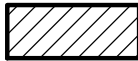






**7-C-22-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**


**123 Leonard Place 37917**  
**Old North Knoxville H**

Original Print Date: 8/5/2022  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Quinn Epperly QB Realty Team LCC

  
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 Feet

**Meeting:** 8/18/2022  
**Applicant:** Quinn Epperly QB Realty Team LLC  
**Owner:** Quinn Epperly QB Realty Team LCC

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## Property Information

**Location:** 123 Leonard Place **Parcel ID** 81 L G 032  
**District:** Old North Knoxville H  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**Description:** N/A  
Vacant lot.

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## Description of Work

Level III Construction of New Primary Building

New single-family house fronting Leonard Place. The house measures 33' wide by 40' deep, and features a 12/12 pitch, side-gable roof with a full-height, front-gable dormer centered on the primary roof slope, and a lower front-gable roof massing projecting from the left half of the façade. The house is proposed for a 50' wide by 129' deep lot, and proposed to be set 22.5' from the front property line at the closest point. The house is evenly set on the lot, with side setbacks of 8.5' on each side. Parking is provided at the rear of the property, accessed from the alley, via a 25' wide concrete driveway. The site plan features a 5' wide walkway leading to the sidewalk.

The house features an asphalt shingle-clad roof, Hardie plank horizontal lap siding, and a 24" tall foundation clad in brick veneer. The roof features exposed rafter tails and decorative wood brackets.

The facade (south) is three bays wide and features a pair of one-over-one, double-hung windows on the projecting gable-roof bay. The following two bays are located on the recessed porch, featuring a centered Craftsman-style front door (material not indicated) and another pair of one-over-one, double-hung windows. The 8' deep front porch is recessed below the primary roofline and supported by 10 by 10 square posts. A shed-roof dormer is located towards the right side of the front roof slope, featuring paired one-over-one, double-hung windows.

The left elevation (west) features three windows (30 x 30, 40 x 40, and 30 x 50) on the first story, and a one-over-one window on the upper story. The right elevation (east) features two bays of one-over-one, double-hung windows on the first story and one one-over-one, double-hung window on the upper story. The rear elevation features two windows and a secondary entry door accessing a 10' by 10' deck.

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## Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

### A. Roofs

1. The shape of replacement roofs or roofs on new construction shall imitate the shapes of roofs on neighboring existing houses or other houses of the same architectural style. Roof pitch shall duplicate the 12/12 pitch most

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often found in the neighborhood or replicate the pitch of neighboring buildings. Roof shapes shall be complex, using a combination of hips with gables, dormers where appropriate to the style, turrets, or other features that emphasize the importance of Victorian-era or Craftsman styles.

2. The eaves on additions or new buildings shall have an overhang that mimics existing buildings near the property. A minimum eave overhang of at least eight inches must be retained or used on new buildings or additions to existing buildings.

4. Materials used in roofing existing buildings or new construction shall duplicate the roofing materials originally found in the neighborhood. Asphalt or fiberglass shingles can be appropriate, as are wood, slate, standing-seam metal, or metal shingle or tile roof coverings.

#### C. Porches

2. Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood posts and/or columns and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.

3. New buildings constructed in ONK must contain front porches large enough (at least eight feet deep) to provide adequate seating.

4. In new construction, the proportion of the porches to the front facades shall be consistent with historic porches in the neighborhood.

#### E. Wood Wall Coverings

1. Synthetic siding is inappropriate and is not allowed either as replacement siding on existing buildings or new siding in new construction.

4. New construction must incorporate corner and trim boards and appropriate window and door trim to be compatible with adjacent historic buildings.

#### F. Masonry

12. Stucco surfaced masonry can be appropriate for foundation in new construction. Brick and stone can also be appropriate.

