

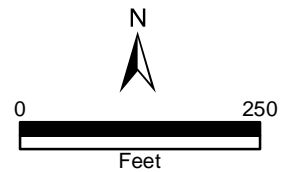
10-K-22-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1017 Thompson Place 37917
Old North Knoxville H

Original Print Date: 10/12/2022
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Lou Browning CB Funding, LLC





Staff Report

Knoxville Historic Zoning Commission

File Number: 10-K-22-HZ

Meeting: 10/20/2022
Applicant: Lou Browning CB Funding, LLC
Owner:

Property Information

Location: 1017 Thompson Place **Parcel ID** 81 L E 020
District: Old North Knoxville H
Zoning: RN-3 (General Residential Neighborhood)
Description: Craftsman/Dutch Colonial, c.1910

Original property description, prior to 2020 fire: two story frame residence with weatherboard wall covering. Jerkin head gable roof with asphalt shingle covering. Double hung two over two and four-light casement windows. One story three-quarter front porch with paired wood posts on brick piers and enclosed balustrade. Interior offset brick chimneys. Brick foundation. Irregular plan. Sidelights and transom at front entry.

Description of Work

Level II Major Repair or Replacement

Continued exterior rehabilitation of a house initially damaged by fire in 2020. Property has changed owners multiple times since being damaged by fire in June 2020. See enclosed COAs and stamped drawings for work approved and completed under 6-G-20-HZ, work approved (and denied) and completed under 7-G-21-HZ.

After-the-fact, the applicant is proposing the removal of a secondary façade door and re-orienting of façade elevation windows; the installation of two composite sliding windows on the façade's second story; the removal of primary façade door, sidelights, and transom; the construction of a new rear deck; and all new one-over-one, double-hung composite windows (already installed).

Also proposed but not yet completed: removal and reconstruction of paired square wood columns on brick bases; repair to partial-height brick porch wall; the installation of a new wood multi-light door with five-light sidelights and a five-light transom; new second-story windows on the rear elevation; the installation of brick veneer on the reconstructed chimneys; the installation of a new metal half-light rear door; repair to brick masonry foundation.

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

A. Roofs

3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, bargeboards, and other unique roof features). Use some of these details in designing new buildings.

B. Windows

1. Original windows shall be reused if possible. It will be much less expensive and better historically to retain the original windows, and it is inappropriate to replace them with new windows that differ in size, material, or pane

division.

2. If replacement windows are necessary, they shall be the same overall size as the originals, with the same pane division and the same muntin depth, width, and profile. They shall be the same materials as the original windows, which were generally wood.
3. True divided lights shall be used in replacement window sashes with more than one pane.

C. Porches

1. Historic porches on houses in ONK should be repaired, or may replicate the original porch if documentation of its size and design can be discovered.
2. Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood posts and/or columns and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.

D. Entrances

3. It may be appropriate to design or construct a new entrance if the historic one is completely missing. Any restoration shall be based on historical, pictorial, or physical documentation. It shall be compatible with the historic character of the building or with adjacent buildings.
4. A replacement entrance shall not create a false historic appearance. A new entrance or porch must be compatible in size, scale, or material.
6. Rear entrances may not be altered to make them appear to be formal entrances by adding paneled doors, fanlights, transoms, or sidelights.
7. Secondary entrances must be compatible with the original in size, scale, and materials but clearly secondary in importance.

E. Wood Wall Coverings

4. New construction must incorporate corner and trim boards and appropriate door and window trim to be compatible with adjacent historic buildings.
5. Wooden features shall be repaired by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include replacement with matching or compatible substitute materials, when elements remain and can be copied.
6. Wood features that are important in defining the overall historic character of the building shall not be removed.
8. An entire wooden feature that is too deteriorated to repair or is completely missing shall be replaced in-kind. If features are replaced, the materials they are made with shall be compatible with the original in size, scale, and material. Replacement parts should be based on historical, pictorial, and physical documentation.

F. Masonry

4. Identify and preserve masonry features that define the historic character of the building, including walls, railings, foundations, chimneys, columns and piers, cornice and door and window pediments.
5. Replace an entire masonry feature that is too deteriorated to repair. Use the remaining physical evidence to guide the new work, and match new to old. Examples can include large sections of a wall, a cornice, balustrade, columns, stairways, or chimneys.
7. Match replacement mortar to the original mortar in color, composition, profile, and depth.
8. Never repoint with mortar of high Portland cement content, unless that is the content of the original mortar.
12. Stucco surfaced masonry can be appropriate for foundation in new construction. Brick and stone can also be appropriate.

Comments

N/A

Staff Findings

1. 1017 Thompson Place is a contributing resource to the ONK National Register district and local historic overlay.

The house underwent a significant fire in early summer 2020, necessitating reconstruction of many exterior and interior elements. See enclosed COAs and stamped drawings for work approved and completed under 6-G-20-HZ, work approved (and denied) and completed under 7-G-21-HZ. A third owner and applicant is now applying for modifications to the previous approvals.

2. The secondary façade door (now removed) is not an original element of the house, most likely installed when the house was converted to multiple units. Removal of the secondary door meets the design guidelines. Associated with the removal of the second façade door, the Commission should discuss the revised placement of the façade first-story windows.

3. The proposed windows were not approved under 6-G-20-HZ or 7-G-201-HZ and do not meet the design guidelines. The original windows were two-over-two, double-hung wood windows and four-light wood casement windows. The installed windows are composite or vinyl, one-over-one windows which project slightly outward from the siding, and composite or vinyl sliding windows on the second story.

Design guidelines recommend that replacement windows be the "same overall size as the originals, with the same pane division and same muntin depth, width, and profile" and "the same materials as the original windows, which were generally wood." The applicant should select new window specifications which meet the design guidelines and submit to staff for approval. The flat window trim does not reflect the original window trim design in size or design and should be revised.

4. Guidelines recommend repairing or replacing roof details, including chimneys and attic vents. The two brick masonry chimneys were unique features, evenly spaced with one on each roof slope and featuring a simple corbelling detail at the top. Previous approvals have noted that both chimneys and the three adjoining rectangular wood louvered vents should be restored in-kind. The wood louvered vents visible on old Streetview images of the house may not be original.

5. Design guidelines for doors note that a new entrance must be compatible in size, scale, and material, with restoration based on physical documentation. The proposed door and sidelights are a contemporary interpretation of a wood Craftsman door and window elements. Glass used in the transom, sidelights, and door should be clear and the door should avoid overly decorative staining or carving details. The Commission should discuss the proposed rear door and determine whether it is compatible with primary entrances in size, scale, and materials. Comparable doors have been approved on non-visible elevations in ONK in the past.

6. Repair to the brick porch wall should meet the design guidelines for masonry repair; any new mortar should be matched to the existing in composition and color. Reconstruction of the deteriorated paired wood porch columns is appropriate within the guidelines, provided the reconstructed columns and their bases match the originals in size and design.

7. The deck is minor in size, uses pressure-treated wood, and will not be visible from the public right-of-way.

Staff Recommendation

Staff recommends approval of Certificate 10-K-22-HZ, subject to the following conditions:

- 1) Applicant to select new windows which meet the design guidelines and submit to staff for approval, along with revising the exterior window trim to reflect the original;
- 2) Chimneys to be restored to match original detailing;
- 3) Reconstructed porch columns to match originals in size and design;

And providing for Commission discussion on new front and rear doors, louvered attic vents, and revised façade window placement.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

C B - FUNDING LLC

Applicant

10/3/2022
Date Recd

10/20/2022

Meeting Date (if applicable)

10-K-22-HZ

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

LOU BROWNING

Name

C B FUNDING LLC

Company

6000 WALDEN DR.

Address

KNOXVILLE

City

TN.

