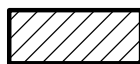




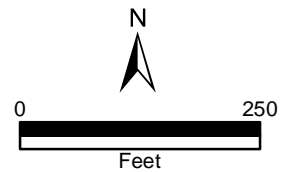
9-A-22-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



2102 Jefferson Ave. 37917
 Edgewood-Park City H

Original Print Date: 9/7/2022
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: David Kerns Kerns Construction Inc





Staff Report

Knoxville Historic Zoning Commission

File Number: 9-A-22-HZ

Meeting: 9/15/2022
Applicant: David Kerns Kerns Construction Inc
Owner: Kevin Nelson

Property Information

Location: 2102 Jefferson Ave. **Parcel ID** 82 O A 012
District: Edgewood-Park City H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Queen Anne cottage, c.1910

One-story frame residence with a hipped roof with gables projecting to the front, clad in asphalt shingles. Exterior is clad in wood lap siding and hose rests on a stuccoed brick foundation. Partial-width, hipped roof porch. Two interior brick chimneys.

Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation, including revisions to front porch and rear elevation, and new rear deck.

Rear elevation work: leftmost window to be shifted towards the right side of the rear elevation (existing window to be retained). New door (six-panel steel door) to be located at the center of the rear elevation. Openings to be infilled with new wood lap siding to match existing.

New 8' deep wood deck to extend the full length of the rear elevation. Wood deck to feature square balusters and five evenly-spaced 6 by 6 posts.

Porch: removal of non-historic wrought iron columns and installation of square wood posts with chamfered tops and bottoms, to reflect provided example at adjacent 2100 Jefferson Ave.

Applicable Design Guidelines

Edgewood-Park City Design Guidelines, adopted by the Knoxville City Council on July 29, 1997.

Porches

1. Porches on historic houses shall be repaired or replicated using wood materials for ceilings and floors, balustrades, posts and columns that duplicate the original size and design. Reconstruction of the documented original porch is appropriate.
3. New buildings constructed in Edgewood-Park City must contain front porches large enough to provide seating. The proportion of the porches to the front facades is to be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades, and porch flooring and ceilings will be built with materials that are consistent in appearance with historic materials.

Entrances

2. It may be appropriate to design or construct a new entrance if the historic one is missing. Any restoration shall be based on historical, pictorial, and physical documentation and be compatible with the historic character of the building.
3. A replacement entrance must not create a false historic appearance. A new entrance shall be compatible in size, scale, materials, and color.
5. Service or rear entrances shall not be altered to make them appear more formal by adding paneled doors, fanlights, or sidelights.
6. Secondary entrances shall be compatible with the originals in size, scale, and materials.

Windows

1. Reuse original windows. It will be much less expensive and much better historically to retain the original windows.
6. It can be appropriate to design and install additional windows on the rear or another secondary elevation.

Comments

N/A

Staff Findings

1. 2102 Jefferson Avenue is a contributing resource to the Park City National Register Historic District and the local overlay.
2. The rear elevation work will not be visible from the public right-of-way and is focused on an area already altered by non-original modifications (enclosure of a porch on the left side). The rear elevation work does not involve the removal of historic features. The historic three-over-one, double-hung wood window will be relocated and reused. The applicant should clarify the placement of soffits and trim on the rear elevation, and the rear door's intersection with the trim.
3. Guidelines note that "secondary entrances shall be compatible with the originals in size, scale, and materials." Fiberglass has been approved for secondary entries in the Edgewood-Park City neighborhood, though steel is typically discouraged. The applicant should select a revised rear door and submit to staff for approval.
4. The deck's design and placement meet the design guidelines. Balusters should be set into the top and bottom rails.
5. Overall, the removal of the wrought iron columns and installation of new wood columns meets the design guidelines. The applicant is drawing on physical evidence from the adjacent house and one engaged pilaster on the leftmost bay of the porch. Final specifications including measurements and details should be submitted to staff for review.

Staff Recommendation

Staff recommends approval of Certificate 9-A-22-HZ, subject to the following conditions: 1) applicant to select a revised secondary door to meet the design guidelines, with approval by staff; 2) applicant to submit final specifications for new porch columns to staff for approval.



