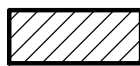




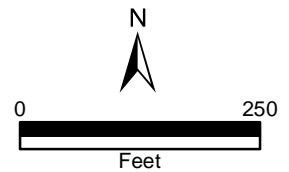
10-G-22-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1310 Forest Ave. 37916
Ft. Sanders NC

Original Print Date: 10/12/2022
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes



Meeting: 11/17/2022
Applicant: John Holmes
Owner: John Holmes

Property Information

Location: 1310 Forest Ave. **Parcel ID** 94 L N 028
District: Ft. Sanders NC
Zoning: RN-5 (General Residential Neighborhood)
Description: Queen Anne, c.1890

Two-story frame residence with a hipped roof and projecting front gable massings. Enclosed, hipped-roof front porch, Exterior of asbestos and vinyl siding, stuccoed foundation.

Description of Work

Level II Major Repair or Replacement

Revised drawings submitted after application was postponed at October 2022 HZC meeting.

Exterior rehabilitation, removal and reconstruction of front and rear additions, new front porch.

Exterior rehabilitation scopes include: replacement of roof with new asphalt shingle cladding; replacement of existing windows; removal of second-story entry on side elevation; removal of vinyl and asbestos siding and installation of new fiber cement lap siding; repair and reconstruction to foundation; removal of rear deck and construction of new second-story deck on the rear elevation; new secondary access on the rear second story.

Front addition (non-historic enclosed front porch) to be removed and reconstructed as a 6' deep front porch with a hipped roof and square post supports.

Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

B. Roofs

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs, and dormers.
3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal, and slate were used.
4. Darker shades of shingles were historically used and should be selected in new construction.

C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type
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construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.

2. Porches should be no less than 6 feet deep and no more than 10 feet deep. They may be recessed behind the main setback line or alternatively can extend 10 feet into the front setback line.

D. Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl, shingle (or shingle-like material), or brick should be used.

5. In making additions to existing buildings, wall cladding should complement the original wall covering. Acceptable materials are clapboard, vinyl siding, cement fiber board, brick, and stucco.

6. Materials that are not typical in pre-1940 construction should not be used. These include cinder block, T-111 siding, and stone facing.

E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.

2. Windows should be double-hung sash windows. Vinyl or metal-clad may be used in place of wood frame windows.

2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.

6. The proportions of upper-level windows should not exceed the proportion of the first level.

7. Upper-level windows should be provided and aligned with doors.

8. There should be at least 50% transparency that is created by windows or French doors and balconies on the recessed breaks between sections of buildings, including buildings joined together.

9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.

10. When parking areas are provided behind buildings, rear entrances are also allowed.

F. Parking

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.

2. Provide parking access off the alley or off a side street.

7. Surface parking area shall always be to the rear of the building.

H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.

3. Transitional space shall be provided between the addition and the existing structure. This should include a courtyard (200 sq. ft. minimum), and a connecting structure (e.g. porch or breezeway). The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' by 6' indentation.

4. Bays at least two feet in depth shall be provided for 50% of the side façade.

5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.

Comments

N/A

Staff Findings

1. The staff recommendation for the October 2022 HZC meeting was approval, subject to the following conditions: 1) revisions to front porch supports placement and design, with approval by staff; 2) retention of original projecting front-gable massing on façade; 3) retention of existing eave overhangs and cornice return, use of appropriately-sized cornerboards, window trim, and door trim; 4) front door spec to be submitted to staff for approval; 5) final site plan to reflect City Engineering standards. The elevation drawings also indicated casement windows when

guidelines recommend double-hung windows. Recognizing these were a significant number of changes not shown in elevation drawings, the Commission postponed the application to allow the opportunity the change to revise drawings.