State

37919

Zip

786-597-3688

Phone

12HERNANDEZ615@YAHOO.COM

Email

CURRENT PROPERTY INFO

LOU BROWNING

Owner Name (if different from applicant)

6000 WALDEN DR #101

Owner Address

786-597-3688

Owner Phone

1017 THOMPSON PL.

Property Address

081LE020

Parcel ID

HISTORIC KNOXVILLE

Neighborhood

RN3/H

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

10.3.22

Date

[Signature]

Applicant Signature

ROLANDO HERNANDEZ

Please Print

10/3/2022

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- Brief description of work: _____
- _____
- _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- Brief description of work: _____
- _____
- _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
- Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

- Brief description of work: _____
- _____
- _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
- Historic Zoning Design Checklist
- Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

100.00

FEE 2:

FEE 3:

TOTAL:

100.00

FRONT ELEVATION



6 FT
72"
12"
1 FT

BRICK
WALK
WAY

Solid Wood
CRAFTSMAN
Redo
FRONT
STEPS
TO MATCH
ORIGINAL
RE-USING
SALVAGEABLE
BRICKS!!

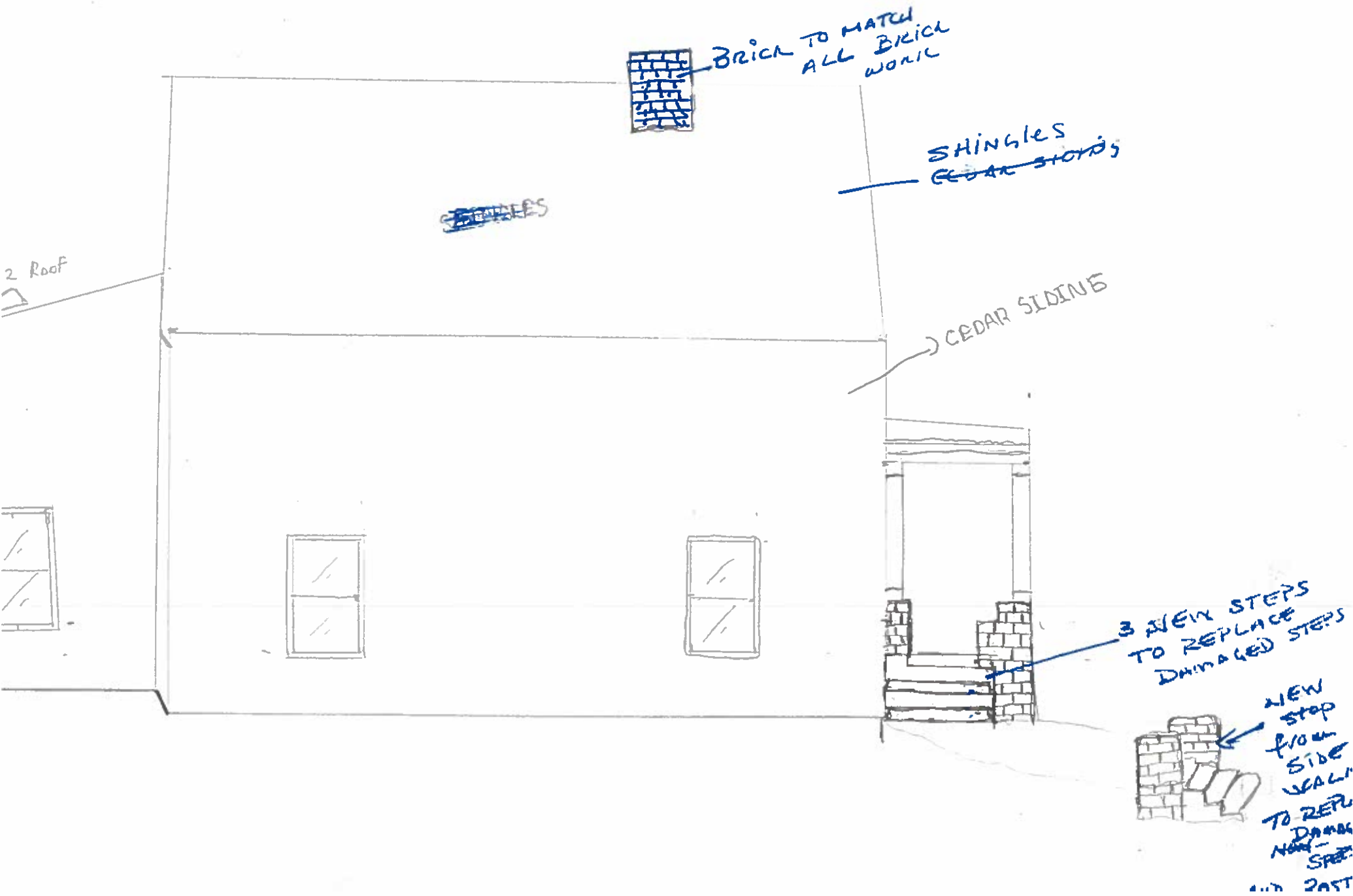
WINDOWS ARE BOTH TO BE CENTERED 77" FROM SIDE OF FRONT WALL

DOOR TO BE CENTERED 67" FROM EACH WINDOW

WINDOWS TO BE DOUBLE CASED IN CEDAR TRIM

FRONT DOOR - SOLID WOOD SINGLE DOOR W/TRANSOM 5 LITE AND 6-SIDE LITE
65" X 96 1/2"
COLUMNS TO BE REDONE / SMOKE DAMAGED WOOD / IN WOOD AND ARE TO BE 8" APART AND 72" HIGH FROM BASE OF BRICK TO FACE OF FRONT PORCH

