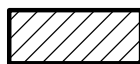


9-B-22-HZ

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1014 Eleanor St. 37917

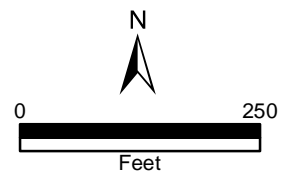
Fourth and Gill H

Original Print Date: 9/7/2022
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Evan Tishuk



**HISTORIC
 ZONING
 COMMISSION**





Staff Report

Knoxville Historic Zoning Commission

File Number: 9-B-22-HZ

Meeting: 9/15/2022
Applicant: Evan Tishuk
Owner: Evan Tishuk

Property Information

Location: 1014 Eleanor St. **Parcel ID:** 81 M J 009
District: Fourth and Gill H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Craftsman, c.1910

One-story residence with a side-gable roof clad in asphalt shingles, an exterior of brick veneer, and a stuccoed foundation. Decorative half-timbering in gable fields. Centrally-located, front-gable roof porch supported by brick columns. Three-over-one, double-hung wood windows.

Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation: renovation of attic level of house to create conditioned interior space. Exterior scope of work is limited to repair and restoration of existing double-hung wood windows (new upper sash to replace non-historic louvered vent on one window), and the installation of two new Velux egress roof windows (casements which open outward). Velux windows will be located on the rear roof slope and measure 22" by 47".

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Roofs

5. Do not use solar collectors, modern skylights, or inappropriate structures on roof planes that are visible from the street. Do not install them where they interfere with decorative roof elements. If they are installed, they should not comprise more than 3% of the total roof surface.

Windows

2. Original windows should be reused. It will be much less expensive and much better historically to retain the original windows.
4. If replacement windows are necessary, they should be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width and profile. False muntins or grinds should not be used.

Comments

N/A

Staff Findings

1. 1014 Eleanor Street is a contributing resource to the Fourth & Gill National Register Historic District and local overlay.

2. The proposed skylight windows do not require removal of historic features or decorative roof elements. They will not be visible from the street. Repair and reconstruction of the original side elevation windows meet the design guidelines.

Staff Recommendation

Staff recommends approval of Certificate 9-B-22-HZ as submitted.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Evan Tishuk

Applicant

08-25-2022

September 15th 2022

9-B-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Evan Tishuk

Name

Company

1014 Eleanor Street

Knoxville

TN

37917

Address

City

State

Zip

864-650-1161

evan@tishuk.com

Phone

Email

CURRENT PROPERTY INFO

1014 Eleanor St

864-650-1161

Owner Name (if different from applicant)

Owner Address

Owner Phone

1014 Eleanor Street

081MJ009

Property Address

Parcel ID

Fourth & Gill

Historic

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

8.26.22

Staff Signature

Please Print

Date

Evan Tishuk

08/25/2022

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: **Attic renovation** _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL: 100.00
100.00		
FEE 2:		
FEE 3:		

1014 Eleanor Street Attic / Loft Renovation

Overview

Attached are the detailed plans for finishing/renovating the attic space of our home. We hope the architectural drawings and annotations will answer most questions, however, here are some highlights and additional notes.

- Original windows on north and south-facing gables will be preserved, restored, and repaired where necessary.
- 2 new Velux egress roof windows will be deck-mounted (22" x 47") on the west-facing slope of the roof. This side faces the alley behind the house.
- The ceilings over the Main Bathroom (area = 73 sf) and the Dressing Room & Laundry (area = 160 sf) will be insulated with closed cell spray foam insulation between the new 2x6 rafters to achieve R38. The combined area of those two spaces is 233 sf which is 15% of the house ceiling area
- Drawings include a proposed roof assembly. Please disregard. A subsequent assessment estimated the existing roof still has 10-12 years of useful life remaining, and we've decided to leave it in place until a later time. We will likely use the attached plan to guide our future roofing decisions.



Facing north. View of proposed room and bath area. Note the left upper window was replaced with a louvered vent. This will be replaced with a newly fabricated matching window.



Facing south. Note: left window is removed and covered. This is being used as the template for the replacement to be installed on the north side.



Proposed stairs and landing will run north-to-south in alignment with the access port photographed here.