2. 1310 Forest Avenue is a contributing resource to the Fort Sanders National Register Historic District and local overlay. The house is a modified Queen Anne, with a front addition from an enclosed front porch. The application does not involve additions to the building's existing footprint.
3. Removal of the non-historic front porch addition is appropriate within the guidelines. Reconstruction of a full-length, hipped-roof porch complements the house's original style and form. Guidelines recommend porch proportions and materials to be compatible with original design or historic houses on the block. The porch posts have been revised in placement and size to reflect historic proportions and porch symmetry. In the October meeting, the Commission also noted the need for additional detail on the shallow porch roof; the revised application indicates a simple horizontal frieze board under the porch eaves. While the rendering shows a flat porch roof, the hipped roof as shown on elevation drawings should be retained.
4. The application has been revised to indicate the retention of the projecting front-gable roof massing on the second story.
5. Basic exterior rehabilitation scopes, including removal of vinyl and asbestos siding and installation of fiber cement lap siding, installation of a new asphalt shingle roof, new 1/1 double-hung windows, and repair to the stucco-clad brick foundation, meet the design guidelines. Removal of non-historic secondary entries on the rear and side elevations is also appropriate. The final drawings should retain existing eave overhangs and the façade cornice return, and appropriately-sized cornerboards, window trim, and door trim.
6. The initially proposed casement windows have been replaced with double-hung windows, which meet the Fort Sanders design guidelines. Guidelines also recommend a door with similar proportions and features to comparable historic houses; the applicant should select a revised front door to staff for approval.
7. Final modifications to the site plan will be necessary to meet City Engineering standards for parking. The house and parking area need to remain below 45% impervious surface for the RN-5 zoning. The final site plan could be approved by staff, provided there are no substantial modifications to the addition's design and placement.

Staff Recommendation

Staff recommends approval of Certificate 10-G-22-HZ, subject to the following conditions: 1) retention of existing eave overhangs and cornice return, use of appropriately-sized cornerboards, window trim, and door trim; 2) front door spec to be submitted to staff for approval; 3) final site plan to reflect City Engineering standards.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

9/26/22

October 20, 2022

10-G-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

John Holmes

| Name | Company | | |
|--------------|--------------------|-------|-------|
| PO Box 1335 | Morristown | tn | 37816 |
| Address | City | State | Zip |
| 423-231-4980 | jholmes6@gmail.com | | |
| Phone | Email | | |

CURRENT PROPERTY INFO

| Owner Name (if different from applicant) | Owner Address | Owner Phone |
|--|---------------|-------------|
| 1310 Forest Ave | 094LN028 | |
| Property Address | Parcel ID | |
| Ft Sanders | RN-5, NC-1 | |
| Neighborhood | Zoning | |

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett

9.26.22

Please Print

Date

John Holmes
Applicant Signature

John Holmes

9/26/2022

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- Brief description of work: new siding, new roof, fascia, soffits, all exterior replaced, windows, doors, front porch rebuilt and restored to 6' porch
Replace brick foundation and repair as needed. Rebuild deck and stairs on rear, remove side access and door. Rebuild front steps

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- Brief description of work: see attached

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

- Brief description of work:

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

100

FEE 2:

FEE 3:

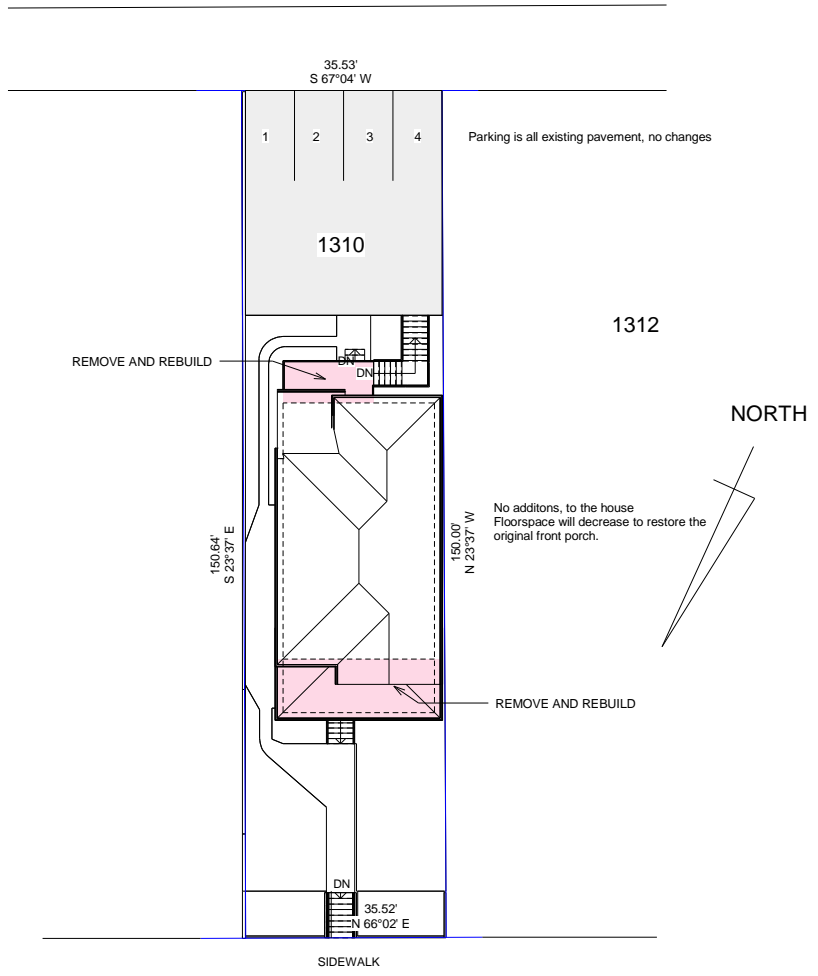
TOTAL:

100

PROPOSED DWELLING AT 1310 FOREST AVE KNOXVILLE TN 37916



| | |
|----------------|----------------|
| Owner | |
| Project Name | |
| COVER | |
| Project Number | Project Number |
| Date | Issue Date |
| Drawn By | Author |
| Checked By | Checker |
| A200 | |
| Scale | |

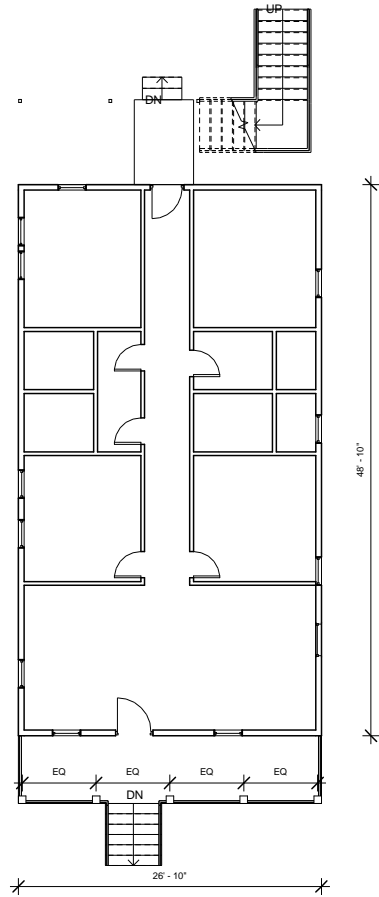


FOREST AVENUE

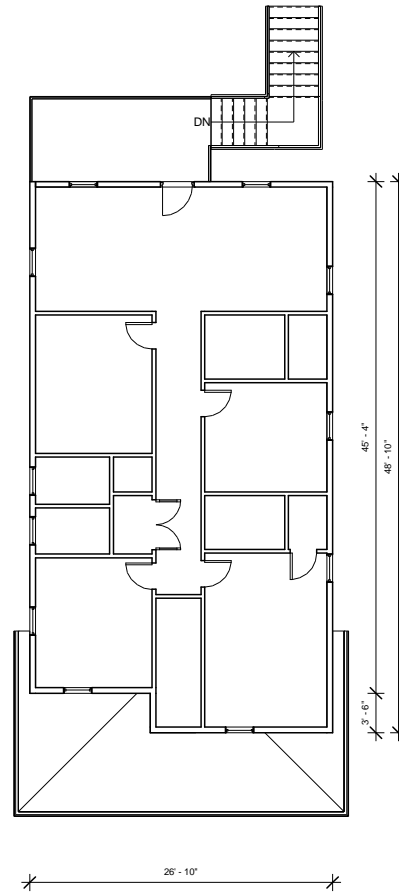
CENTERLINE OF PAVEMENT
50'-WIDE RIGHT-OF-WAY

① SITE PLAN
1/16" = 1'-0"

| | |
|----------------|----------------|
| Owner | |
| Project Name | |
| SITE PLAN | |
| Project Number | Project Number |
| Date | Issue Date |
| Drawn By | Author |
| Checked By | Checker |
| A201 | |
| Scale | 1/16" = 1'-0" |



② GROUND FLOOR PLAN
1/8" = 1'-0"