#### NEW BUILDINGS

New buildings should be contemporary in spirit. Slavish copies of historic buildings confuse the historic value of the existing buildings. New buildings should respond to the present time, the environment, and the use for which they are intended. New buildings constructed in historic areas should be compatible with the existing historic buildings and sensitive to the patterns of the environment where they will be placed. The use of similar materials can help in developing continuity. These principles apply to new homes as well as garages, sheds and other outbuildings.

#### G. Setbacks and Placement on the Lot

1. Maintain the historic façade lines of streetscapes by locating the front walls of new buildings in the same plane as those of adjacent buildings. If existing setbacks vary, a new building's setback shall respect those adjacent.

2. Do not violate the existing setback pattern by placing new buildings in front of or behind historic buildings on the street.

3. Do not place new buildings at odd angles to the street.

4. Side yard setbacks for new buildings shall be consistent with those of existing historic buildings, so gaps are not left in the streetscape.

#### H. Scale and Massing

1. Relate the size and proportions of new structures to the scale of adjacent buildings.

2. Break up uninteresting box-like forms into smaller varied masses like those found on existing buildings by the use of bays, extended front porches, and roof shapes.

4. New buildings must reinforce the scale of the neighborhood by their height, width and massing.

5. New buildings must be designed with a mix of wall areas with door and window elements in the façade like those

found on existing buildings.

6. Roof shapes must relate to the existing buildings, as must roof coverings.

#### I. Height of Foundations and Stories

1. Avoid new construction that varies in height, so that new buildings are equal to the average height of existing buildings.
2. The foundation height of new buildings shall duplicate that of adjacent buildings, or be an average of adjacent building foundation heights.
3. For new buildings more than one story, beltcourses or other suggestions of divisions between stories that suggest the beginnings of additional stories shall be used.
4. The eave lines of new buildings shall conform to those of adjacent properties.

#### J. Materials

1. The materials used for new building exteriors shall be consistent with materials already found on buildings on the street.
2. Artificial siding and split-face block are not acceptable materials for use on new buildings.

#### K. Features

1. Design new buildings with a strong sense of a front entry.
2. Use front porches in new designs, and make the size of those porches useable for sitting. New porches shall be at least eight feet deep, shall contain design features such as columns and balustrades that introduce architectural diversity, and shall extend across more than half of the front façade.

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## Comments

N/A

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## Staff Findings

1. The house is proposed to be set 22.5 feet from the front property line on the left side of the façade. The average front setback of the block is 18'. The house should be moved slightly towards the front property line to align with the front setback pattern of the block. The house shows even side yard setbacks and will maintain the consistent rhythm of the streetscape.
2. Locating the parking at the rear of the property and accessed from the alley will preserve the existing streetscape along Leonard Place, avoiding a new curb cut or front yard parking. Final site plan should meet City Engineering standards.
3. The simple interpretation of a Craftsman-style house is appropriate for the context.
4. The 1.5-story house is proposed for a block characterized by 1- and 1.5-story houses. A comparably-sized 1.5-story Craftsman-style house is located at 127 Leonard Place. The overall scale of the house is consistent with the dimensions of the lot and the houses on the block.
5. Via a projecting front-gable roof bay, a front-gable dormer, and a recessed porch, the proposal successfully "breaks up uninteresting box-like forms into smaller varied massings by use of bays, extended porches, and roof shapes." The three-bay façade features "a mix of wall areas with door and window elements in the façade like those found on existing buildings."
6. The 12/12 pitch roof is appropriate within the design guidelines. The revised design incorporates additional Craftsman-style roof details including triangular brackets and exposed rafter tails. The Commission may choose to discuss the placement of the shed-roof dormer.

7. The elevation drawings indicate a 24" tall brick-clad foundation. The foundation height is appropriate for the historic context. Guidelines also recommend that "belt courses or other suggestions of divisions between stories" should be incorporated on buildings more than one story; many side-gable roof Craftsman-style houses incorporate a band of horizontal trim between the first story and the gable field. The revised application includes this trim band.