Planning

KNOXVILLE | KNOX COUNTY

DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

DAVID C KEARNS

Applicant

7-20-22

Date Filed

September 15, 2022

Meeting Date (if applicable)

9-A-22-HZ

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

DAVID KEARNS KEARNS CONSTRUCTION INC

Name

Company

710 LOCUST HILL LN KNOX TN 37920

Address

City

State

Zip

865 556 2946 CLANCY KEARNS @ YAHOO.COM

Phone

Email

CURRENT PROPERTY INFO

KEVIN NELSON

Owner Name (if different from applicant)

Owner Address

(423) 865 432-5936

Owner Phone

2102 JEFFERSON

Property Address

0820A012

Parcel ID

EDGEWOOD - PARK CITY

Neighborhood

RN2/H

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

8.12.22

Date

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: NO CHANGES / JUST FIXING
SEE ATTACHED DETAILS VIA ARCHITECT.

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

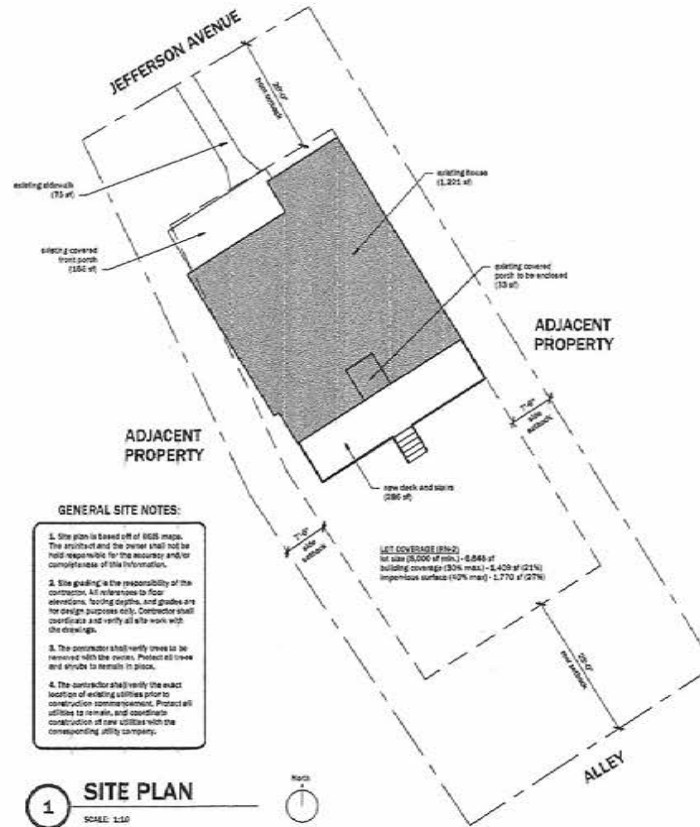
FEE 3:

TOTAL:

RENOVATIONS TO: 2102 JEFFERSON AVENUE KNOXVILLE, TN 37917

GENERAL NOTES

- All work shall comply with State and local Building Codes, fire department regulations, utility company standards, and the best trade practices.
- The General Contractor shall arrange all inspections and tests as specified or required by the building department and shall pay all costs and fees for same. The Contractor shall secure all building permits and upon completion of the project (prior to final payment) deliver to the Owner a Certificate of Occupancy or Use from the building department.
- All plumbing and electrical work shall be performed by State licensed contractors. Contractors shall submit all required permits, certificates, and sign-offs to Owner and Architect for their records.
- The General Contractor shall verify all dimensions, be familiar with the existing conditions, and bring any discrepancies to the attention of the Architect prior to submission of construction proposal and before beginning work. The Drawings reflect conditions reasonably inferred from the existing visible conditions but cannot be guaranteed by the Architect. Drawings may be scaled for estimating purposes and for general reference only. For all other dimensions or locations consult the Architect or refer to dimensions on Drawings. Verify all dimensions in the field.
- The General Contractor shall lay out all work and be responsible for all dimensions and conditions for trades such as electrical, plumbing, etc.
- The General Contractor shall provide and maintain access to the premises at all times.
- The Construction Manager shall make the premises secure from the elements and trespass on a daily basis.
- The General Contractor shall keep the construction site free and clear of all debris and keep out all unauthorized persons. Upon completion of Work, the entire construction area is to be thoroughly cleaned and prepared for occupancy by Owner. All materials and debris resulting from the Contractor's work shall be removed from the site and disposed of properly. Care shall be taken during construction that no debris or materials are deposited in any Right of Way area.
- The General Contractor shall be responsible for protecting all existing and new conditions and materials on the site. Any damage caused by or during the execution of the Work is the Contractor's responsibility and shall be repaired to the Owner's satisfaction at the Contractor's expense.
- No cutting or damage to building structural components will be allowed without written authorization from the Architect or Structural Engineer.
- All utilities shall be connected to provide gas, electric, and water to all equipment whether said equipment is in Contract or not. Equipment shall be guaranteed to function properly upon completion.
- Manufacturer's standard specifications and materials approved for project use are hereby made part of these Notes with same force and effect as if written out in full herein. All appliances, fixtures, equipment, hardware, etc. shall be installed in accordance with Manufacturer's specifications and procedures.
- Written words take precedence over drawn lines. Large-scale details and plans take precedence over smaller details and plans. Should a conflict arise between the Specifications and Drawings, the requirements deemed most stringent shall be used.
- Minor details not usually shown or specified but necessary for proper and acceptable construction, installation, or operation of any part of the Work as determined by the Architect shall be included in the Work as if it were specified or indicated on the Drawings.
- All architectural drawings and construction notes are complimentary. What is indicated and called for by one shall be binding as though called for by all.
- No deviation from the Drawings or intent of same shall be made without the Architect's written authorization.



1 SITE PLAN
SCALE: 1/8" = 1'-0"

ADOPTED CODES

2018 International Residential Code
2018 International Building Code
2009 ICC/ANSI ASL1.1
2018 International Existing Building Code
2018 International Fuel Gas Code
2018 International Mechanical Code
2018 International Plumbing Code
2017 National Electrical Code
2018 International Fire Code
City of Knoxville, TN, Code of Ordinances

ZONING

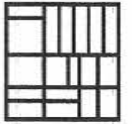
Zoning District:	Single-Family Residential Neighborhood (RN-2) Edgewood-Park City Historic District
Allowable Uses:	Dwelling - Single-Family (permitted by right)
Front Setback:	20 feet or the average of blockface, whichever is less; in no case less than 10 feet
Interior Side Setback:	5 feet or 15% of lot width, whichever is less; in no case less than 15 feet combined
Corner Side Setback:	12 feet
Rear Setback:	25 feet
Lot Coverage:	30% max. (building coverage) 40% max. (impervious surface)
Height:	35 feet

LEGEND

	Wall Type (see wall type schedule)
	Door Type (see door schedule)
	Window Type (see window schedule)
	Building Section
	Wall Section
	Detail Number
	Elevation (without line)
	Interior Elevation Mark
	Elevation Mark
	Room Name / Number
	Column Line
	Centerline
	Revision Tag

DRAWING LIST

A0.0	COVER SHEET & SITE PLAN
AL.1	MAIN LEVEL DEMOLITION & RENOVATION PLANS
AL.2	FOUNDATION & MAIN LEVEL FLOOR FRAMING PLANS



REMNANT
ARCHITECTURE
PLLC

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Knoxville, TN 37934
865.888.0323
jessalynhicks@gmail.com

RENOVATIONS TO:
2102 JEFFERSON AVENUE
KNOXVILLE, TN 37917

Project No. 2023.03



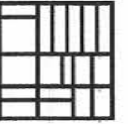
Revisions

No.	Description

Cover Sheet & Site
Plan

A0.0

Sheet No. 03002



REMNANT
ARCHITECTURE
PLLC

323 Maplefree Drive
Knoxville, TN 37934
865.888.0323
jesselyn@remnant.com

RENOVATIONS TO:
2102 JEFFERSON AVENUE
KNOXVILLE, TN 37917

Project No. 2022.01



Revisions

Project North



Foundation & Main
Level Floor Framing
Plans

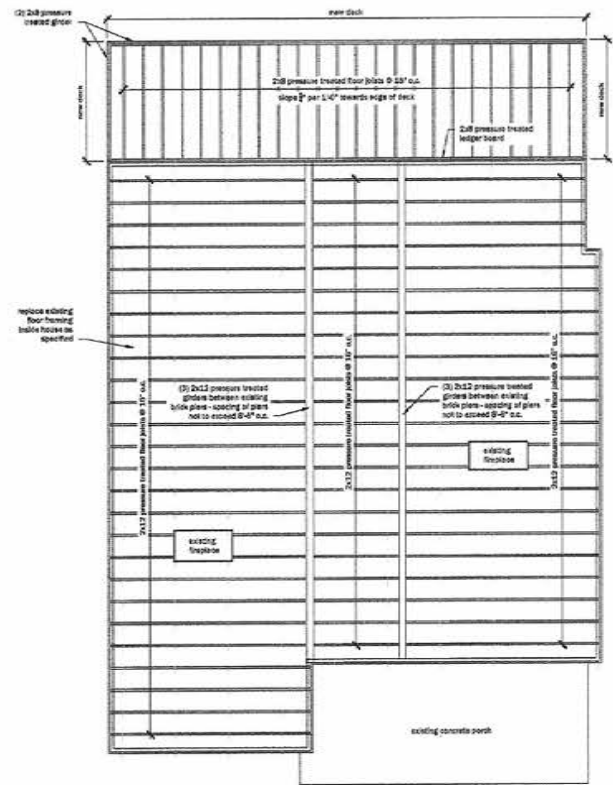
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Sheet No. #1022

Please note: During ceiling installation balloon-framing but not tied to the exterior walls well, allowing the roof framing to push the walls inward. The ceiling joists should be attached to each wall stud with (2) 2"x4" x 3 1/2" SDS screws. The ceiling joists should be attached to the ledger with #2.5A hurricane ties.

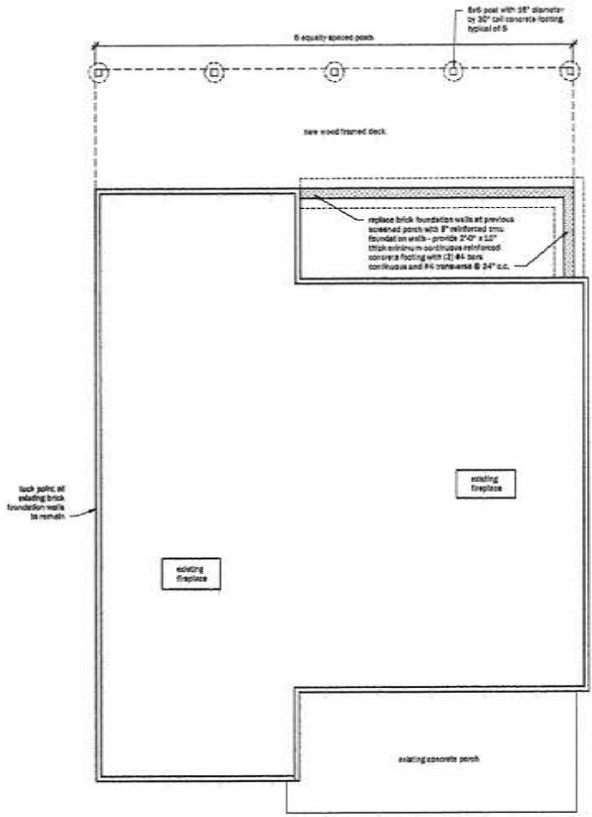
3 CEILING FRAMING

- GENERAL FRAMING NOTES:**
- All exterior lumber to be pressure treated. All floor joists in cross-spaces other than 16" to the ground are to be pressure treated. Wood framing that rests on concrete or masonry foundation walls to be pressure treated.
 - All connections specified to be Simpson Strong-Tie, unless noted otherwise.
 - 2x12 floor joists are to be notched at exterior bearing walls. Maximum height of notch = 3 1/4".
 - Triple 2x12 girders to be fastened together with (8) rows of 5/4" x 4 1/2" SDS screws @ 16" o.c.
 - Use LRS 210 (not) hangers to connect floor joists to girders.
 - Trim top of plates to bring top of girders and joist elevations up to original top of plate elevation.
 - Connect double 2x8 deck girders to S4s joists with LPS22.
 - Connect 2x8 deck piers to girder with UBCS.



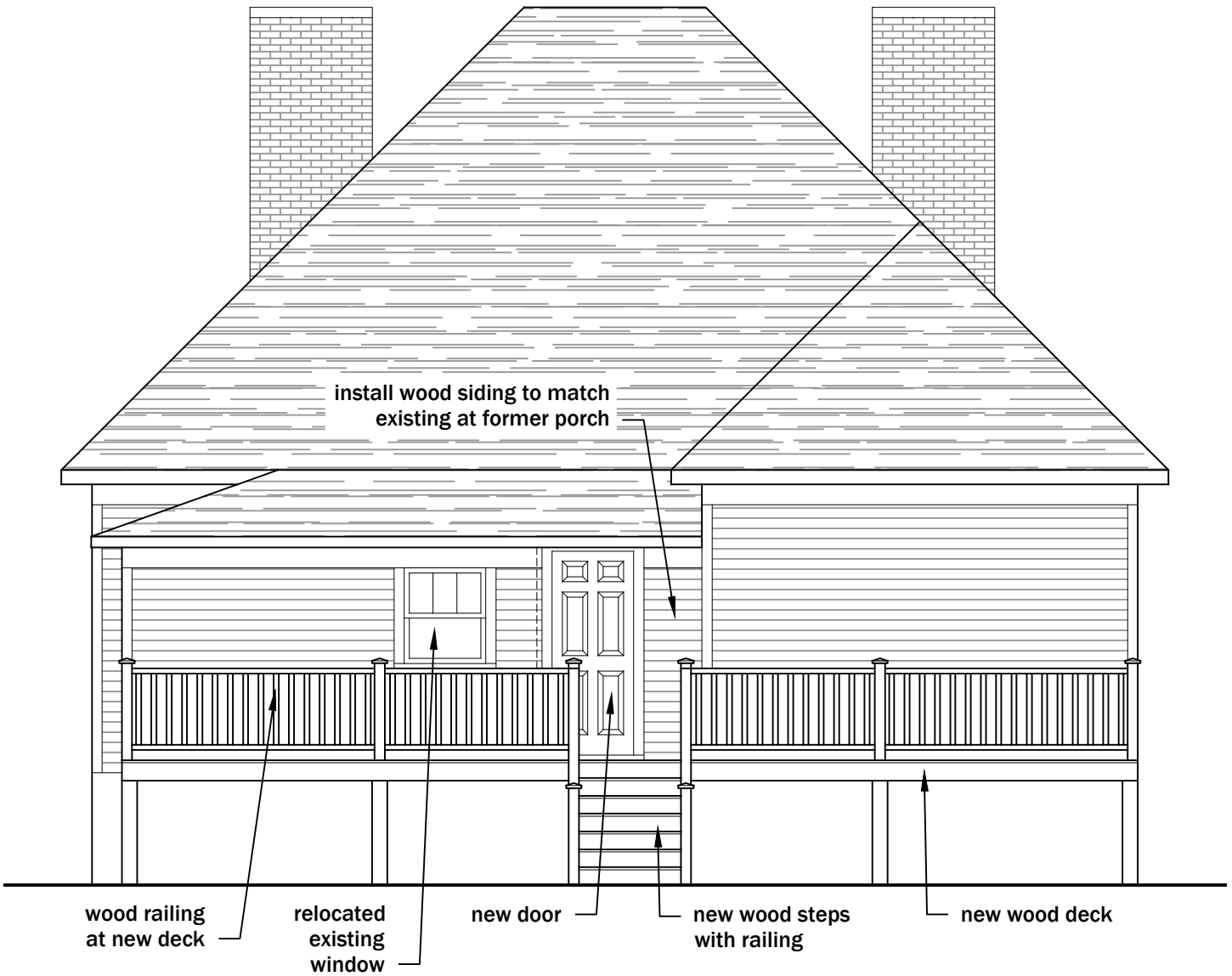
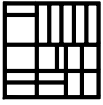
2 MAIN LEVEL FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



4:28

5G



Google



2101 Jefferson Ave

AA

google.com