AN ATTIC RENOVATION FOR THE STATON-TISHUK RESIDENCE

Owner Review Set

the historic Fourth & Gill Neighborhood
Knoxville, Tennessee

STATON TISHUK RESIDENCE

ATTIC RENOVATION

the historic Fourth & Gill
Neighborhood

Knoxville, Tennessee

client:
Meg Staton & Evan Tishuk
1014 Eleanor Street
Knoxville, TN 37917

architect:
 OPEN DOOR
ARCHITECTURE

800 Luttrell Street
Knoxville, Tennessee 37917
www.opendoorarchitecture.com

project contact:
Sean Martin : 865.386.8909

structural engineer:
FE Design & Engineering, P.C.
Mary French-Ewers, P.E., S.E.
865.216.8960

21005

date:
April 27, 2022
drawing purpose:
client review
revisions:

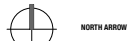
A1.0

cover sheet, symbols legend,
historic zoning information,
general zoning information, and
codes

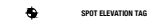
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NORTH ARROW



SPOT ELEVATION TAG



BREAK MARK



STRUCTURAL GRID AND IDENTIFICATION #



SLOPE INDICATOR



ELEVATION TAG



SECTION TAG



DETAIL CALL-OUT

ZONING:

This property zoned by the City of Knoxville as (RN-2 / H-1) single-family residential neighborhood zoning district / historic overlay zoning district

Permitted uses & structures: (only uses addressed in this drawing set are listed): single-family dwelling, accessory structures

Required setbacks: All buildings shall be set back from the street right-of-way lines and lot lines to comply with the following yard requirements:

front : 20'-0", or the average of blockface, whichever is less (not less than 10'-0")
side : 5'-0" or 15% of the lot width, whichever is less (not less than 15'-0" combined)
rear : 25'-0"

Maximum lot coverage : buildings coverage : 30%, impervious surface : 40%

Height Regulations: maximum building height : 35'-0"

LOT COVERAGE AND BUILDING AREA WILL NOT CHANGE; NO VARIANCE WILL BE REQUIRED

All renovations must adhere to the adopted Fourth & Gill Historic District Design guidelines. A Certificate of Appropriateness **must be obtained** from the Historic Zoning Commission. Contact Lindsay Crockett (865-215-3795) for information on how to apply for a certificate of appropriateness.

Property Address: 1014 Eleanor Street, Knoxville, TN 37917
Parcel ID: 061 MJ 009

All General Contractor and Sub-Contractor construction work shall be carried out in accordance with the following codes that have been adopted by the City of Knoxville:

- 2018 (IRC) International Residential Code
- 2018 (IBC) International Building Code
- 2018 (IPC) International Plumbing Code
- 2018 (IMC) International Mechanical Code
- 2018 (IFGC) International Fuel Gas Code
- 2017 (NEC) National Electrical Code
- 2018 (IFC) International Fire Code

f05 codes

- A1.0** cover sheet, symbols legend, general zoning information, historic zoning information, and codes
- A1.1** first floor plan
- A1.2** second floor plan and second floor reflected ceiling & electrical plan
- A1.3** basement structural reinforcement plan and general notes
- A1.4** floor framing plan - second floor
- A1.5** roof plan, roof framing plan, and roof section detail & insulation calculation

a24 symbols legend

a20 general zoning information

a12 historic zoning information

a05 drawing index

24 | 23 | 22 | 21 | 20 | 19 | 18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 09 | 08 | 07 | 06 | 05 | 04 | 03 | 02 | 01

