



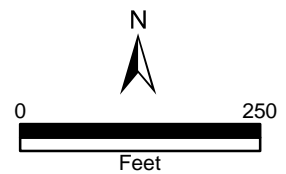
4-F-23-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



523 Scenic Dr. 37919
Scenic Drive NC

Original Print Date: 4/3/2023
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Daria Krol R2R Studio LLC





Staff Report

Knoxville Historic Zoning Commission

File Number: 4-F-23-HZ

Meeting: 4/20/2023
Applicant: Daria Krol R2R Studio LLC
Owner: Ned and Jessica Vickers

Property Information

Location: 523 Scenic Dr. **Parcel ID** 107 L F 023
District: Scenic Drive NC
Zoning: RN-1 (Single-Family Residential Neighborhood)
Description: Tudor Revival, c.1929

One-and-one-half story frame residence with a cross gable roof clad in asphalt shingles, brick veneer wall covering, and decorative half-timbering on stuccoed gables and dormer.

Description of Work

Level II Construction of Addition or Outbuilding

Exterior rehabilitation (enclosure of existing rear screened-in porch to create new internal space, and removal of bay window on north elevation); new secondary structure; new in-ground pool.

Existing screened-in porch on rear left (northwest) corner of house is proposed to be enclosed within the existing foundation and roofline, featuring 6" fiber cement lap siding, double-hung windows to match windows on existing house, and new full-light sliding glass doors on the rear elevation. The existing stone steps will be removed and replaced with a 4' by 13' wood landing and steps with Trex decking.

New in-ground pool: an 18' by 36', rectangular swimming pool will be installed to the rear of the building (west end of property), surrounded by concrete deck and to receive fencing and gate required by code.

New secondary structure: open pool pavilion, to feature a 14/12 cross-gable roof clad in asphalt shingles, with gables featuring timber details to reflect decorative half-timbering on house. Rectangular pavilion will feature 8 by 8 square wood posts and an exterior chimney clad in stone veneer.

On the north (left side) elevation, a projecting bay window will be removed. Two casement windows will be installed on the north elevation, one in the location of the bay window and one further towards the rear of the house. The openings will be infilled with new framing and new brick cladding to match the existing.

Applicable Design Guidelines

Scenic Drive NC-1 Design Guidelines, adopted by the Knoxville City Council on September 26, 2006.

New Construction - Primary Buildings, Additions and Accessory Buildings

6. New additions and constructions shall conform to the prevailing widths and heights of typical facades of adjacent houses. The footprint of new additions and constructions should be in character and proportion with contributing neighboring houses, even if originally platted lots have been combined into larger lots. Detached accessory

buildings shall be proportional to the house in height and size.

9. The recommended location for additions is to the rear or side of existing buildings. Additions to the front of buildings are strongly discouraged because they obscure the original architectural designs. Front additions are not appropriate for contributing structures. If additions are to be made to the side elevations of existing buildings, they should be located at least five feet behind the front facade of the existing building.

10. Detached accessory buildings, including carports and detached garages, should be located at least fifteen feet to the rear of the front facade line and no nearer than five feet to a side or rear lot line. In size, they should not exceed the building footprint of the principal building and should be consistent in scale with the primary building on the lot.

11. The design of additions, accessory buildings, including carports, and modifications, in particular the front facade of the house, should be consistent with the character of the main structure.

12. If an addition or modification is made to an existing house, the wall cladding material should match or complement those on the existing house. Traditional combinations such as wood clapboard or wood shingle siding additions on brick or stone primary structures are acceptable if matching materials cannot be secured. The roofing material for additions and modifications should match the existing roofing material.

Windows

1. The size of window openings on the front and any visible side facades should be consistent with the design of the new building and with other houses of similar architectural design.

2. High quality fixed grid windows should be used. Snap-in grid windows should not be used. Simulated divided light windows with fixed external muntins or mullions are encouraged.

3. Proportion and style of windows shall be appropriate to the design type. Replacement windows are encouraged to duplicate the look and quality of the original. Palladium style windows should not be used unless in keeping with the original character of the house.

Site Design

1. New buildings and additions shall be designed to set into the landscape with a minimum of reshaping to the topography and loss of mature trees.

5. The maximum lot coverage of impermeable features such as paving, roofs, pools, patios, and other features shall be minimized as much as possible, in order not to create excessive run-off.

Comments

N/A

Staff Findings

1. 523 Scenic Drive is a contributing resource to the Scenic Drive NC overlay.

2. The screened-in porch to be enclosed is located on the northwest corner and obscured from view on Towanda Trail by the existing garage. This scope of work will not be visible from any right-of-way. The porch is a non-historic addition, and the footprint will not be expanded. The materials to enclose the porch will be compatible with the existing house.

3. The projecting bay window to be removed is not an original feature to the house. The window is located on the north elevation, an interior side elevation obscured from view by large trees. The proposed side windows to be installed will contribute additional transparency to the side elevation, and be compatible with the existing windows.

4. The new pool pavilion will be proportionate in scale to the primary structure, and placement at the rear corner of the lot meets the design guidelines. The transparent nature of the pavilion structure will reduce the visual impact. The steeply-pitched roof and timber detailing align the pavilion with the primary structure.

5. The new pool will be minimally visible from the street, obscured by a new fence. Minor site plan revisions are necessary to bring the pool into accordance with 10.3.Z of the City zoning code ("no swimming pool or part thereof ... may be located in a corner side yard.") The pool needs to be shifted or reduced in side so that the south side is flush with the building line. Minor site plan revisions could be approved by staff.