LEFT ELEVATION



BRICK TO MATCH ALL BRICK WORK

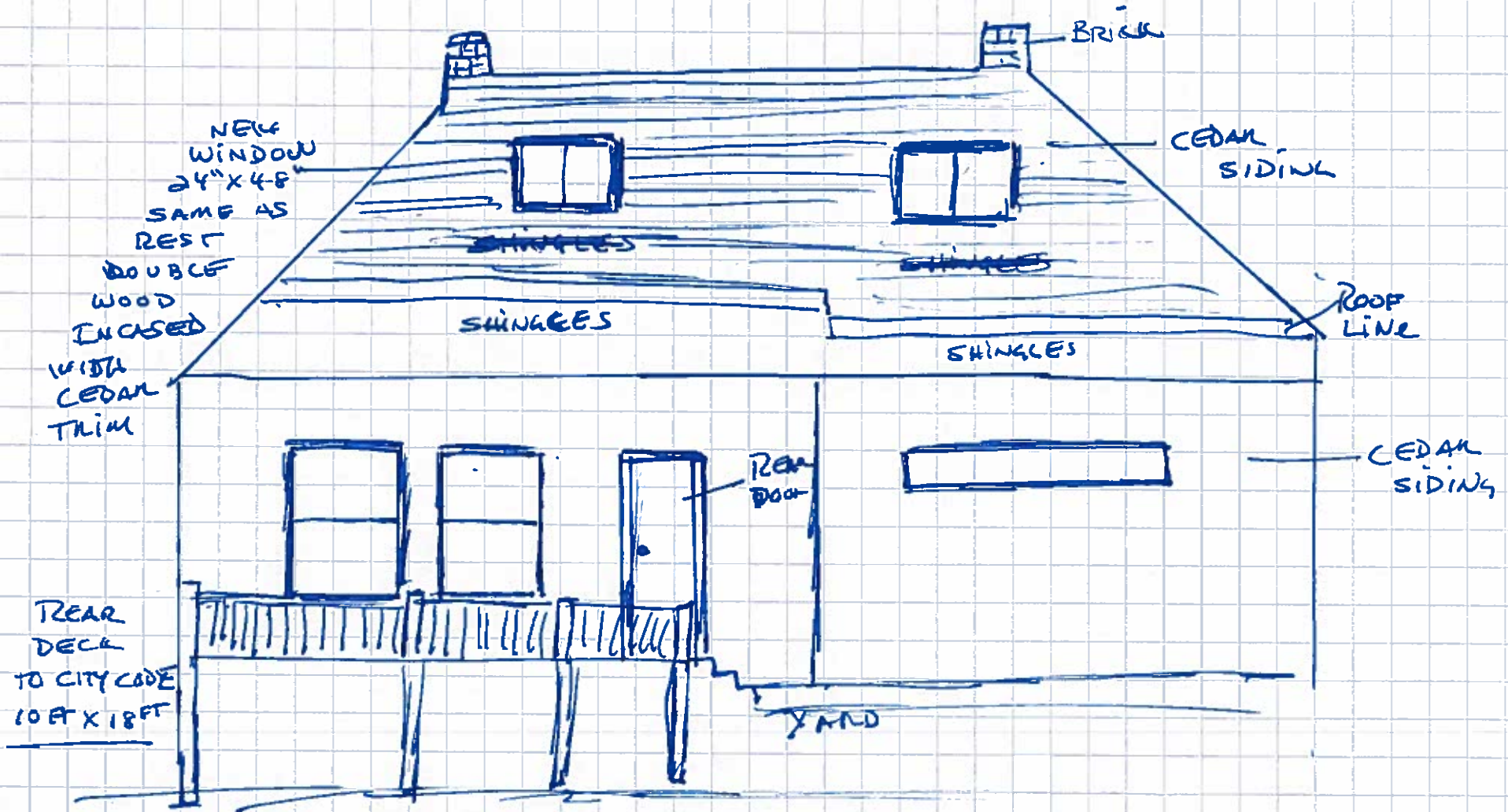
SHINGLES
~~CEDAR SIDING~~

CEDAR SIDING

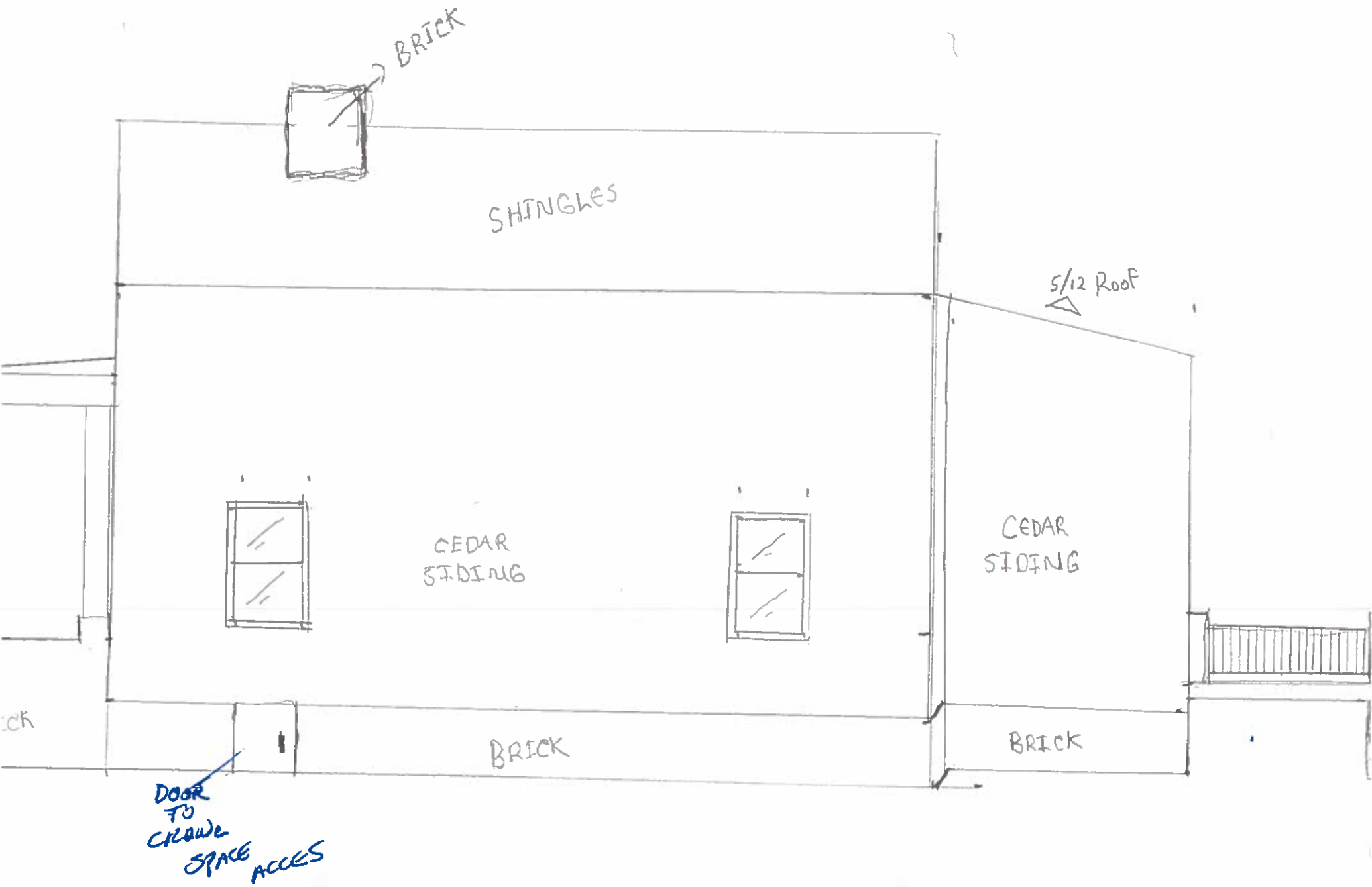
3 NEW STEPS TO REPLACE DAMAGED STEPS

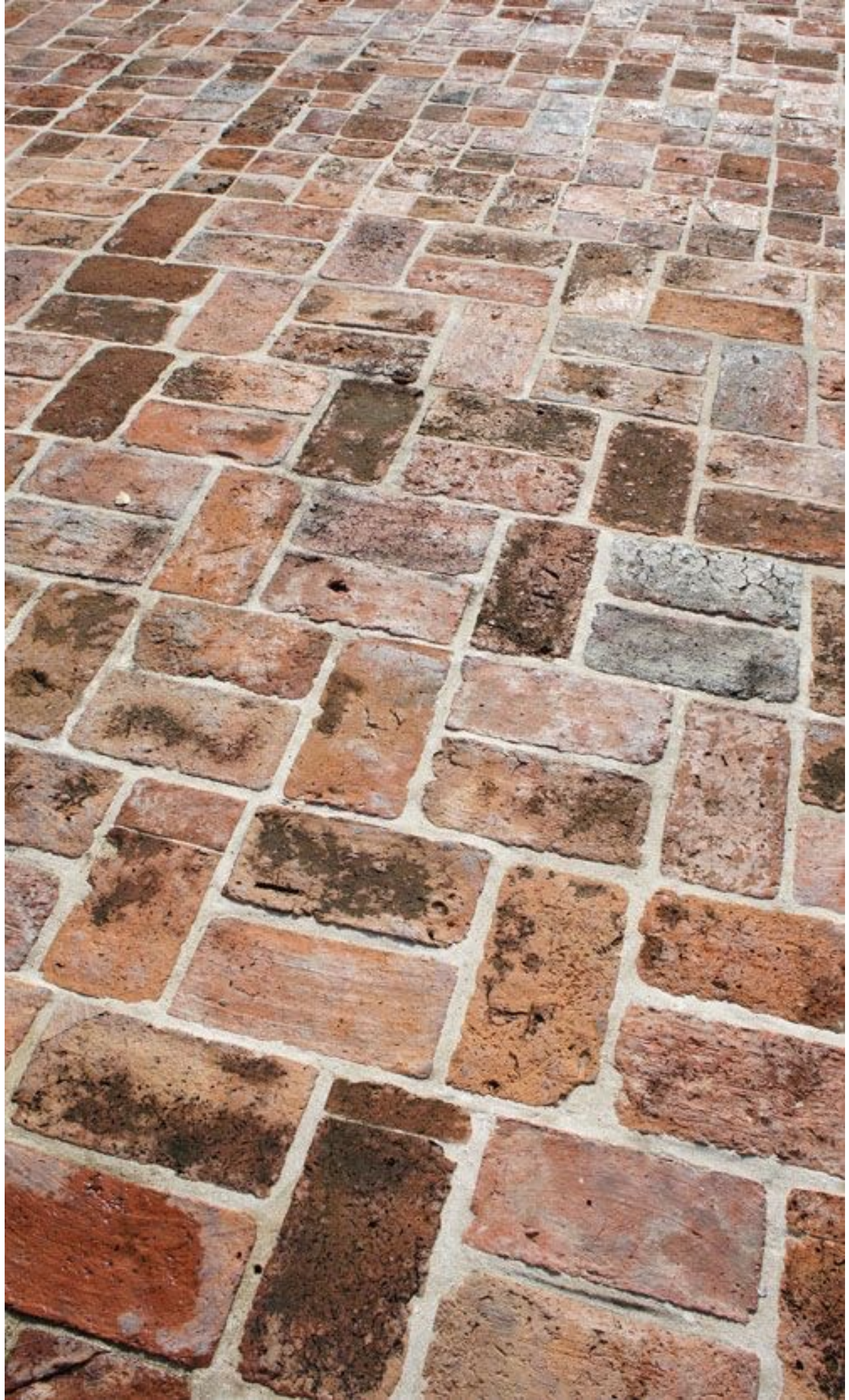
NEW STOP FROM SIDE WALL TO REPAIR DAMAGED NEW SPEC. AND PART

REAR ELEVATION



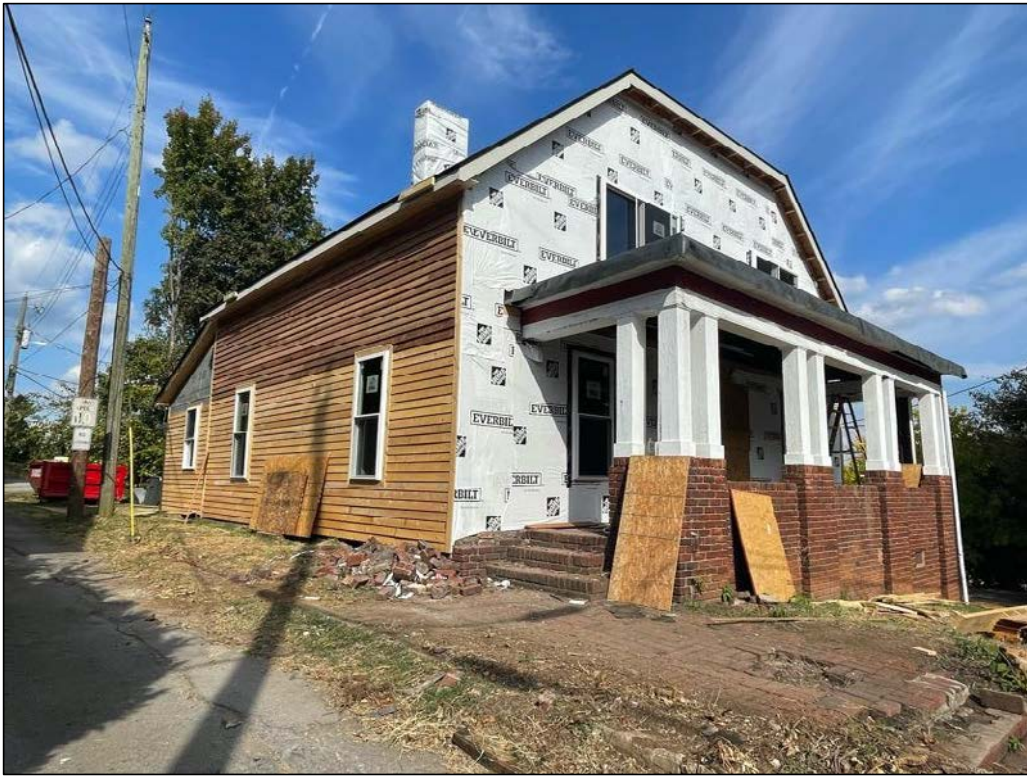
RIGHT ELEVATION







Façade and right side elevation photos taken by staff



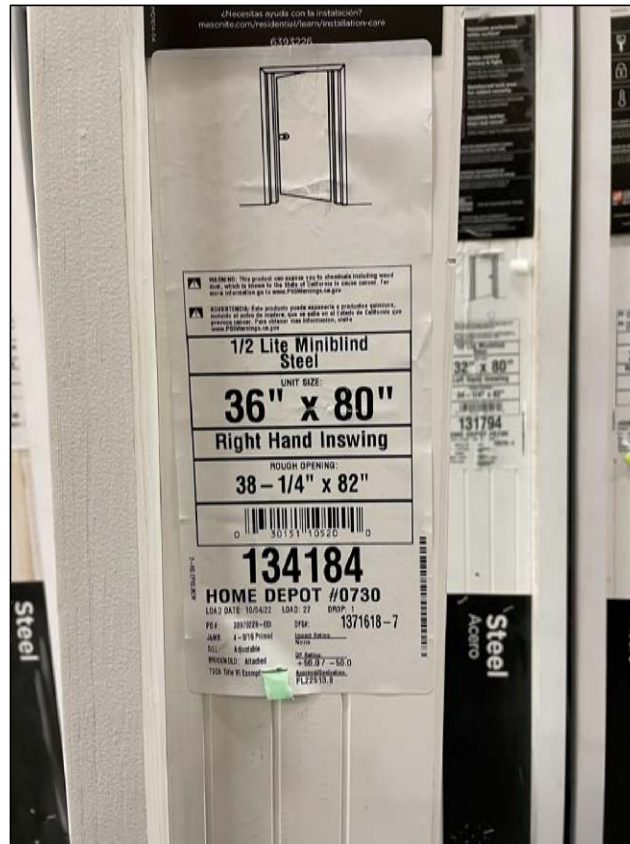
Rear and left side elevation photos taken by staff



Rear elevation photo submitted by applicant



Window and trim detail photo taken by staff



Front door specs submitted by applicant

Rear door specs submitted by applicant



Invoice

Window Works, Inc.
10909 Murdock Drive
Knoxville, TN 37932
(865) 560-3044
E: wendy@windowworksus.com

BILL TO: Josh & Ashley Dugan
1015 Thompson Place
Knoxville, TN 37917
(865) 773-3407
214dugan@gmail.com

Invoice Submitted on: 07/26/2021

Check Payable to: Window Works, Inc.

PO #

Due Date: 07/26/2021

Description	Total Price
(4) Double Hung Composite Windows	\$ 13,917.90
(2) 2-lite Slider Composite Windows	
(1) Picture Composite Window	

VISA

Contract Total: \$ 13,917.90 07/26/2021

Deposit Total: \$ 6,958.95 07/26/2021

Discount Total:

Balance Total: \$ 6,958.95

Thank you for your window deposite.

Thank you for your business!

If you have any questions about your invoice please contact Wendy at (865) 560-3044



Photos from Google Streetview, prior to fire.