STATON TISHUK RESIDENCE

ATTIC RENOVATION

the historic Fourth & Gill
Neighborhood
Knoxville, Tennessee

client:
Mig Staton & Evan Tishuk
1014 Eleanor Street
Knoxville, TN 37917

architect:
 **OPEN DOOR
ARCHITECTURE**

800 Luttrell Street
Knoxville, Tennessee 37917
www.opendoorarchitecture.com

project contact:
Sean Martin : 865.386.8909

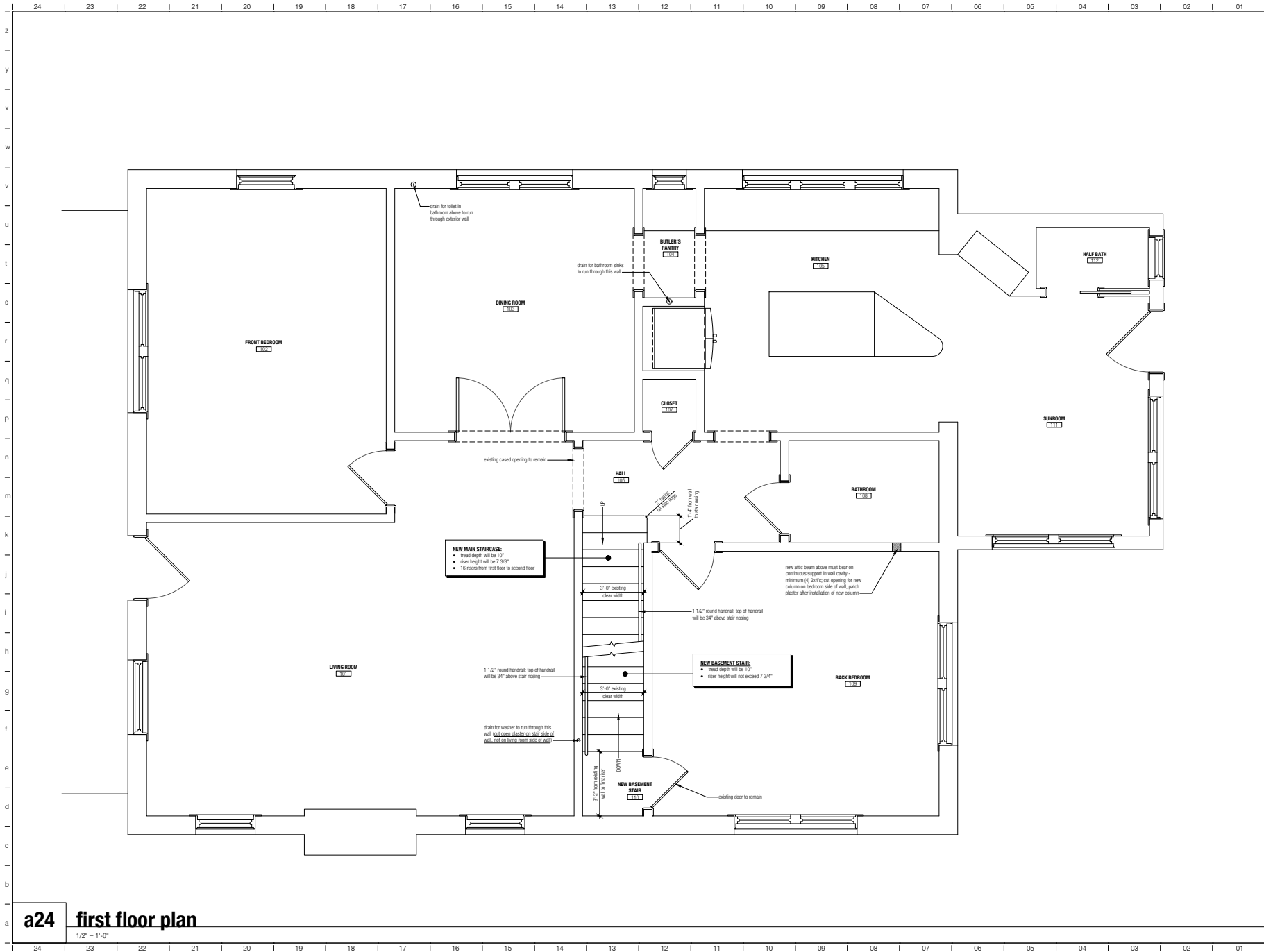
structural engineer:
FE Design & Engineering, P.C.
Mary French-Ewers, P.E., S.E.
865.216.8960

21005

date:
April 27, 2022
drawing purpose:
client review
revisions:

A1.1

first floor plan



a24 first floor plan

STATON TISHUK RESIDENCE

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the historic Fourth & Gill Neighborhood