Staff Recommendation

Staff recommends approval of Certificate 4-F-23-HZ, subject to one condition: 1) swimming pool to meet relevant aspects of City zoning code, with minor modifications to the site plan to be approved by staff.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

R2R studio, llc

Applicant

03.30.2023

04.20.2023

4-F-23-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Daria Krol

R2R studio. llc

Name

Company

2575 Willow Point Way, Suite 105

Knoxville

TN

37931

Address

City

State

Zip

865.769.8075

dkrol@r2rstudio.com

Phone

Email

CURRENT PROPERTY INFO

Ned and Jessica Vickers

523 Scenic Drive

865.804.5507

Owner Name (if different from applicant)

Owner Address

Owner Phone

523 Scenic Drive

107LF023

Property Address

Parcel ID

Sequoyah Hills

RN-1, NC overlay

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

4.3.23

Staff Signature

Please Print

Date

Daria Krol

Daria Krol

03.30.2023

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: There is an addition of the pool and pool pavilion planned. Also, the existing screened porch will be enclosed and the bay window on the north side of the house will be removed. The bay window will be replaced with two single windows, and the rest of the wall be filled in with matching brick.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
100.00		
FEE 2:		
FEE 3:		

523 Scenic Drive – project description

The project at 523 Scenic Drive will encompass two areas - back yard and minor modifications to the residence.

Addition of the new pool and open pool pavilion is planned for the back yard. A simple, rectangular pool is planned with minimum amount of pool deck.

The pool pavilion is an open structure with a stone fireplace centered on the pool and an outdoor kitchen on one side. The columns of the pavilion will be stained timber, and the ceiling will be tongue & groove boards. The roof matches the pitch of the residence roof, and the timber brackets in the gable end mimic the boards on the house.

The existing screened porch, located at the north-west corner of the house (see attached pictures) will be enclosed to provide a better/closer connection between the house and the new outdoor spaces. It will receive a new sliding door and new windows, matching existing, and lap siding with the trim mimicking the house. Roof and foundation will remain. Existing stone steps will be removed and replaced with new, wide Trex stairs.

The existing bay window on the north elevation (see attached pictures) was added and is not original to the house. It will be removed and two single windows will be added in its place to improve the kitchen layout inside. The remaining wall will receive the brick that will match existing.

523 Scenic Drive



Scenic Drive (East) Eleva. on



Towanda Trail (South) Elevation



Right Side (North) Elevation – bay window to be removed

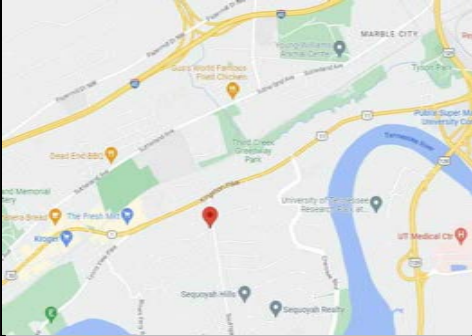


Right Side and Rear (North and South) Elevations – Screened Porch to be enclosed

Project Architect

R2L studio, llc
2575 Willow Point Way
Suite 105
Knoxville, TN 37931
865.769.8075 v.
865.769.8076 f.

Project Site



Project Consultants

Project Summary & Applicable Codes

Project: Renovation For: Vickers Residence
Project Location: 523 Scenic Drive
Knoxville, TN 37919
Owner:
Owner Contact:
Architect: Scott E. Osborn, AIA, 865.769.8075
Property Zoning: RN-1, Sequoyah Hills Historic District
Property Area:
Proposed Parking:
Applicable Codes:
2018 International Residential Code

Revisions

No.	Description	Date

Additions & Renovations To: Vickers Residence

523 Scenic Drive Knoxville, Tennessee



drawing index:

- architectural:
- a0.1 General Information
 - a1.1 Architectural Site Plan
 - a1.2 Pavilion - Floor Plan, Reflected Ceiling Plan, Roof Plan, Elevations, Building Section
 - a2.1 Mail Level Floor Plan, Demolition Plan, Exterior Elevations

Project Number: 2022-103
Project Issue Date: February 9, 2023
Project Set: 100% Construction Documents
Set No. _____
Vickers Residence
523 Scenic Drive
Knoxville, Tennessee
Additions & Renovations To:

Symbols:	
	EARTH
	CRUSHED STONE
	CONC. MASONRY UNIT
	BRICK
	STONE
	FERROUS MATERIALS
	CONCRETE - PRECAST
	CONC. - CAST-IN-PLACE
	PLYWOOD
	WOOD - ROUGH
	WOOD - FINISH
	INSULATION - BATT
	INSULATION - RIGID
	GYPSUM BOARD
	ACOUSTICAL TILE
	CERAMIC TILE
	PLASTER/ EIFS
	CARPET
	SURFACE ELEV. (PLAN)
	LEVEL LINE (ELEV / SECTION)
	BLDG / WALL SECTION
	DETAIL SHEET REFERENCE
	EXTERIOR ELEVATIONS
	INTERIOR ELEVATIONS
	DOOR # = ROOM NUMBER + LETTER IF MORE THAN ONE DOOR
	ROOM # AND NAME
	WINDOW TYPE AND NAME
	REVISION # AND DATE
	ENLARGED DETAIL
	SLOPE OR DIRECTION INDICATOR