8. Guidelines recommend that materials for new buildings be consistent with materials on the street. Fiber cement lap siding has been approved for new construction or additions in the ONK overlay; the lap siding should be smooth-finished and 4-5" in exposure to be compatible with original lap siding on the street. Appropriately sized cornerboards should also be provided.

9. The front entry and porch meet the guidelines for a "strong sense of front entry" with a centered door and an 8' deep front porch. The revised porch design includes 10 by 10 square columns. The front porch should incorporate tongue-and-groove porch flooring.

10. Overall, the elevations demonstrate a sufficient amount of transparency in terms of window proportion and placement. The left elevation has been revised to incorporate an additional window. Final window specifications should be submitted to staff for approval; wood, aluminum-clad wood, or some forms of composite windows could be appropriate on new construction, but muntin depth, width, and profiles should align with historic window patterns. The windows should incorporate trim and sills compatible with historic windows in profile and depth, with a profile to be submitted to staff for approval.

11. While the simple Craftsman-style door is appropriate for the selected style of the house, the application doesn't specify materials. Final specifications for the front door should be submitted to staff for approval.

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## Staff Recommendation

Staff recommends approval of Certificate 7-C-22-HZ, subject to the following conditions:

- 1) Front setback to be revised to measure between 18'-20' from the front property line;
- 2) Final site plan to meet City Engineering standards;
- 3) Fiber cement siding to be smooth-finished, 4-5" in exposure, and be accompanied by appropriately-sized cornerboards;
- 4) Use historically appropriate window trim and sills, with a profile to be submitted to staff for approval.



# DESIGN REVIEW REQUEST

DOWNTOWN DESIGN (DK)

HISTORIC ZONING (H)

INFILL HOUSING (IH)

Tyler Quinn Epperly

Applicant

6/24/22

July 21, 2022

7-C-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Owner  Contractor  Engineer  Architect/Landscape Architect

Tyler Quinn Epperly

QB Realty Team LLC

Name

Company

2042 Town Center Blvd, PMB 318

Knoxville

TN

37922

Address

City

State

Zip

8659638462

Qbrenovations@gmail.com

Phone

Email

## CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

123 Leonard Pl

081LG032

Property Address

Parcel ID

Mayfield PT 5

RN-2/H

Neighborhood

Zoning

## AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

6.24.22

Staff Signature

Please Print

Date

Tyler Quinn Epperly

6/24/22

Applicant Signature

Please Print

Date

# REQUEST

DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

Brief description of work: New Construction of 1.5 story craftsman home. 3 bedroom 2.5 bathroom 1707 square foot home. Parking to be in rear off of alleyway. Siding to be horizontal lapped hardie board.  
 \_\_\_\_\_  
 \_\_\_\_\_

INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

*See required Infill Housing attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