Certificate of Appropriateness

Knoxville Historic Zoning Commission

File Number: 7-G-21-HZ

A Certificate of Appropriateness is hereby granted for the following property by the Knoxville Historic Zoning Commission:

Property Address: 1017 Thompson Place
Parcel ID: 81 L E 020
District: Old North Knoxville H
Owner: Roy Nicaud
Applicant: Roy Nicaud

Level of Work: Level II
Construction of Addition or Outbuilding, Major Repair or Replacement

Work Items:
Additions, Deck, Siding, Windows

Description of Work:
In June 2020 (6-G-20-HZ), a different contractor from the applicant submitted an application for exterior rehabilitation of the house, which was significantly damaged from fire. The application was approved with several conditions. These conditions of approval are reflected in the attached COA and staff report (6-G-20-HZ). The applicant is now applying for modifications from the previously-approved design.

New siding pattern on the second story: applicant requests to install cedar shake/shingle siding on the front and rear gable fields, instead of the wood lap siding. Shingle siding would start immediately below second-story window sills and continue to roofline.

Modified rear elevation and new rear addition: after-the-fact review of new rear addition. Previous rear elevation included a gable-roof rear addition, with a shed-roof section extending towards the east. The applicant removed this rear addition and constructed a continuous shed-roof addition in the same footprint as the previous. The rear elevation will now contain two adjoining windows followed by a secondary entry door recessed on the main massing, with an 8' wide by 15" tall transom window centered on the shed-roof addition.

New deck: after-the-fact review of a new pressure-treated wood deck on the rear right (northeast) corner of the house. Deck measures 11'-9" wide by 10' deep and extends from the middle of the leftmost window to the projecting shed-roof addition.

Conditions identified at 7/15/2021 HZC Meeting: 1) omit cedar shakes and use lap siding with an exposure and placement to match existing siding on front and rear gable fields; 2) rear addition to receive siding, cornerboards, window and door trim to match original house; 3) new windows to be installed on rear elevation and rear addition should be compatible with historic windows in materials, size, and design, with final specifications submitted to staff for approval.

Action: Approved with Conditions

Certified By: Lindsay Crockett

Date Certified: 7/16/2021

COA Expiration Date (3 years): 7/15/2024

This Certificate Is Not A Building Permit

To obtain a building permit, drawings stamped as approved by the Historic Zoning Commission (HZC) staff must be submitted along with this Certificate of Appropriateness to the City of Knoxville Plans Review and Inspections Department or the Knox County Codes Administration Department, as appropriate. Any deviation from the drawings and written conditions approved by the HZC will require subsequent review and approval by the HZC or its staff.

Contact the appropriate building inspections office for permit requirements:

City of Knoxville Development Services: 865-215-2992 or 865-215-2991

Knox County Building Codes Administration: 865-215-2325



Photos taken by staff in June 2020



Photos taken by staff, June 2021



Photos taken by staff in June 2020



Rear addition



Photos taken by staff, June 2021
Rear addition as built



Photos taken by staff, June 2021
Rear elevation and deck as built



Certificate of Appropriateness

Knoxville Historic Zoning Commission

File Number: 6-G-20-HZ

Property Address: 1017 Thompson Place / Parcel ID 81 L E 020
Level of Work: Level II
District: Old North Knoxville H-1
Owner: SquareOne Properties & Construction , Maryville, TN 37803
Applicant: Jim Keener , Knoxville, TN 37919

Work Items: Doors, Roofing, Siding, Windows

Description of Work:

Exterior rehabilitation of a house damaged by fire, including roof reconstruction, wall framing and siding, and replacement of damaged/missing second-story windows.

-Roof: reconstruction of the roof to match original jerkinhead roofline, with asphalt shingle-cladding on pitched sections of roof and rubber on flat roofline. Soffit and fascia will be reconstructed to match original, with wood painted to match structure and 1' eave overhang.

-Chimneys: brick masonry chimneys, original to structure, were significantly damaged in the fire. One chimney collapsed completely, and the second chimney had partially collapsed and was required to be deconstructed for safety of contractors (fire insurance report on file).

-Replacement of windows: windows to be replaced in same locations as existing. Applicant intends to replace windows to match the originals. Second-story façade windows will be four-light wood casement windows.

-Second-story door: enclosure of second-story door with window. Second-story door had previously led to flat-roof porch with no railing, creating codes issues.

-Siding: replacement of deteriorated wood lap siding to be replaced with new wood lap siding and corner boards to match existing.

CONDITIONS OF APPROVAL, per 6/18/2020 HZC:

- 1) the chimneys be reconstructed with dimensions, materials, placement, and design to match the original chimneys;
- 2) the three adjoining wood louvered vents be restored in their original location with dimensions to match;
- 3) specifications on the second-story window to replace the door be submitted to staff for approval;
- 4) second-story façade windows be restored in-kind (materials, placement, and size), with two sets of three adjoining four-light wood casement windows with wood trim, with final approval of the windows by staff;
- 5) all windows, exterior materials, chimney measurements, and dimensions to match specifications of elevation drawings dated 7/13/2020.

This certificate expires on 7/13/2023 (three years from the date of issue).

Approved By: Lindsay Crockett

Date Certified: 7/13/2020



Certificate of Appropriateness

Knoxville Historic Zoning Commission

File Number: 6-G-20-HZ

Please note:

To obtain a building permit for Level II projects, drawings stamped as approved by the Historic Zoning Commission (HZC) staff must be submitted along with this Certificate of Appropriateness to the City of Knoxville Plans Review and Inspections Department or the Knox County Codes Administration Department, as appropriate. Any deviation from the drawings and written conditions approved by the HZC will require subsequent review and approval by the HZC or its staff.