Abbreviations:			
#	AND	ID.	INSIDE DIAMETER
AT	@	INC.	INCORPORATED
A.B.	ANCHOR BOLT	INSUL.	INSULATION
ACOUCL.	ACOUSTICAL	INT.	INTERIOR
ADJ.	ADJUSTABLE	JT.	JOINT
A.F.F.	ABOVE FINISHED FLOOR	KT.	KITCHEN
AGGR.	AGGREGATE	L.	LEFT OR LENGTH
APPROX.	APPROXIMATE	LAMB.	LAMBERT
ARCH.	ARCHITECT	LAW.	LAWYER
AUX.	AUXILIARY	LT.	LIGHT
BD.	BOARD	MAS.	MASONRY
BLDG.	BUILDING	MAX.	MAXIMUM
BLK.G.	BLOCKING	M.C.	MECHANICAL CONTRACTOR
BN.	BULLNOSE	M.E.P.	MEAN DISTRIBUTION PANEL
BTM.	BOTTOM	MCHL.	MECHANICAL
BMT.	BASEMENT	MNL.	MINIMUM
CAB.	CABINET	MIR.	MIRROR
CANT.	CANTILEVER	MISC.	MISCELLANEOUS
CEM.	CEMENT	M.O.	MASONRY OPENING
CR.	CERAMIC	MTD.	MOUNTED
CL.	CENTERLINE	MFL.	METAL
C.L.G.	CILING	MFR.	MANUFACTURER
CL.C.	CALLING	MHL.	MULLION
CLO.	CLOSET	N.	NORTH
C.O.	CASED OPENING	N.L.C.	NOT IN CONTACT
COL.	COLUMN	NO. OR #	NUMBER
CONC.	CONCRETE	NOM.	NOMINAL
CONC.BLK.	CONCRETE BLOCK	N.T.S.	NOT TO SCALE
CONCT.	CONSTRUCTION	O.C.	ON CENTER
CONT.	CONTINUOUS	O.D.	OUTSIDE DIAMETER
CONTR.	CONTRACTOR	OPNG.	OPENING
COBR.	CORRIDOR	P.	PLASTIC
CP.	CARPET	PART.	PARTITION
CPT.	CARPET TILE	PLAS.	PLASTER
CR.	CERAMIC TILE	PNL.	PANEL
C.R.	CHAIR RAIL	PL.	PLATE
CTR.	CENTER	PLAM.	PLASTIC LAMINATE
CV.	COVE	PLYWD.	PLYWOOD
D.	DEPTH	FR.	PAIR
DBL.	DOUBLE	P.T.	PRESSURE TREATED
DEPT.	DEPARTMENT	PRNTR.	PRINTER
DIAM.	DIAMETER	PTD.	PAINTED
DIM.	DIMENSION	R.	RADII
DN.	DOWN	RAD.	RADIUS
D.O.	DOOR OPENING	REF.	REFRIGERATOR
DWG.	DRAWINGS	RENF.	REINFORCE
DWR.	DRAWER	REL.	RELOCATE
D.W.	DRYWALL	REQD.	REQUIRED
E.	EAST	RM.	ROOM
EA.	EACH	R.O.P.	ROUGH OPENING
E.I.	EXHAUST FAN	S.	SOUTH
E.C.	ELECTRICAL CONTRACTOR	S.C.	SOLID CORE
E.I.	EXPANSION JOINT	SCHED.	SCHEDULE
ELEV.	ELEVATION	SECT.	SECTION
ELEC.	ELECTRICAL	S.H.	SIAT HEIGHT
EMER.	EMERGENCY	SHL.	SHOWN
ENCL.	ENCLOSURE	SHT.	SHEET
E.P.	ELECTRICAL PANEL	SHT.MTL.	SHEET METAL
EQ.	EQUAL	SHR.	SHOWER
EQUIP.	EQUIPMENT	SIM.	SIMILAR
EXP.	EXPANSION	SEC.	SPECIFICATION
EXT.	EXTERIOR	SQ.	SQUARE
EXIST.	EXISTING	SQFT.	SQUARE FEET
F.D.	FLOOR DRAIN	S.S.	STAINLESS STEEL
FD.	FOUNDATION	STD.	STANDARD
FIN.	FINISH	STOR.	STORAGE
FLR.	FLOOR	STRUC.	STRUCTURAL
FLUOR.	FLUORESCENT	SYM.	SYMMETRICAL
F.O.C.	FACE OF CONCRETE	T.	THERMOSTAT
F.O.F.	FACE OF FINISH	T&G	TONGUE & GROOVE
F.O.S.	FACE OF STUDS	T.B.	TOWEL BAR
F.L.	FULL SIZE	TEL.	TELEPHONE
FT.	FOOT OR FEET	T.O.F.	TOP OF FOOTING
FTG.	FOOTING	T.V.	TELEVISION
FURR.	FURRING	TYR.	TYPICAL
FUT.	FUTURE	U.N.O.	UNLESS NOTED OTHERWISE
GA.	GAUGE	V.	VINYL
G.C.	GENERAL CONTRACTOR	VAR.	VARIABLE
G.C.	GENERAL	V.T.B.	VENT THRU ROOF
G.I.	GALVANIZED IRON	VERT.	VERTICAL
GL.	GLASS	W.	WEST
G.W.B.	GYPSUM WALL BOARD	W/	WITH
GYP.	GYPSUM	WC.	WATER CLOSET
GYP.L.	GYPSUM LATH	WMTD.	WALL MOUNTED
GRO.	GROING	WD.	WOOD
H.	HEIGHT	WH.	WATER HEATER
H.B.	HOSE BB	WIN.	WINDOW
H.C.	HOLLOW CORE	W/O	WITHOUT
H.M.	HOLLOW METAL	WP.	WATER PROOF
HDWR.	HARDWARE	WSCF.	WAINSCOT
H.M.F.	HOLLOW METAL FRAME	WT.	WEIGHT
HORIZ.	HORIZONTAL	W	WIDTH