STAFF USE ONLY

**ATTACHMENTS**

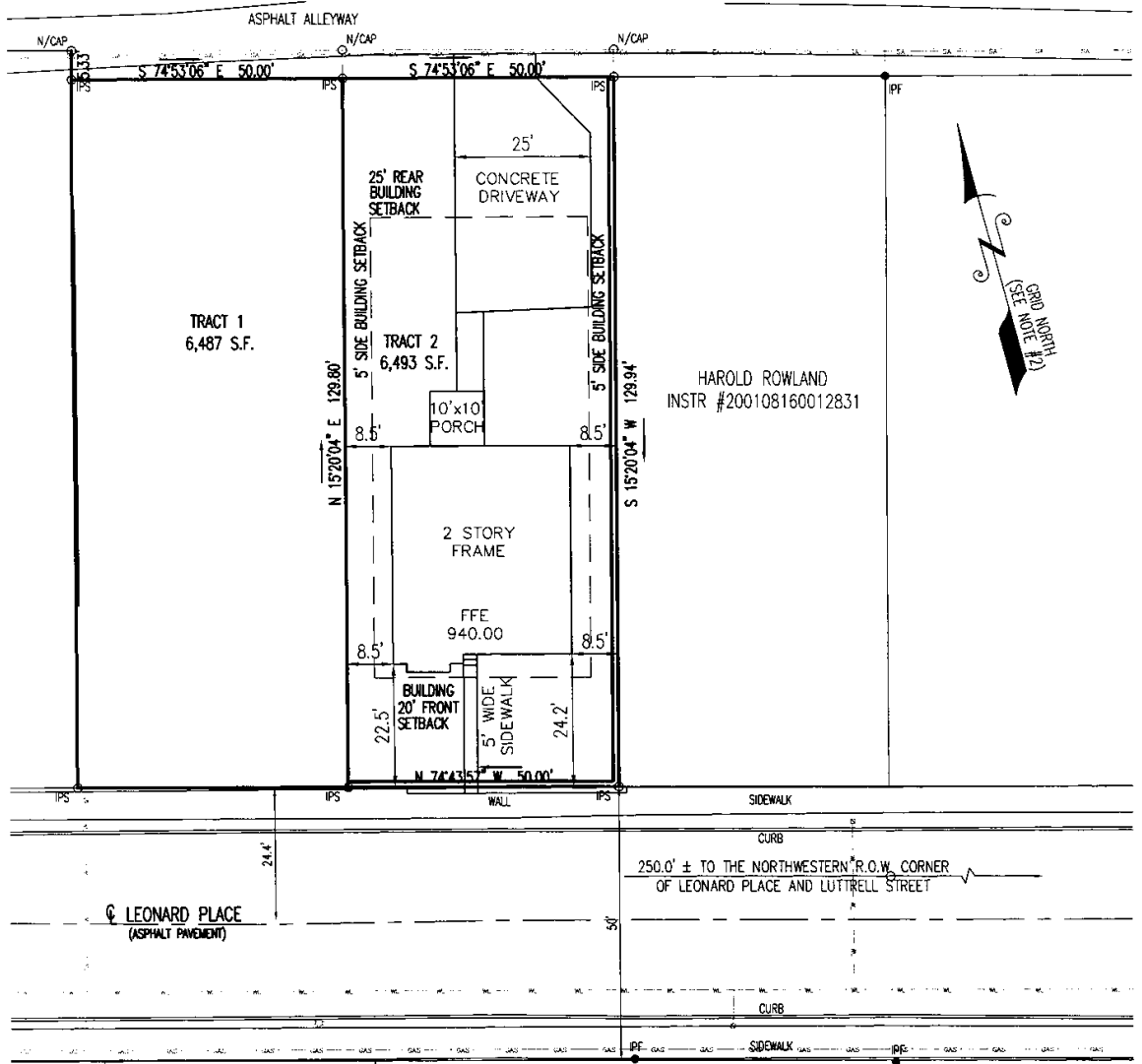
- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b> 250.00	<b>TOTAL:</b> 250.00
<b>FEE 2:</b>	
<b>FEE 3:</b>	



**NOTES:**

1. IRON PINS FOUND (IPF) SHOWN ON PLAT. ALL OTHERS SET BY BHN&P, UNLESS NOTED OTHERWISE ON PLAT.
2. NORTH IS BASED ON A BEARING OF N 52°21'47" E FROM CITY CONTROL MONUMENT #0722 TO MONUMENT #0723. DISTANCE HAVE NOT BEEN REDUCED TO GRID.
3. THIS PROPERTY IS ZONED RN-2.
4. THIS SURVEY CONTAINS 22,956 S.F. AND IS DIVIDED INTO 3 TRACTS OF LAND.
5. BUILDING SETBACK LINES WILL BE AS FOLLOWS:  
 FRONT....20'  
 SIDES.....5' (IN NO CASE LESS THAN 15' COMBINED)  
 REAR.....25'

SCALE: 1"=30'



CERTIFICATE OF CATEGORY AND ACCURACY OF SURVEY

II HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS NOT LESS THAN 1:10,000 AS SHOWN HEREON AND THAT SAID SURVEY WAS PREPARED IN COMPLIANCE WITH THE CURRENT EDITION OF THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS - STANDARDS OF PRACTICE.