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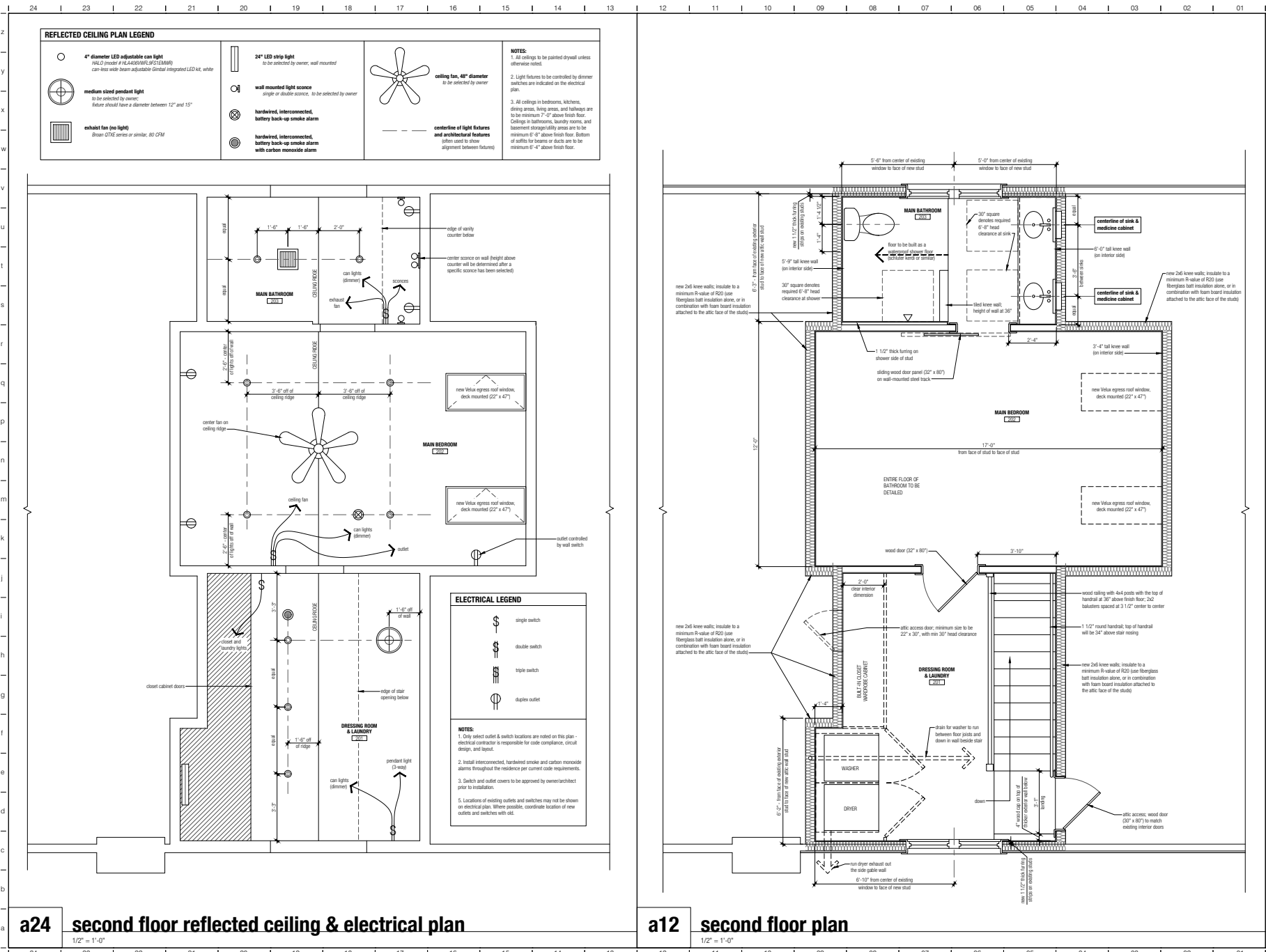
date:
April 27, 2022

drawing purpose:
client review

revisions:

A1.2

second floor plan and second floor reflected ceiling & electrical plan



a24 second floor reflected ceiling & electrical plan

1/2" = 1'-0"

a12 second floor plan

1/2" = 1'-0"