General Notes:	
1.	ALL WORK SHALL CONFORM WITH THE LOCAL BUILDING CODE, LOCAL ZONING CODES, WITH RECOMMENDATIONS, ORDINANCES AND ALL OTHER APPLICABLE CODES, RULES AND REGULATIONS ALL IN THEIR LATEST EDITION OR ALL AUTHORITIES HAVING JURISDICTION OVER WORK OF THIS TYPE.
2.	ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERRABLE FROM THE CONTRACT DOCUMENTS, DRAWINGS, AND SPECIFICATIONS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DRAWINGS AND SPECIFICATIONS, IF PROVIDED, ARE DIRECTED TO THE ATTENTION OF THE CONTRACTOR AND THE NEGLIGENCE IN ANY WORK OR OMISSION, NOTE, DETAIL, DIMENSION OR SPECIFICATION, HOWEVER BRIEF MEANS THAT THE CONTRACTOR SHALL PROVIDE AND INSTALL SAME. ALL WORK PERFORMED SHALL INCLUDE ALL NECESSARY MATERIALS AND APPARATUS. NORMALLY REFERRED TO BE A PART OF A COMPLETE PACKAGE NOTING THE IDENTIFICATION OF NORMAL INDUSTRY STANDARDS. EACH SUB TRADE SHALL BE RESPONSIBLE FOR REVIEWING INTERNAL SET OF DRAWINGS AND NOTING HIS WORK AS APPLICABLE.
3.	ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR AND PAID FOR BY THE SUB-CONTRACTOR IN ALL FIELDS OF HIS WORK, AND HE SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTIONS AND APPROVALS OF HIS WORK. PRIME BUILDING PERMITS SHALL BE OBTAINED BY THE GENERAL CONTRACTOR. UNLESS OTHERWISE NOTED, SUPERVISION OR DESIGN REVIEW APPROVAL ARE THE RESPONSIBILITY OF THE OWNER.
4.	ALL WORK COMPLETED OR OTHERWISE, SHALL BE PROPERLY PROTECTED AT ALL TIMES. CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICES AND PROVIDE ALL FENCES, BARRICADES, ETC. AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY AND AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THIS WORK. CONTRACTOR SHALL REPAIR, AT HIS OWN COST, ANY DAMAGE TO THE PREMISES OF ADJACENT WORK CAUSED BY HIS OPERATION.
5.	THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING THROUGH INSPECTION OF THE SITE AND REVIEW OF THE DRAWINGS AND SPECIFICATIONS WHERE PROVIDED, SO AS TO THOROUGHLY UNDERSTAND THE WORK. ANY AND ALL DISCREPANCIES AND OMISSIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. IF IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT DISCREPANCIES AND OMISSIONS ARE REPORTED AND CLARIFICATIONS OBTAINED FROM THE ARCHITECT PRIOR TO WORK BEING DONE, ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED WITH THE COST FOR SAME BEING BORNE BY THE CONTRACTOR.
6.	THE CONTRACTOR SHALL LEAVE ALL CHAIRS, HIBLER OR DRINKING TRAY AND OF PROPER SIZE IN HIS OWN WORK, OR CUT SAME IN EXISTING WORK AS MAY BE NECESSARY FOR PROPER INSTALLATION OF HIS OWN OR OTHER CONTRACTOR'S WORK, CONSULTING WITH OTHER CONTRACTORS CONCERNED REGARDING PROPER LOCATION AND SIZE OF SAME. IN CASE OF HIS FAILURE TO LEAVE OR CUT SAME IN THE PROPER PLACE, HE SHALL CUT THEM AFTERWARDS AT HIS OWN EXPENSE. NO EXCESSIVE CUTTING WILL BE PERMITTED TO SHALL ANY STRUCTURAL MEMBER BE CUT WITHOUT THE CONSENT OF THE ARCHITECT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, SEAL, AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER OR THE ARCHITECT.
7.	ALL CONTRACTOR'S WORK SHALL BE REFINISHED WITH A FIRST CLASS WORKMANSHIP STANDARD, MATCHING AND ADJOINING ALL SURFACES WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT AND RESIDUE CAUSED BY ITEMS FROM ALL INSTALLATION THROUGHOUT OF THE TRADE. ALL ADJOINING SURFACES TO THEIR WORK SHALL BE LEFT AS THEY APPEAR PRIOR TO THE COMMENCEMENT OF THE CONTRACTOR'S WORK TO BE DONE. CONTRACTOR SHALL PROPERLY PROTECT ALL ADJOINING SURFACES DURING THE COURSE OF HIS INSTALLATION. ALL GLASS AND HARDWARE SHALL BE THOROUGHLY CLEANED IN A MANNER ACCEPTABLE TO THE OWNER.
