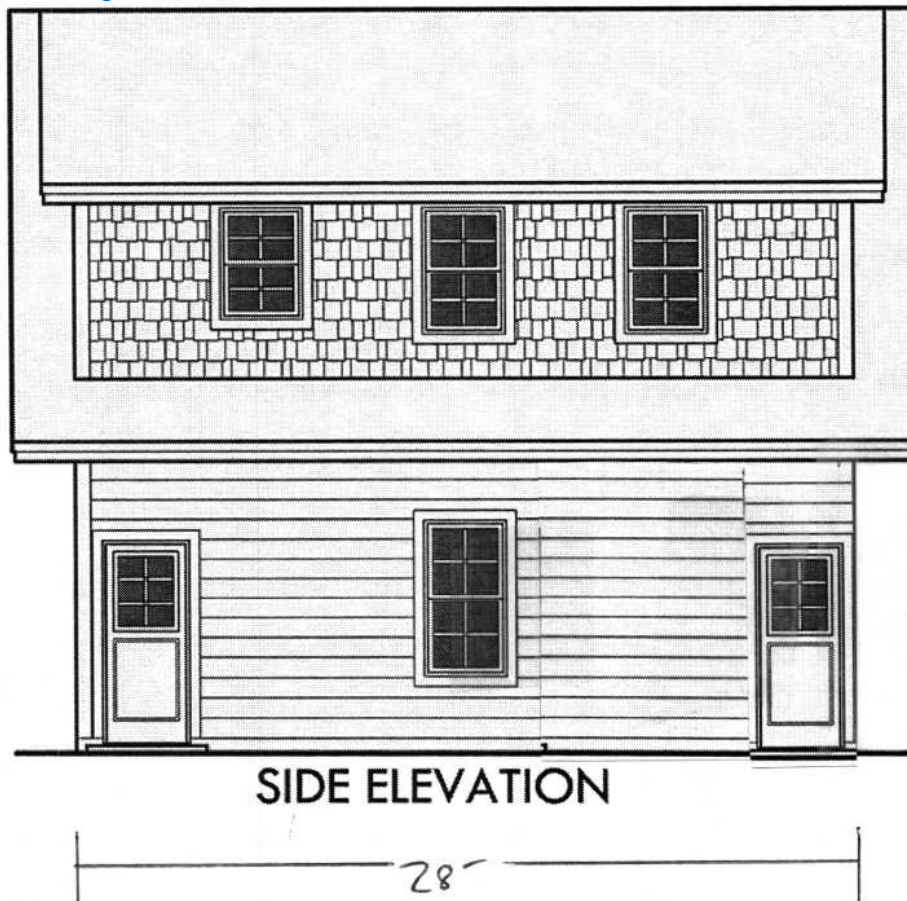


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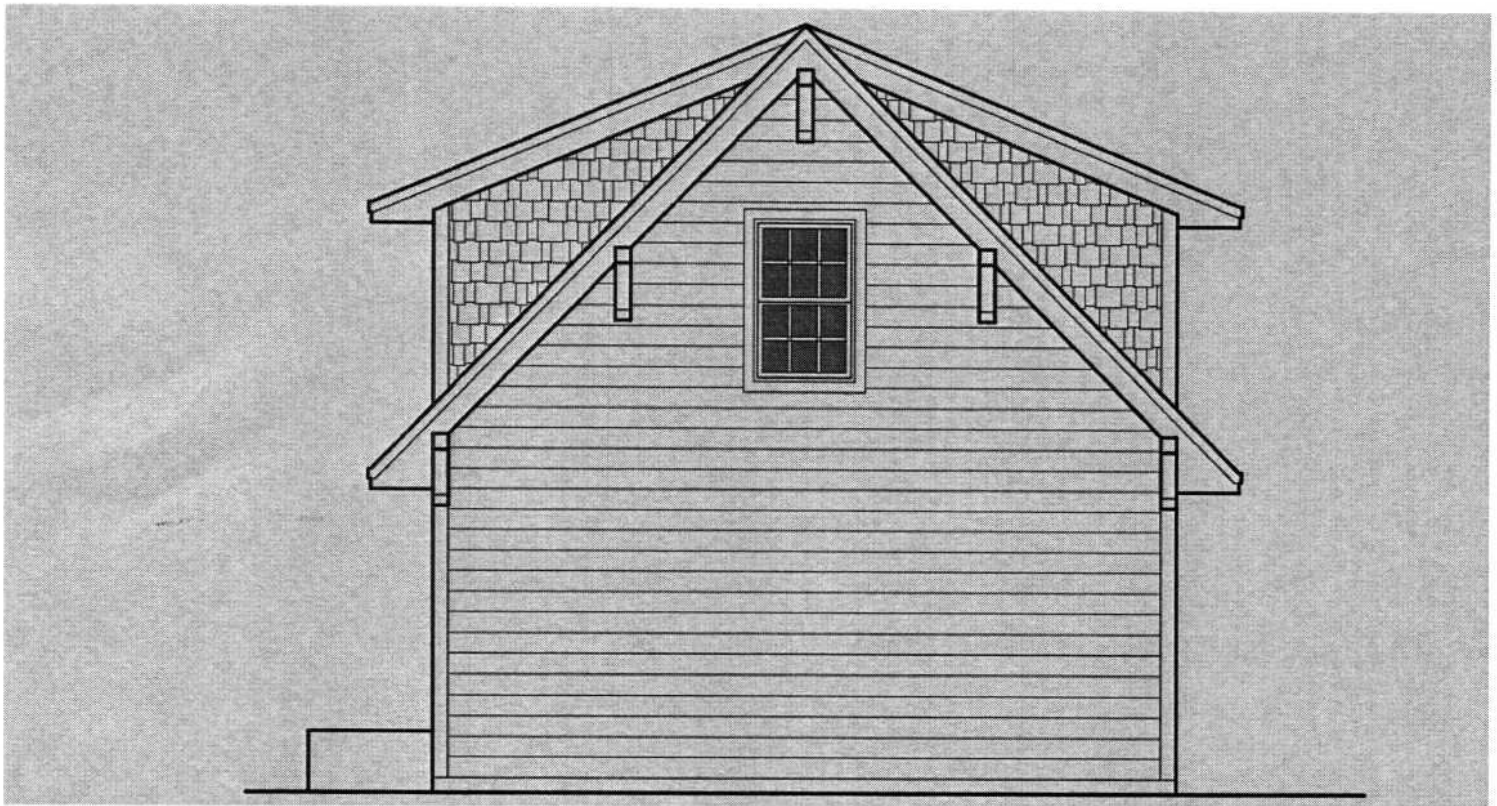
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24'