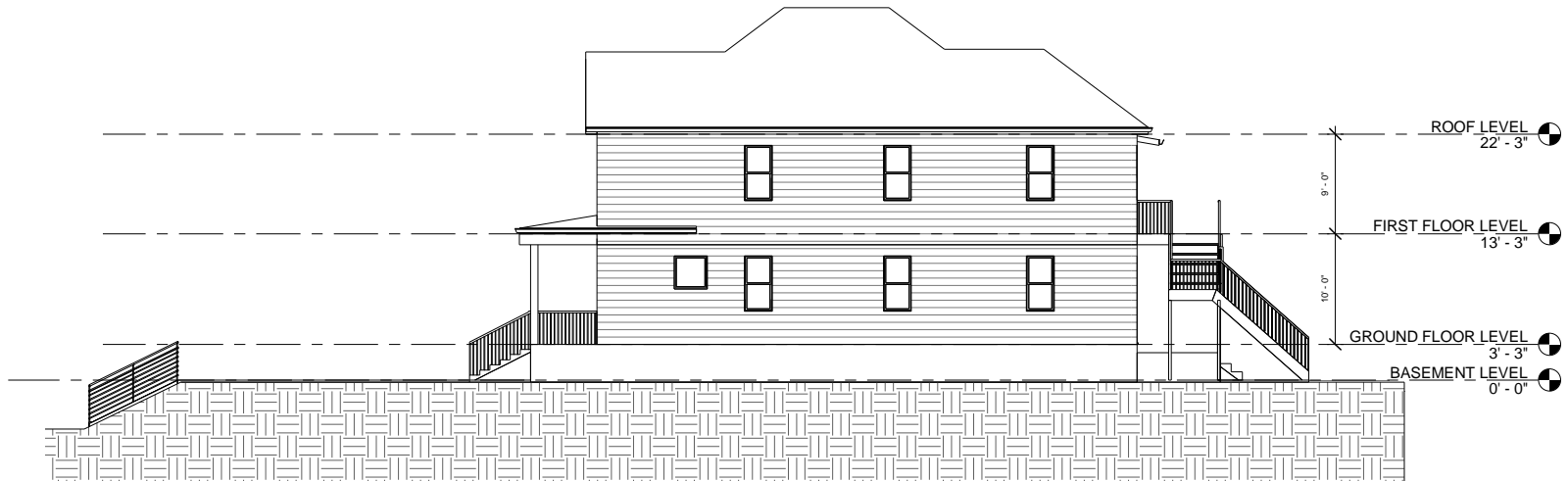


① FIRST FLOOR PLAN
1/8" = 1'-0"

| | |
|--------------------|----------------|
| Owner | |
| Project Name | |
| FLOOR PLANS | |
| Project Number | Project Number |
| Date | Issue Date |
| Drawn By | Author |
| Checked By | Checker |
| A202 | |
| Scale | 1/8" = 1'-0" |

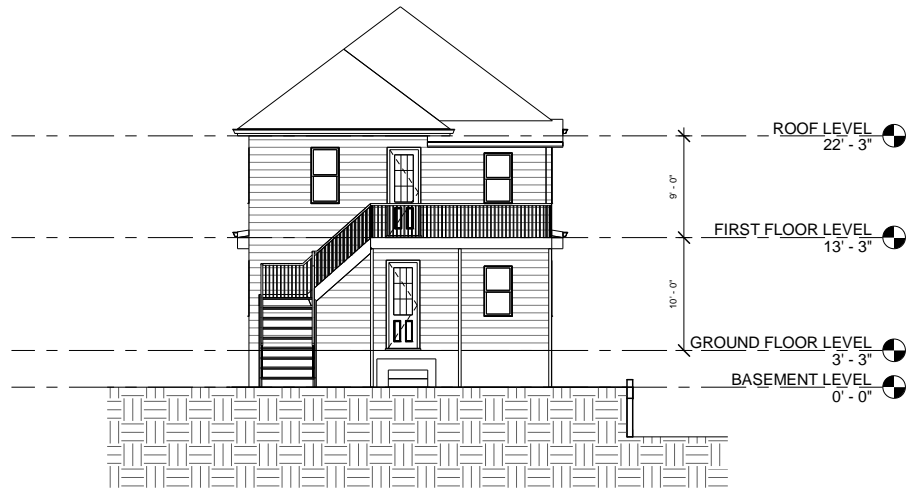


④ FRONT ELEVATION
1/8" = 1'-0"



① SIDE ELEVATION 1
1/8" = 1'-0"

| | |
|-----------------------|----------------|
| Owner Project Name | |
| ELEVATIONS | |
| Project Number | Project Number |
| Date | Issue Date |
| Drawn By | Author |
| Checked By | Checker |
| A203 | |
| Scale | 1/8" = 1'-0" |



① REAR ELEVATION
1/8" = 1'-0"



② SIDE ELEVATION 2
1/8" = 1'-0"

| | |
|-------------------|----------------|
| Owner | |
| Project Name | |
| ELEVATIONS | |
| Project Number | Project Number |
| Date | Issue Date |
| Drawn By | Author |
| Checked By | Checker |
| A204 | |
| Scale | 1/8" = 1'-0" |