8.	CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS PRIOR TO BIDDING AND SHALL BE FAMILIAR WITH ALL ASPECTS OF THE JOB. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
9.	ALL MATERIALS SHALL BE APPLIED OR USED ACCORDING TO THE MANUFACTURER'S PRESCRIBED INSTRUCTION.
10.	CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE HEATING AND COOLING OF THE ENTIRE BUILDING. THE TEMPERATURE THROUGHOUT THE SPACE SHALL NOT VARY MORE THAN TWO DEGREES AT ANY TIME OF THE YEAR. CONTRACTOR SHALL MAKE CERTAIN THAT THERE ARE NO SHORTS, HOT, OR COOL SPOTS IN ANY AREA OF THE BUILDING.
11.	SYSTEM TO BE SEQUENCED FOR: SUMMER 75 20 WINTER 70 0 20
12.	PROVIDE ALL NEW WORKS AS INDICATED, SPECIFIED OR REQUIRED BY PRODUCT FINISH. OBTAIN LEGAL ELECTRICAL SYSTEM CONFORMING TO THE BEST STANDARD OF WORKMANSHIP. ALL ELECTRICAL WORK SHALL CONFORM TO THE NEC AND LOCAL ORDINANCES HAVING JURISDICTION. REFER TO THE ELECTRICAL DRAWINGS.
13.	CONCRETE, EXCEPT IN UNFINISHED AREAS, SHALL BE BURNED SO AS TO COME BELOW FINISHED FLOORS AND CONCEALED IN WALLS OR CEILINGS AND RUN TO CLEAR ALL OPENINGS IN FLOORS AND AIR CONDITIONING DUCTS ETC.
14.	ALL THERMOSTATS TO BE 4'-6" AFF.
15.	ALL SWITCHES TO BE 4'-6" AFF. UNLESS OTHERWISE NOTED. ALL OUTLETS AT 1'-6" AFF. UNLESS OTHERWISE NOTED.
16.	ALL WATER LINE PER CODE. WATER PIPING TO BE SCHEDULE 40 PIPE UNLESS OTHERWISE NOTED.
17.	ALL EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL MATERIALS, LABOR AND EQUIPMENT TO BE GUARANTEED FOR ONE (1) YEAR.
18.	COORDINATE ALL WORK WITH OTHER TRADES. CONNECT ALL WASTE AND WATER TO ALL EQUIPMENT. REMOVE ALL DELETED EQUIPMENT AND MATERIALS.
19.	PROVIDE INDIVIDUAL CHROME STOPS AT EACH FIXTURE. ALL EXPOSED PIPING TO BE CHROME PLATED UNLESS NOTED OTHERWISE.
20.	ALL PIPING TO BE INSULATED AND PROTECTED FROM FREEZING.
21.	ALL WALLS SHALL BE PROPERLY PREPARED (SCABBLED, SANDED, ETC.) FOR PAINTING OR WALLCOVERING AS PER MFG. SPECIFICATIONS.
22.	PROVIDE METAL FLASHING AS REQUIRED AT ALL ROOF INTERSECTIONS ETC., TO PROVIDE WATERKIGHT CONDITION.
23.	ALL STRUCTURAL LUMBER TO BE 1200 FR. SOUTHERN YELLOW PINE (CONSTRUCTION GRADE) UNLESS OTHERWISE APPROVED BY ARCHITECT.
24.	EXTEND VENT STACKS AS REQUIRED THRU ROOF AND PROVIDE 6" LEAVES PLACED MIN. 6" ONTO ROOF ALL AROUND. PROVIDE FLASHING AS REQUIRED.
25.	PROVIDE METAL JOIST AND BEAM ANCHORS, HANGERS, BRACETS, OR CONNECTORS AT ALL POINTS OF FLUSH OF SURFACES PARALLEL TO THE DIRECTION OF THE FRAMING.
26.	PROVIDE DOUBLE FRAMING AROUND ALL OPENINGS THROUGH WALL, FLOORS, ROOFS, ETC., OR UNDER PARTITIONS PARALLEL TO THE DIRECTION OF THE FRAMING.
27.	PLYWOOD FOR WALL SHEATHING TO BE 1/2" AND 5/8" FOR ROOFS, UNLESS OTHERWISE NOTED. EXTERIOR GRADE C (EXT. DRIP) (H) (OR EQUAL).
28.	HOT WATER HEATERS) TO BE PROVIDED WITH OVERFLOW DRAIN PAN.
29.	ALL STORM WATER SHOULD BE DIRECTED AWAY FROM STRUCTURE UNDERGROUND IN 4" DIA. DRAINAGE PIPES. ALL UNDERGROUND FITTINGS SHALL BE AT NO GREATER THAN 45 DEGREE ANGLE.
30.	SOIL UNDER ALL SLABS AND AROUND THE PERIMETER OF STRUCTURE SHALL BE TREATED TO RESIST TERMITTE INFESTATION. TREAT LUMBER TO RESIST TERMITTE INFESTATION AS PER MANUFACTURER'S SPECIFICATIONS.