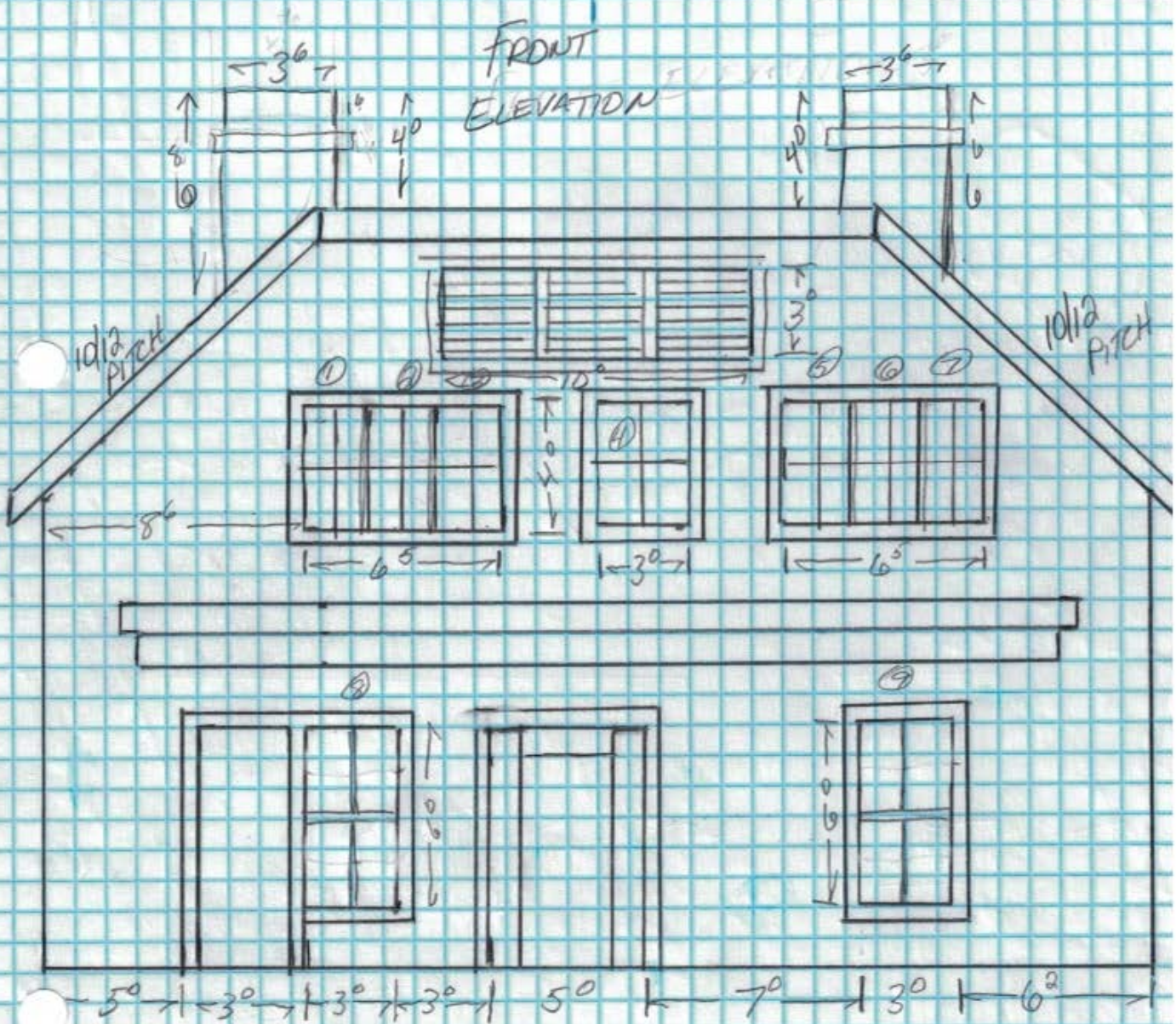
THIS CERTIFICATE IS NOT A BUILDING PERMIT

Contact the appropriate building inspections office for permit requirements:

City of Knoxville Development Services: 865-215-2992 or 865-215-2991

Knox County Building Codes Administration: 865-215-2325

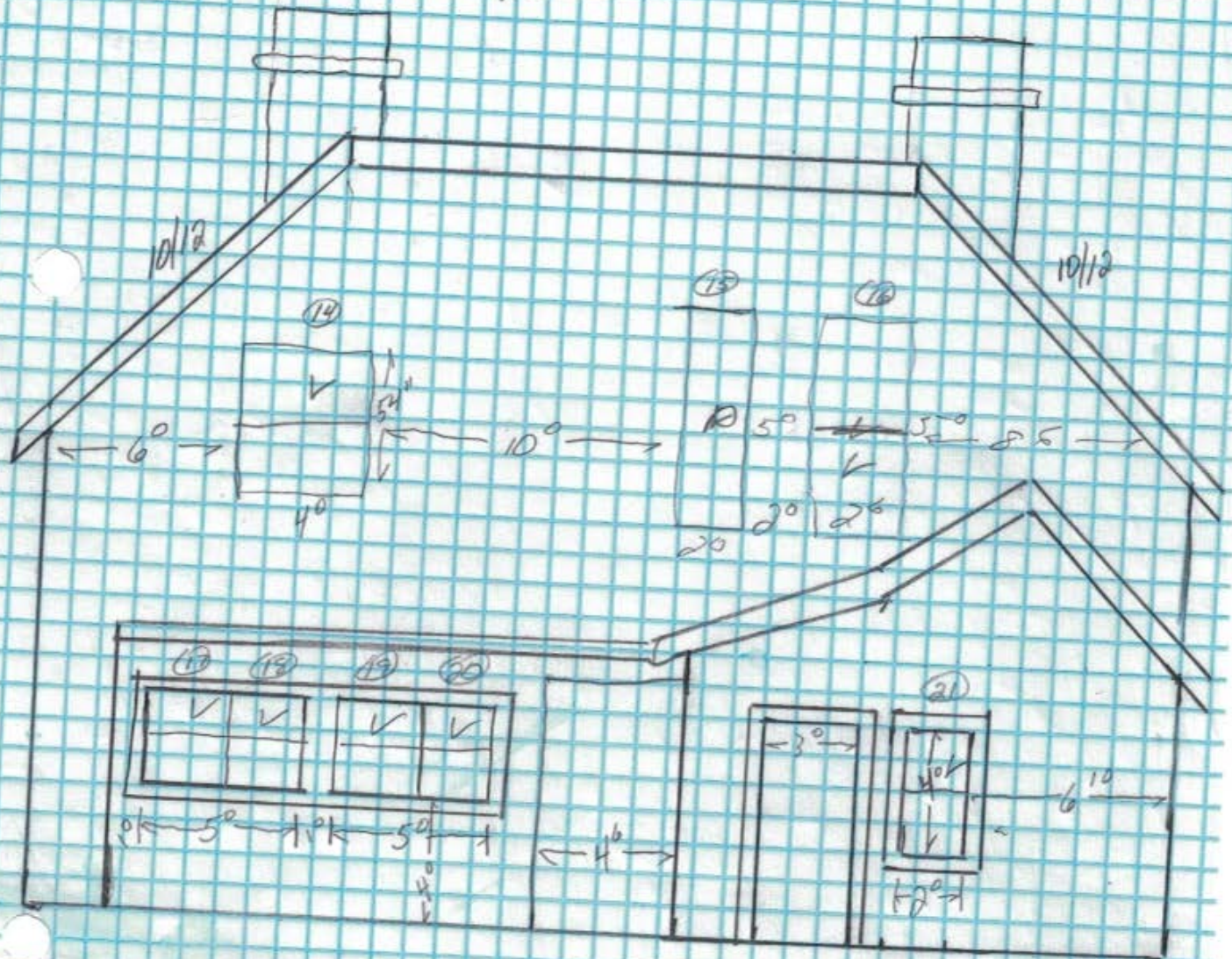
WINDOWS ①②③④⑤⑥⑦
WILL BE 4 LIGHT CASEMENTS