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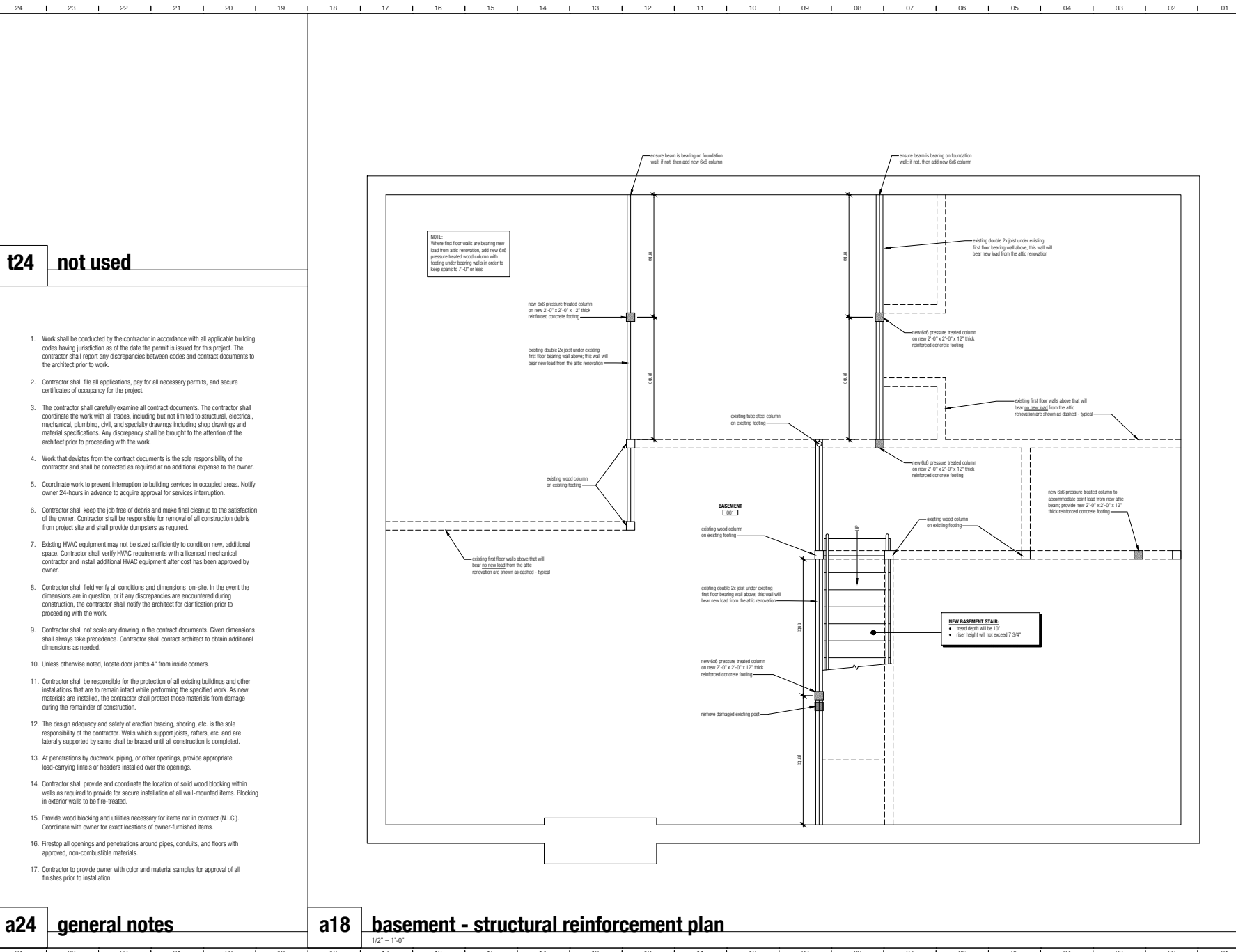
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April 27, 2022

drawing purpose:
client review

revisions:

A1.3

basement - structural reinforcement plan and general notes



t24 not used

1. Work shall be conducted by the contractor in accordance with all applicable building codes having jurisdiction as of the date the permit is issued for this project. The contractor shall report any discrepancies between codes and contract documents to the architect prior to work.
2. Contractor shall file all applications, pay for all necessary permits, and secure certificates of occupancy for the project.
3. The contractor shall carefully examine all contract documents. The contractor shall coordinate the work with all trades, including but not limited to structural, electrical, mechanical, plumbing, civil, and specialty drawings including shop drawings and material specifications. Any discrepancy shall be brought to the attention of the architect prior to proceeding with the work.
4. Work that deviates from the contract documents is the sole responsibility of the contractor and shall be corrected as required at no additional expense to the owner.
5. Coordinate work to prevent interruption to building services in occupied areas. Notify owner 24-hours in advance to acquire approval for services interruption.
6. Contractor shall keep the job free of debris and make final cleanup to the satisfaction of the owner. Contractor shall be responsible for removal of all construction debris from project site and shall provide dumpsters as required.
7. Existing HVAC equipment may not be sized sufficiently to condition new, additional space. Contractor shall verify HVAC requirements with a licensed mechanical contractor and install additional HVAC equipment after cost has been approved by owner.
8. Contractor shall field verify all conditions and dimensions on-site. In the event the dimensions are in question, or if any discrepancies are encountered during construction, the contractor shall notify the architect for clarification prior to proceeding with the work.
9. Contractor shall not scale any drawing in the contract documents. Given dimensions shall always take precedence. Contractor shall contact architect to obtain additional dimensions as needed.
10. Unless otherwise noted, locate door jacks 4" from inside corners.
11. Contractor shall be responsible for the protection of all existing buildings and other installations that are to remain intact while performing the specified work. As new materials are installed, the contractor shall protect those materials from damage during the remainder of construction.
12. The design adequacy and safety of erection bracing, shoring, etc. is the sole responsibility of the contractor. Walls which support joists, rafters, etc. and are laterally supported by same shall be braced until all construction is completed.
13. At penetrations by ductwork, piping, or other openings, provide appropriate load-carrying lintels or headers installed over the openings.
14. Contractor shall provide and coordinate the location of solid wood blocking within walls as required to provide for secure installation of all wall-mounted items. Blocking in exterior walls to be fire-treated.
15. Provide wood blocking and utilities necessary for items not in contract (N.I.C.). Coordinate with owner for exact locations of owner-furnished items.
16. Firestop all openings and penetrations around pipes, conduits, and floors with approved, non-combustible materials.
17. Contractor to provide owner with color and material samples for approval of all finishes prior to installation.

a24 general notes

a18 basement - structural reinforcement plan

1/2" = 1'-0"

STATON TISHUK RESIDENCE

ATTIC RENOVATION

the historic Fourth & Gill
Neighborhood

Knoxville, Tennessee

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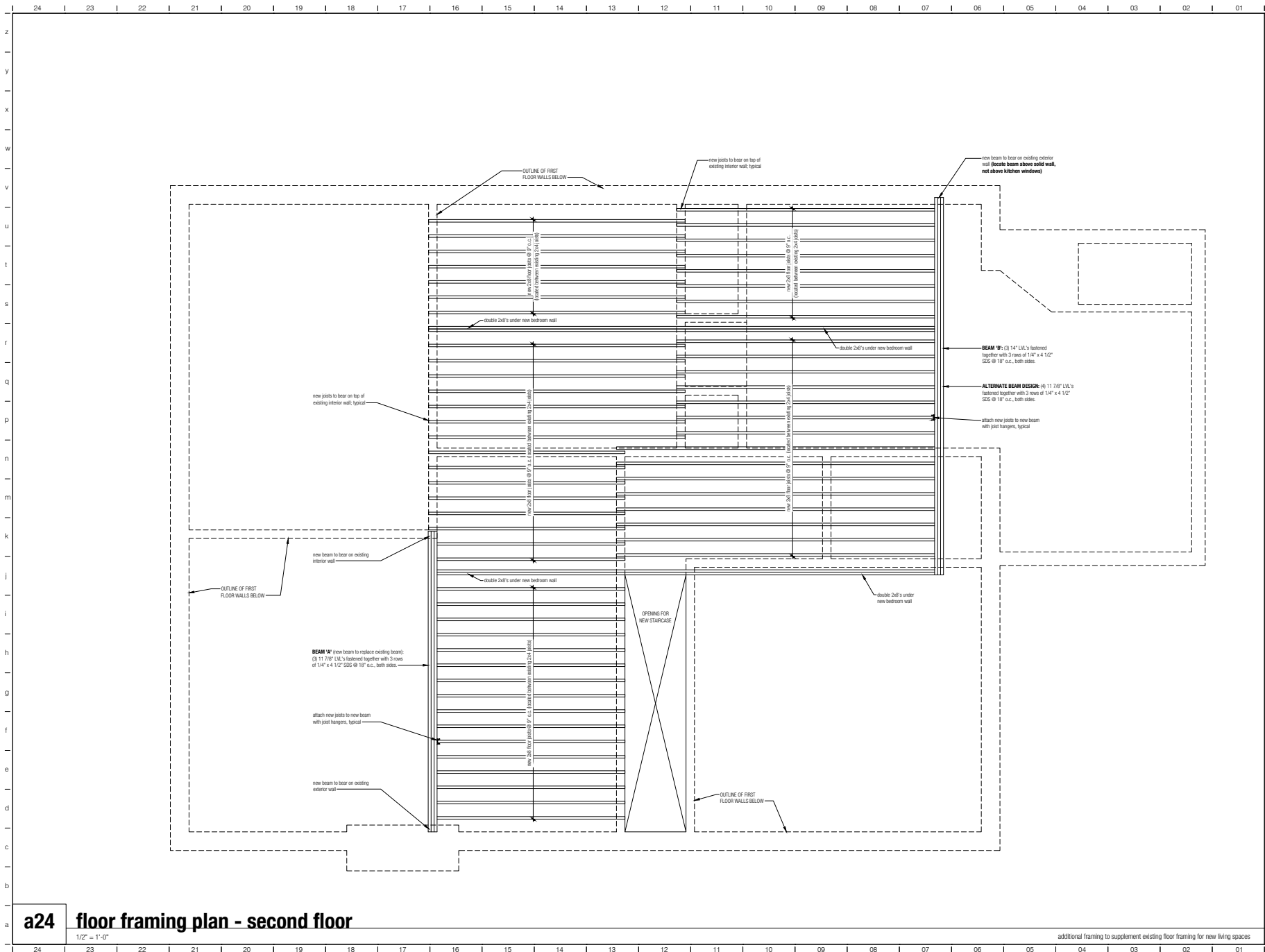
structural engineer:
FE Design & Engineering, P.C.
Mary French-Ewers, P.E., S.E.
865.216.8960

21005

date:
April 27, 2022
drawing purpose:
client review
revisions:

A1.4

floor framing plan - second floor



a24 floor framing plan - second floor

1/2" = 1'-0"

additional framing to supplement existing floor framing for new living spaces

STATON TISHUK RESIDENCE

ATTIC RENOVATION

the historic Fourth & Gill Neighborhood
Knoxville, Tennessee

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Knoxville, TN 37917

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Knoxville, Tennessee 37917
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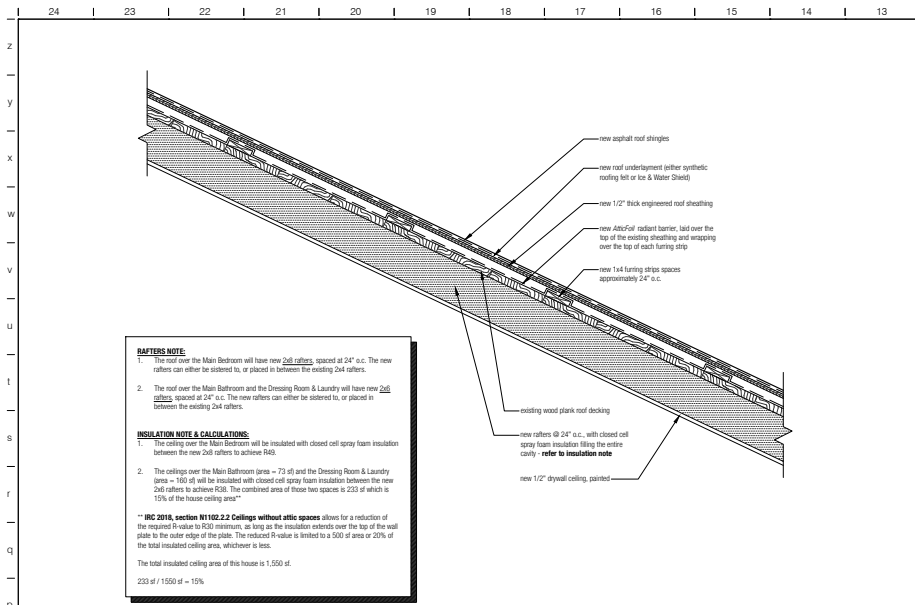
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April 27, 2022

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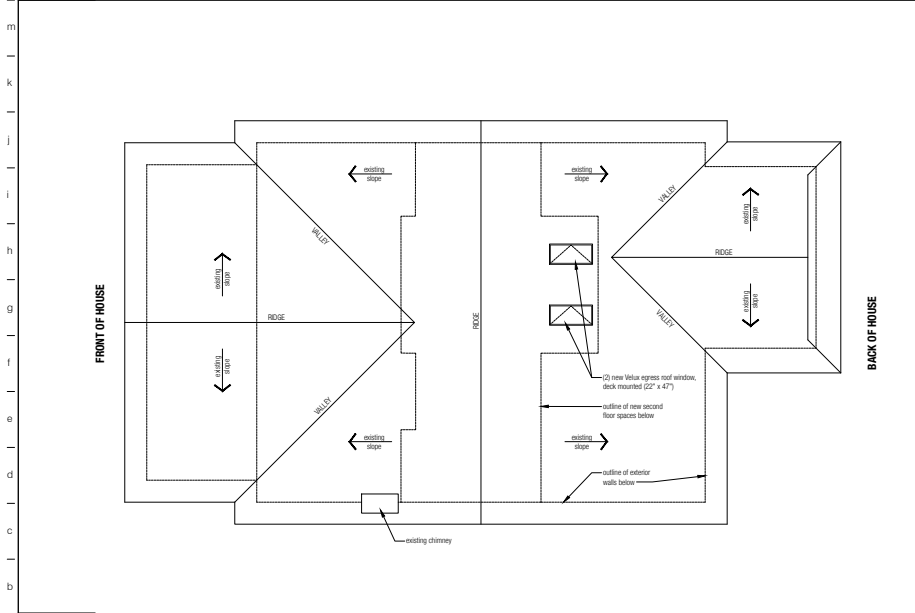
roof plan, roof framing plan, and roof section detail & insulation calculation