DATE: February 9, 2023
 FILE NAME: vickers_01
 PROJECT NO: 2022-103
 DRAWING TITLE:
 General Information

REVISIONS:	

Additions and Renovations to:
Vickers Residence
 523 Scenic Drive
 Knoxville, Tennessee

SHEET NO.
a0.1



DATE: February 9, 2023
FILE NAME: vickers_111
PROJECT NO.: 2022-103

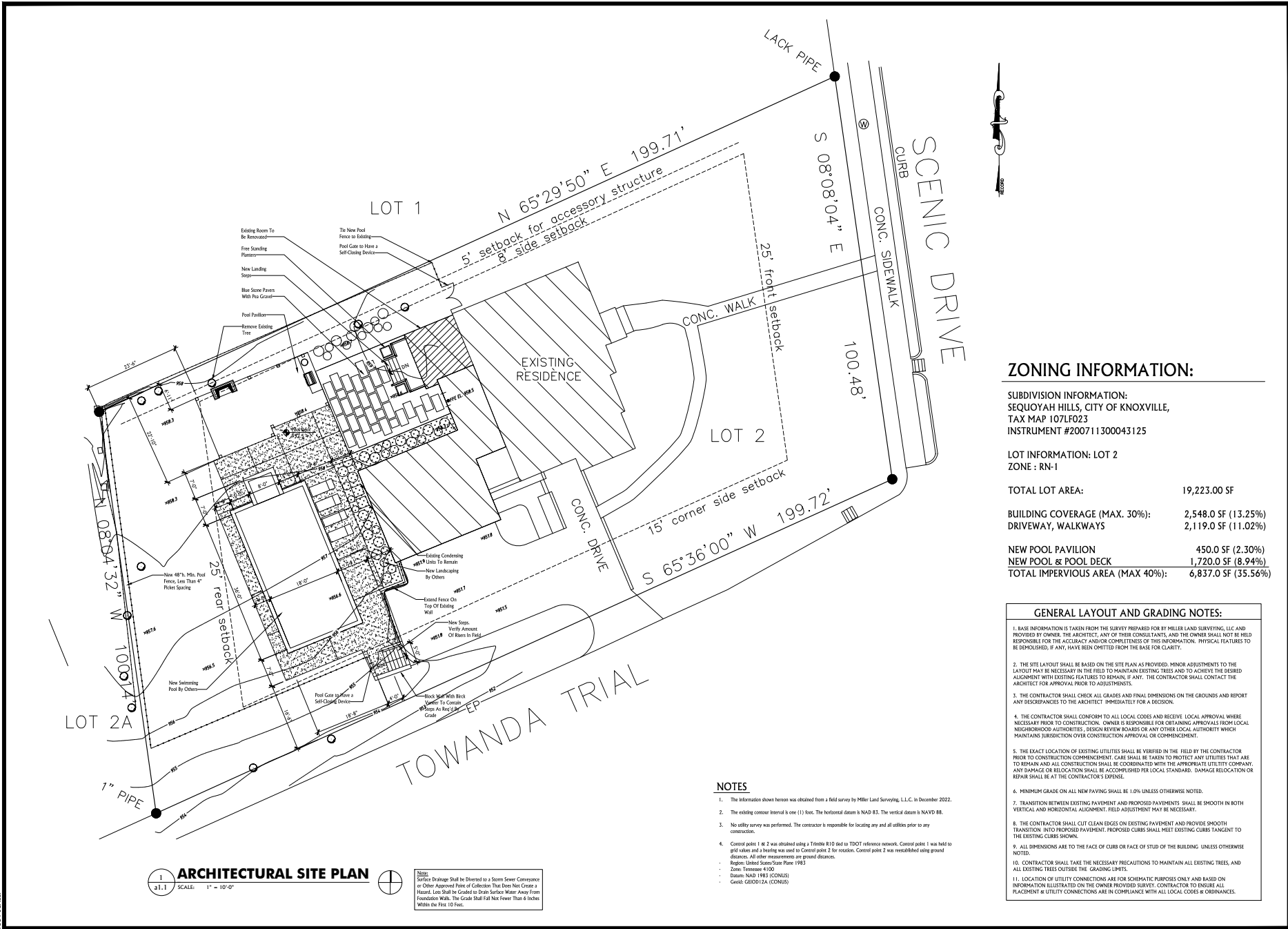
DRAWING TITLE:
Architectural Site Plan

REVISIONS:

Additions and Renovations to:
Vickers Residence
523 Scenic Drive
Knoxville, Tennessee

SHEET NO.

a1.1



ZONING INFORMATION:

SUBDIVISION INFORMATION:
SEQUOYAH HILLS, CITY OF KNOXVILLE,
TAX MAP 107LF023
INSTRUMENT #200711300043125

LOT INFORMATION: LOT 2
ZONE : RN-1

TOTAL LOT AREA:	19,223.00 SF
BUILDING COVERAGE (MAX. 30%):	2,548.0 SF (13.25%)
DRIVEWAY, WALKWAYS	2,119.0 SF (11.02%)
NEW POOL PAVILION	450.0 SF (2.30%)
NEW POOL & POOL DECK	1,720.0 SF (8.94%)
TOTAL IMPERVIOUS AREA (MAX 40%):	6,837.0 SF (35.56%)

- GENERAL LAYOUT AND GRADING NOTES:**
1. BASE INFORMATION IS TAKEN FROM THE SURVEY PREPARED FOR BY MILLER LAND SURVEYING, LLC AND PROVIDED BY OWNER, THE ARCHITECT, ANY OF THEIR CONSULTANTS, AND THE OWNER SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION. PHYSICAL FEATURES TO BE DEMOLISHED, IF ANY, HAVE BEEN OMITTED FROM THE BASE FOR CLARITY.
 2. THE SITE LAYOUT SHALL BE BASED ON THE SITE PLAN AS PROVIDED. MINOR ADJUSTMENTS TO THE LAYOUT MAY BE NECESSARY IN THE FIELD TO MAINTAIN EXISTING TREES AND TO ACHIEVE THE DESIRED ALIGNMENT WITH EXISTING FEATURES TO REMAIN, IF ANY. THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR APPROVAL PRIOR TO ADJUSTMENTS.
 3. THE CONTRACTOR SHALL CHECK ALL GRADINGS AND FINAL DIMENSIONS ON THE GROUNDS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR A DECISION.
 4. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE LOCAL APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION. OWNER IS RESPONSIBLE FOR OBTAINING APPROVALS FROM LOCAL NEIGHBORHOOD AUTHORITIES, DESIGN REVIEW BOARDS OR ANY OTHER LOCAL AUTHORITY WHICH MAINTAINS JURISDICTION OVER CONSTRUCTION APPROVAL OR COMMENCEMENT.
 5. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCEMENT. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES THAT ARE TO REMAIN AND ALL CONSTRUCTION SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. ANY DAMAGE OR RELOCATION SHALL BE ACCOMPLISHED PER LOCAL STANDARD. DAMAGE RELOCATION OR REPAIR SHALL BE AT THE CONTRACTOR'S EXPENSE.
 6. MINIMUM GRADE ON ALL NEW PAVING SHALL BE 1.0% UNLESS OTHERWISE NOTED.
 7. TRANSITION BETWEEN EXISTING PAVEMENT AND PROPOSED PAVEMENTS SHALL BE SMOOTH IN BOTH VERTICAL AND HORIZONTAL ALIGNMENT. FIELD ADJUSTMENT MAY BE NECESSARY.
 8. THE CONTRACTOR SHALL CUT CLEAN EDGES ON EXISTING PAVEMENT AND PROVIDE SMOOTH TRANSITION INTO PROPOSED PAVEMENT. PROPOSED CURBS SHALL MEET EXISTING CURBS TANGENT TO THE EXISTING CURBS SHOWN.
 9. ALL DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF STUD OF THE BUILDING UNLESS OTHERWISE NOTED.
 10. CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO MAINTAIN ALL EXISTING TREES, AND ALL EXISTING TREES SHALL BE THE GRADING LIMITS.
 11. LOCATION OF UTILITY CONNECTIONS ARE FOR SCHEMATIC PURPOSES ONLY AND BASED ON INFORMATION ILLUSTRATED ON THE OWNER PROVIDED SURVEY. CONTRACTOR TO ENSURE ALL PLACEMENT & UTILITY CONNECTIONS ARE IN COMPLIANCE WITH ALL LOCAL CODES & ORDINANCES.