**BATSON, HIMES, NORVELL & POE**

REGISTERED ENGINEERS & LAND SURVEYORS  
 4334 PAPERMILL DRIVE  
 KNOXVILLE, TENNESSEE 37909  
 PHONE (865) 588-6472  
 FAX (865) 588-6473



REGISTERED LAND SURVEYOR

TENNESSEE LICENSE NO. \_\_\_\_\_ DATE: \_\_\_\_\_

**PLOT PLAN FOR MAP OF MAYFIELD S/D, TRACT 2**

TAX MAP 81LG, PARCELS 32,  
 DISTRICT 3, KNOX COUNTY TN,  
 WARD 11, CITY BLOCK 11261  
 CITY OF KNOXVILLE TENNESSEE

ADDRESS 123 LEONARD PL

REFERENCE DEED: INSTR #202203180071871  
 REFERENCE PLAT: CABINET A, SLIDE 170A

ORDERED BY \_\_\_\_\_

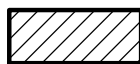
DATE 6/10/2022

DWG NO. 25426-PP-Lot 122





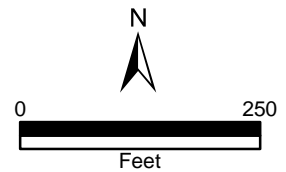
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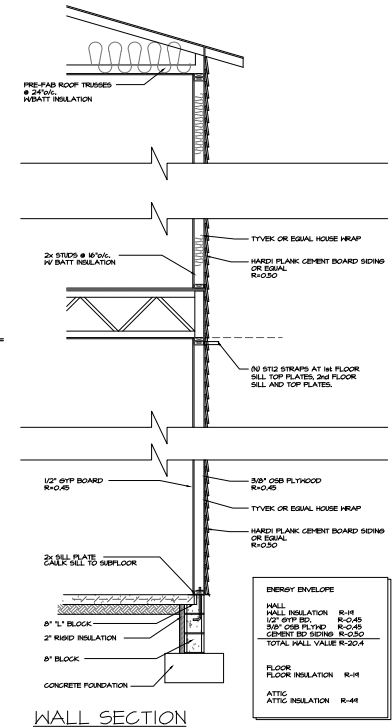
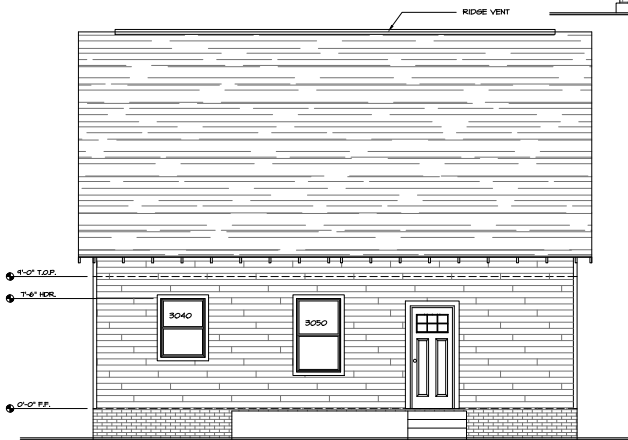
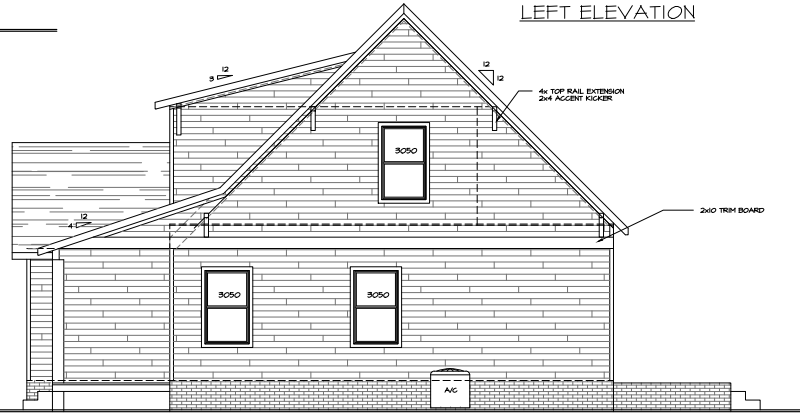
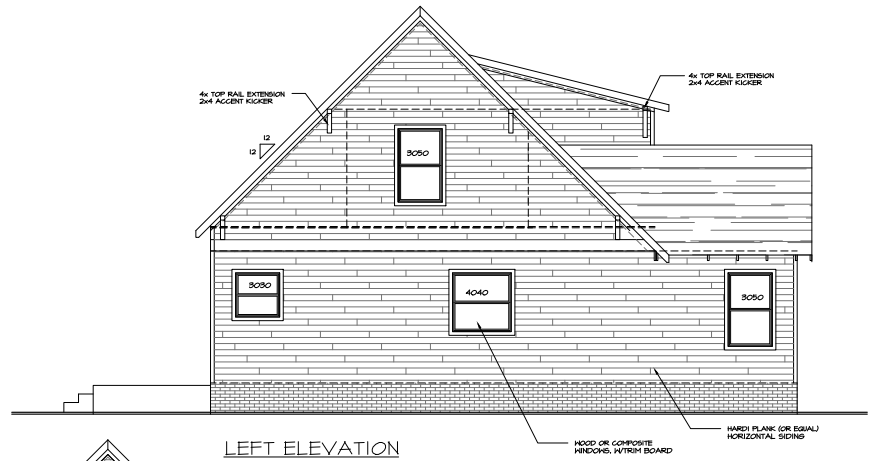
123 Leonard Place 37917  
 Old North Knoxville H