n24 roof section detail & insulation calculation

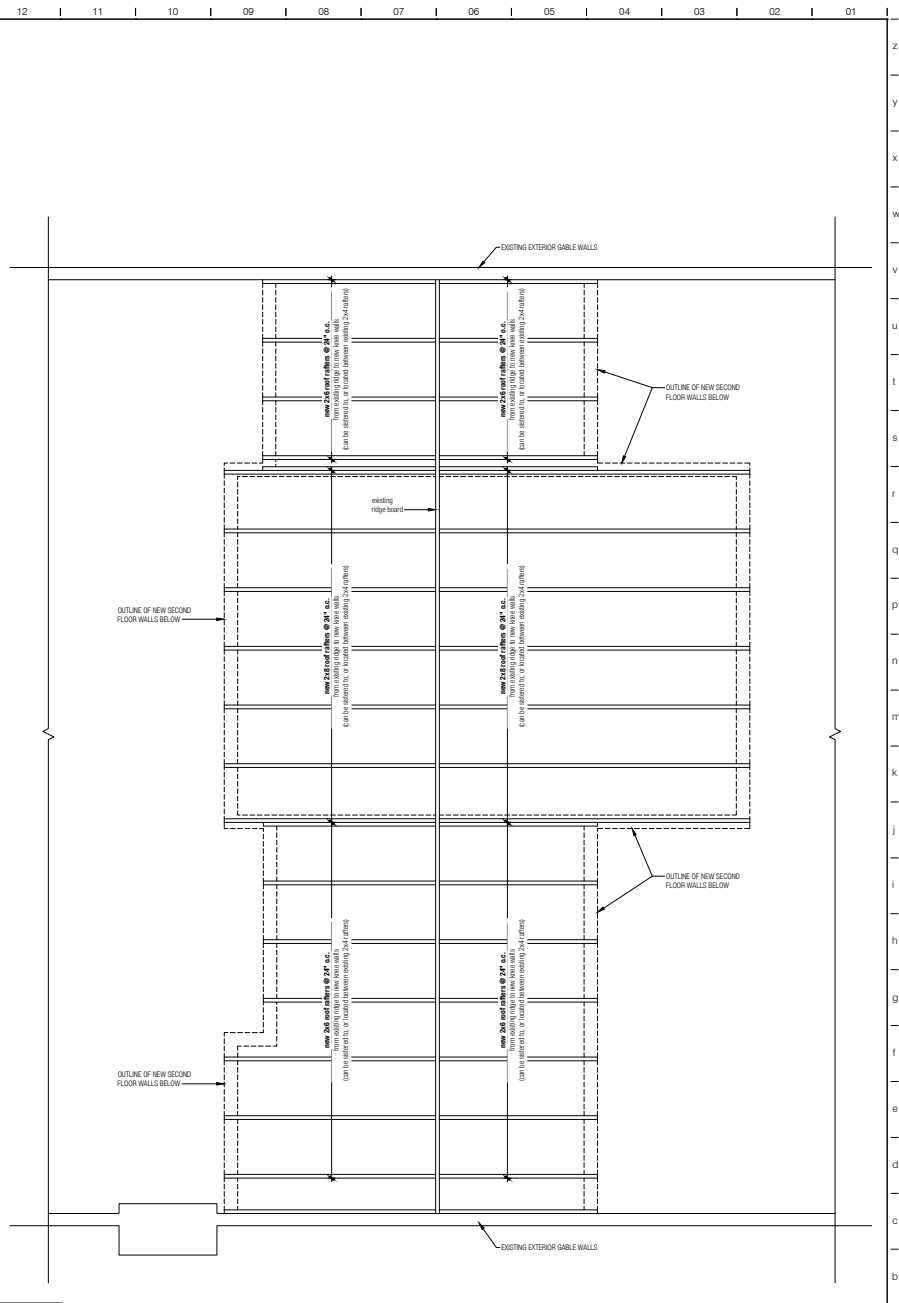
1 1/2" = 1'-0"

roof insulation for new second floor spaces



a24 roof plan

3/16" = 1'-0"



a12 roof framing plan

1/2" = 1'-0"

additional framing to supplement existing framing over new living spaces