- NOTES**
1. The information shown herein was obtained from a field survey by Miller Land Surveying, L.L.C. in December 2022.
 2. The existing contour interval is one (1) foot. The horizontal datum is NAD 83. The vertical datum is NAVD 88.
 3. No utility survey was performed. The contractor is responsible for locating any and all utilities prior to any construction.
 4. Control points 1 & 2 was obtained using a Trimble R10 set to TDOT reference network. Control point 1 was held to grid values and a bearing was used in Control point 2 for location. Control point 2 was reestablished using ground distances. All other measurements are ground distances.
 - Region: United States/State: Tennessee
 - Zone: Tennessee 4100
 - Datum: NAD 1983 (CONUS)
 - Grid: GCS03/12A (CONUS)

1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

NOTE:
Surface Drainage Shall be Diverted to a Storm Sewer Conveyance or Other Approved Point of Collection That Does Not Create a Hazard. Lots Shall be Graded to Drain Surface Water Away From Foundation Walls. The Grade Shall Fall Not Fewer Than 6 Inches Within the First 10 Feet.

NOT SCALE



DATE: February 9, 2023
FILE NAME: vickers a12
PROJECT NO: 2022-103

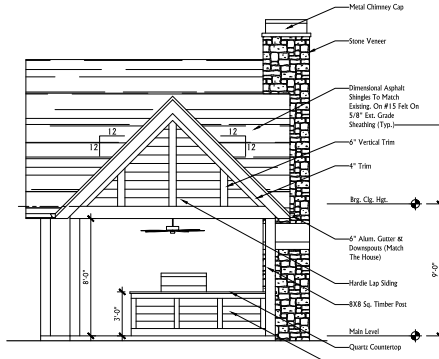
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Pavilion Plans & Elevations

REVISIONS:

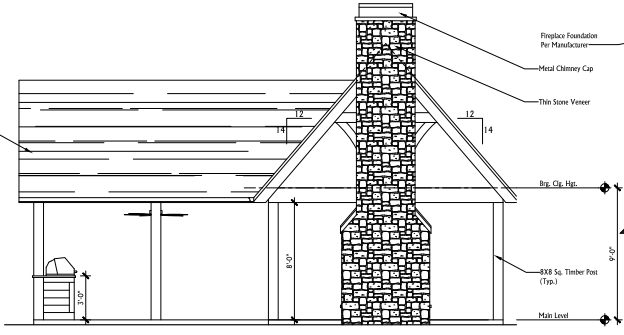
Additions and Renovations to:
Vickers Residence
523 Scenic Drive
Knoxville, Tennessee

SHEET NO.

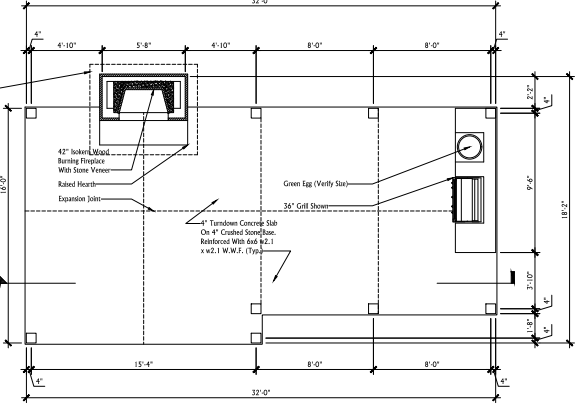
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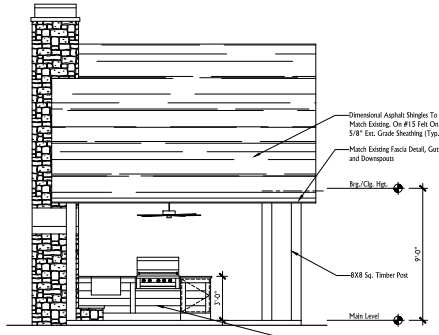
4 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



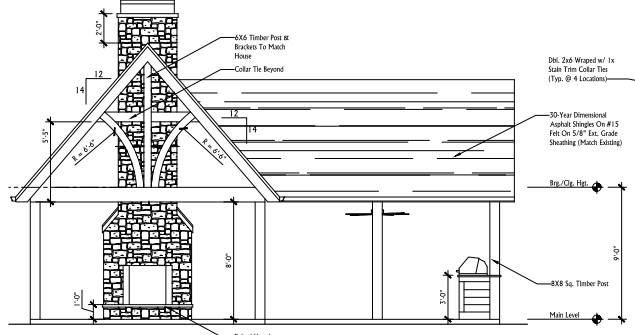
5 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



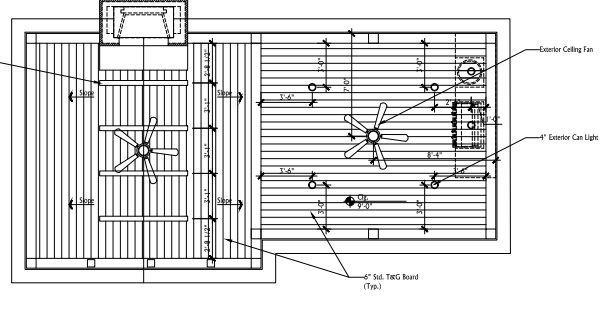
1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