Original Print Date: 8/5/2022  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Quinn Epperly QB Realty Team LCC







ENERGY ENVELOPE	
HALL INSULATION	R-11
12\"/>	

- NOTE:**
1. BALLOON FRAME ALL EXTERIOR WALLS WHERE APPLICABLE TO UNDERSIDE OF TRUSS.
  2. TWO (2) LAYERS OF GRADE "D" PAPER IS REQUIRED AT HOOD SHEAR PANELS
  3. PROVIDE 1x3 WOOD BATTENS WHERE ROOF EXCEEDS T:12 SEE E.R. #2656
  4. EXTERIOR FINISH TO BE VERTICAL AND HORIZONTAL SIDING TO BE DETERMINED BY OWNER
  5. GUTTER LOCATION AND MATERIAL AND STYLE TO BE DETERMINED BY OWNER ALL DOWNSPOUTS TO DRAIN INTO DRAINAGE LINES DISCHARGING AT THE LOWEST SIDE OF THE HOUSE PROVIDE 1sf OF VENT FOR EVERY 150sf OF ATTIC.
  6. PROVIDE ATTIC VENTILATION AS PER CURRENT IRC SECT. 1203.2 FOR EAVE VENTS PROVIDE 1sf OF VENT FOR EVERY 150sf OF ATTIC.
  7. PROVIDE AN APPROVED WATERPROOF BUILDING PAPER UNDER HOOD SIDING

REVISIONS	BY

PROJECT: QUINN SPEC  
123 LEONARD PLACE  
KNOXVILLE TN

EXTERIOR ELEVATIONS

A&R DESIGN & DRAFTING SERVICE  
300 N. MAIN ST., KNOXVILLE, TN 37901  
(603)999-8805 RCOLLETTER@A&R.COM



DATE: 8/28/2022  
SCALE: 1/4"=1'-0"  
DRAWN: R.J.  
JOB: QU122026  
SHEET: A-2  
OF SHEETS