7/13/2020

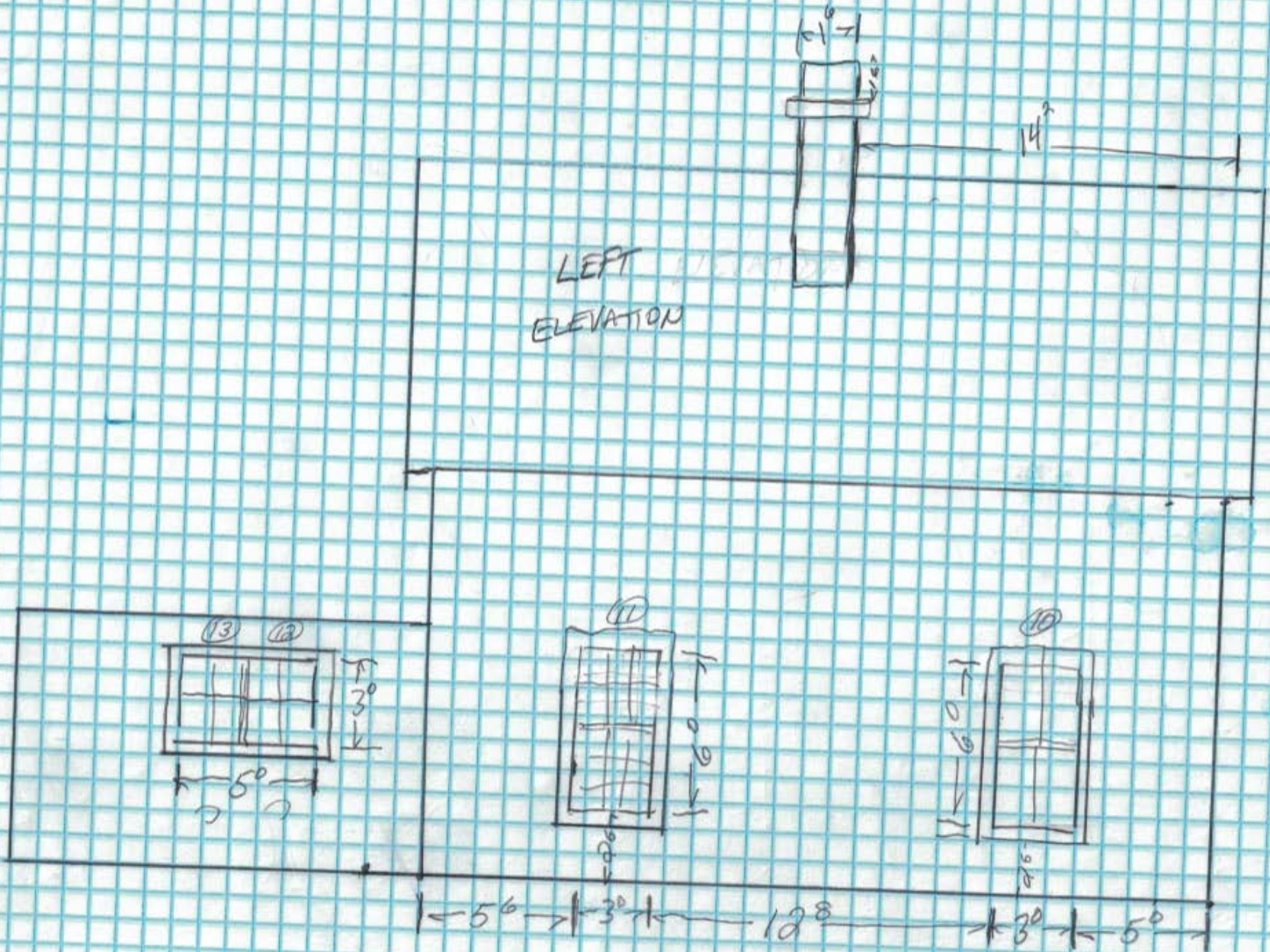
Planning
PLANNING REVIEW CERTIFICATION
Plan Approved: PLC
DATE:

REAR ELEVATION



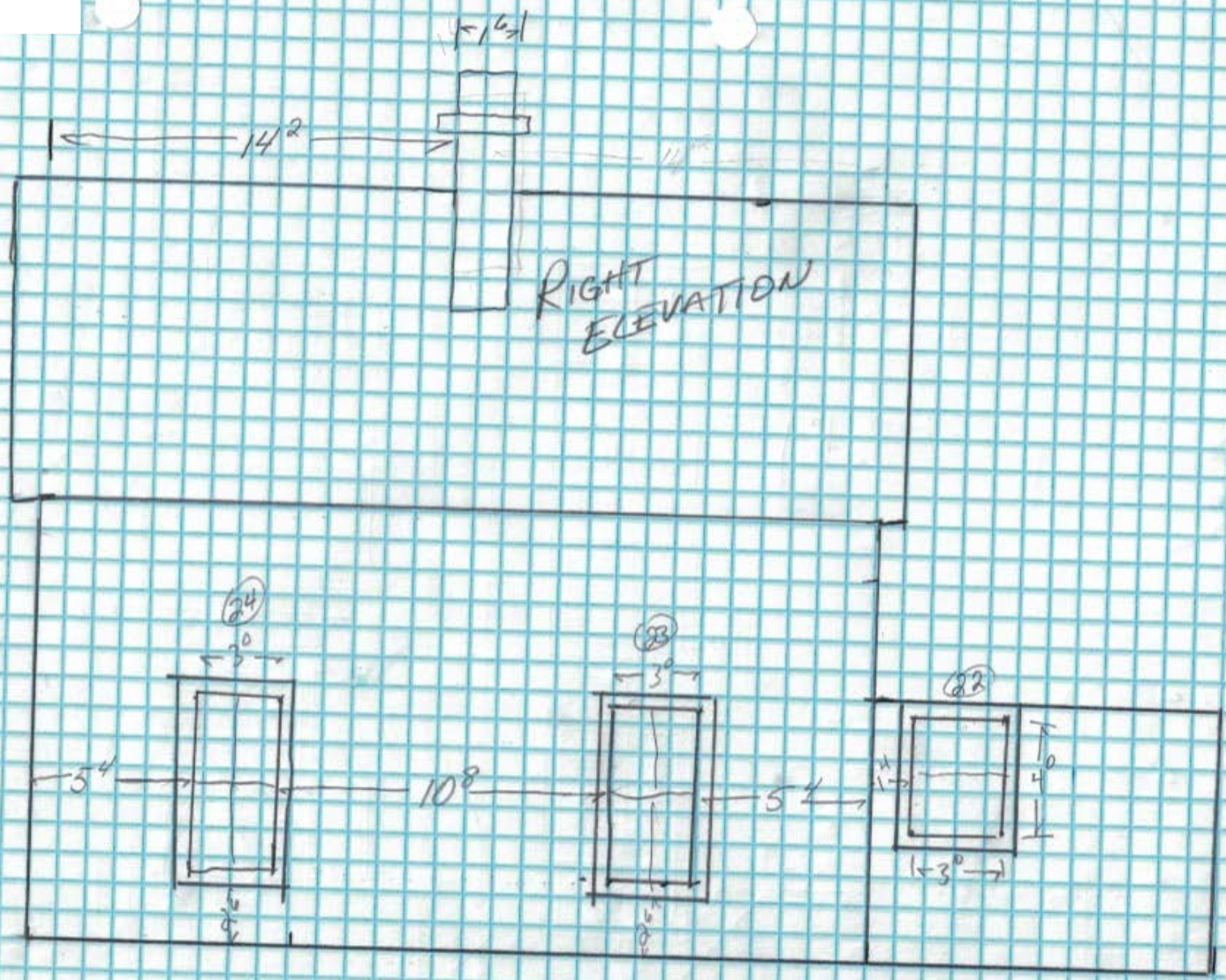
7/13/2020

Planning
H-INC-1 PLAN REVIEW CERTIFICATION
Plan Approved: LLC
DATE: _____
Planning Staff



7/13/2020

Planning
H-1NC-1 PLAN REVIEW CERTIFICATION
Plan Approved: LLC
DATE: _____
Planning Staff



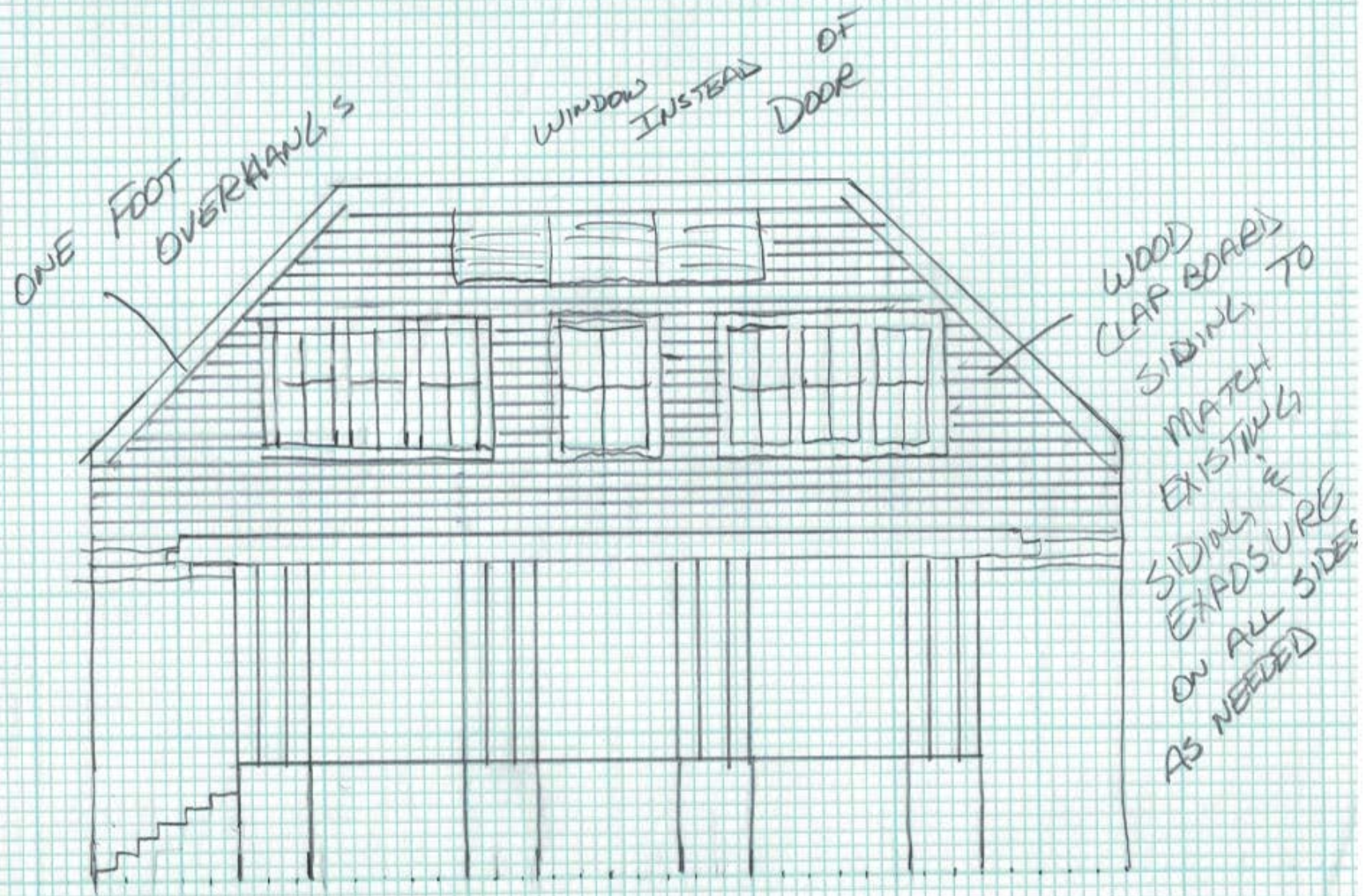
WINDOWS IN THE HOME

- ① 4 LITE CASEMENT WOOD 5" TRIM
- ② 4 LITE CASEMENT WOOD 5" TRIM
- ③ 4 LITE CASEMENT WOOD 5" TRIM
- ④ 4 LITE CASEMENT WOOD 5" TRIM
- ⑤ 4 LITE CASEMENT WOOD 5" TRIM
- ⑥ 4 LITE CASEMENT WOOD 5" TRIM
- ⑦ 4 LITE CASEMENT WOOD 5" TRIM
- ⑧ 2 OVER 2 SINGLE HUNG WOOD 5" TRIM
- ⑨ 2 OVER 2 SINGLE HUNG WOOD 5" TRIM
- ⑩ 2 OVER 2 SINGLE HUNG WOOD 5" TRIM
- ⑪ 6 OVER 6 SINGLE HUNG WOOD 5" TRIM
- ⑫ 4 LITE CASEMENT WOOD 5" TRIM
- ⑬ 4 LITE CASEMENT WOOD 5" TRIM
- ⑭ VINYL SINGLE HUNG NO GRID 5" TRIM
- ⑮ VINYL PICTURE WINDOW NO GRID 5" TRIM
- ⑯ VINYL SINGLE HUNG NO GRID 5" TRIM
- ⑰ VINYL SINGLE HUNG NO GRID 5" TRIM
- ⑱ VINYL SINGLE HUNG NO GRID 5" TRIM
- ⑲ VINYL SINGLE HUNG NO GRID 5" TRIM
- ⑳ VINYL SINGLE HUNG NO GRID 5" TRIM
- ㉑ VINYL SINGLE HUNG NO GRID 5" TRIM
- ㉒ VINYL SINGLE HUNG NO GRID 5" TRIM
- ㉓ 2 OVER 2 SINGLE HUNG WOOD 5" TRIM
- ㉔ 2 OVER 2 SINGLE HUNG WOOD 5" TRIM

SOFFITS TO BE PAINTED WOOD WITH
1 FOOT OVERHANG AS ON EXISTING HOUSE

NEW WINDOWS ①, ②, ③, ④, ⑤, ⑥, ⑦, ⑫, ⑬, ⑭

EXISTING WINDOWS ⑧, ⑨, ⑩, ⑪, ⑰, ⑱, ⑲, ⑳, ㉑, ㉒, ㉓, ㉔



ONE FOOT OVERHANG'S

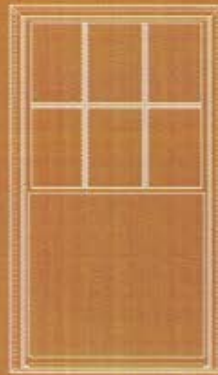
WINDOW INSTEAD OF DOOR

WOOD CLAP BOARD SIDING TO MATCH EXISTING SIDING & EXPOSURE ON ALL SIDES AS NEEDED

STANDARD GRILLE PATTERNS



Colonial



Half Colonial
(shown on casement)



Plaza



Prairie



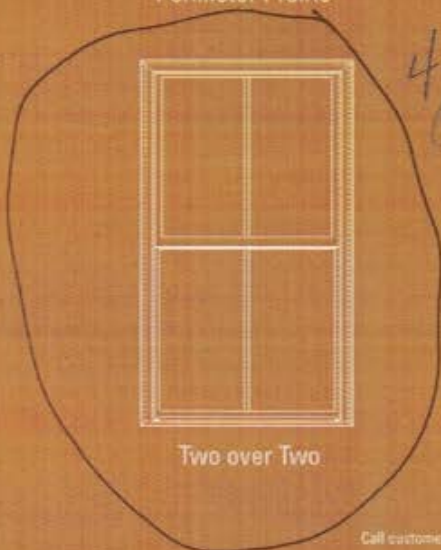
Perimeter Prairie



Three over Three



Three over One



Two over Two

*4 LIGHT
CASEMENT*



Two over One

Call customer service for optional grille patterns (800.999.6400)

200 CASEMENT & AWNING



WE WILL USE A
4 LIGHT CASEMENT



FEATURES

- 1 Low-maintenance cellular PVC exterior and brick mould ready to accept acrylic latex paints
- 2 Energy-efficient Warm Edge insulating glass
- 3 Smooth-functioning operating hardware, concealed for a clean appearance and allowing sash to open beyond a full 90°
- 4 4 1/2" jambis eliminate extensive drywall work
- 5 Sash and interior made with select clear wood ready for staining to match any interior décor - also available with primed interior for painting
- 6 Concealed multi-point locking system, enhancing weather performance and security
- 7 Leaf weatherstripping on sash and bulb weatherstripping on frame for air-tight performance and smooth operation
- 8 Single lever for operating locking system



Don't just add looks; add value with our 200 casing & awning wood/composite windows. They feature a weather-resistant stainless steel hinge track and an adjustable hinge that ensures consistent and precise operation. The sash opens a full 90° for simple cleaning. Low-maintenance cellular PVC exterior components and brick mould help resist rot and are ready to be painted. A selection of exterior cladding options and simulated-divided-lite (SDL) provide a historically accurate look to help enhance the beauty of your home.



A Concealed multi-point locking system, enhancing weather performance and security



B Sash and interior made with select clear wood ready for paint or stain to match any interior décor



C Smooth-functioning operating hardware, concealed for a clean appearance and allowing sash to open beyond a full 90°

1. Available option. 2. HP glass option combines Low-E with argon gas fill for high performance.