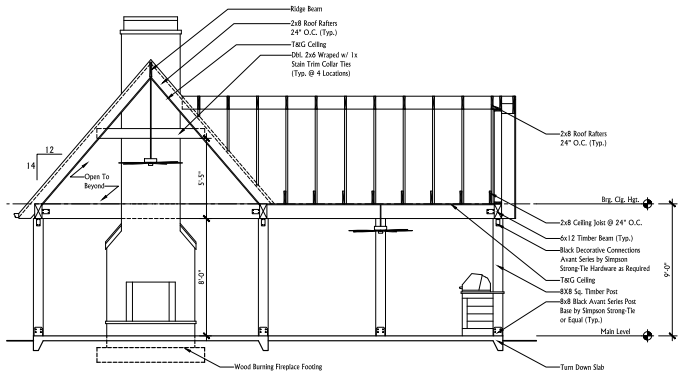
6 REAR ELEVATION
SCALE: 1/4" = 1'-0"



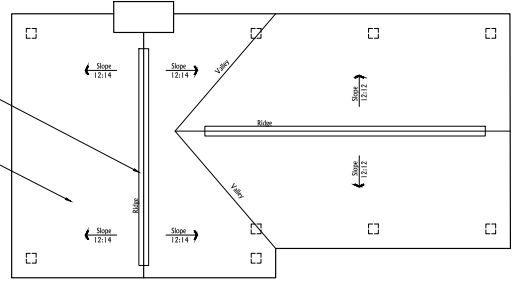
7 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



8 BUILDING SECTION
SCALE: 1/4" = 1'-0"

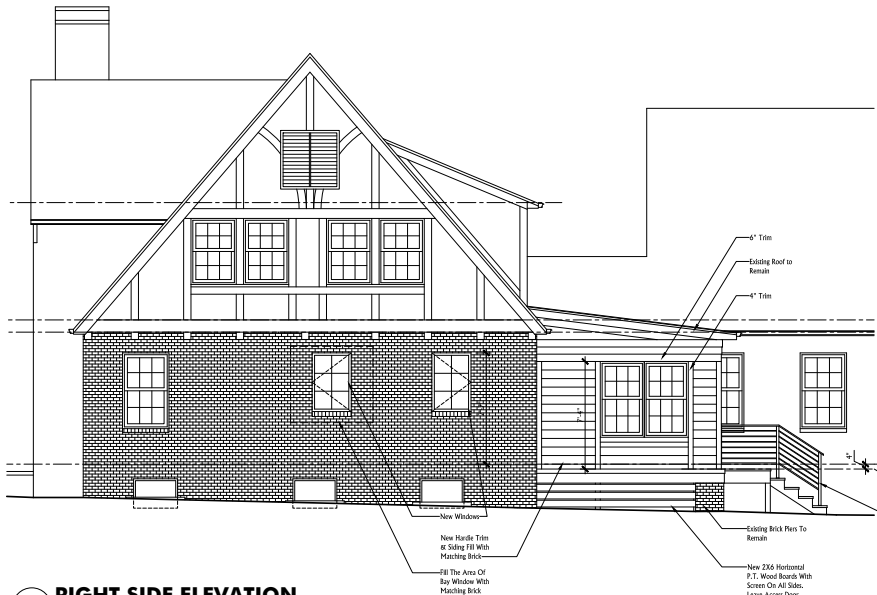


3 ROOF PLAN
SCALE: 1/4" = 1'-0"

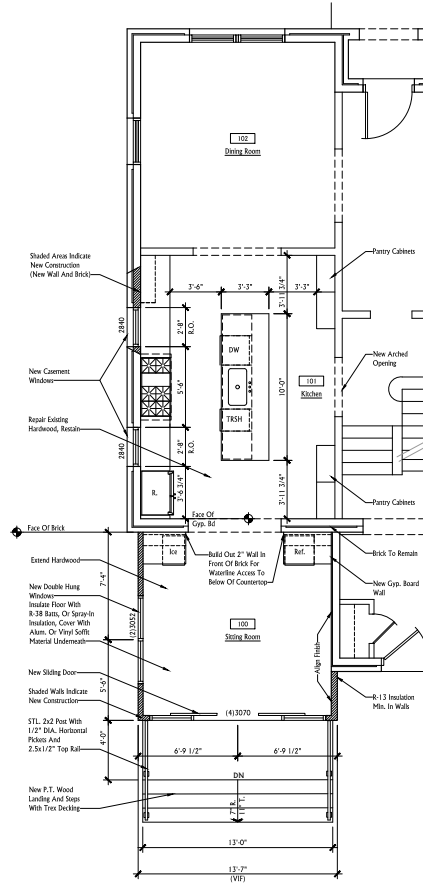
PLOT SCALE:



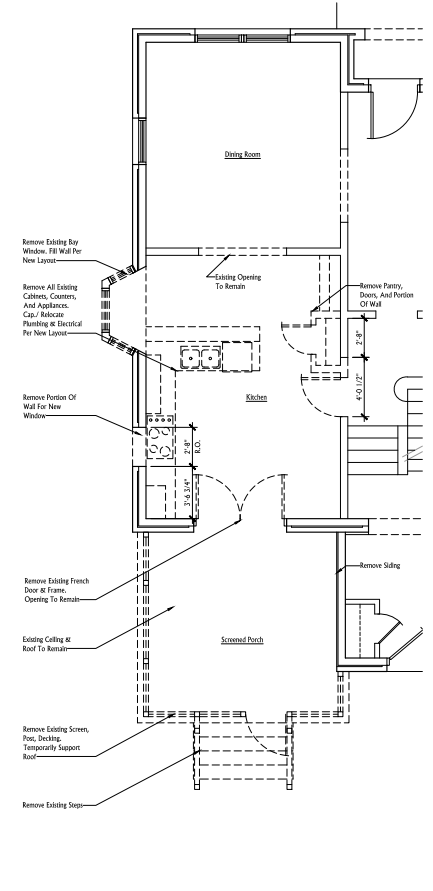
3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



REVISIONS:
