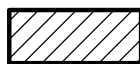


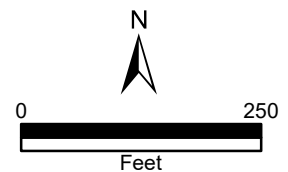
5-H-22-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



803 N. Fourth Ave. 37917
Fourth and Gill H

Original Print Date: 5/11/2022
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Dawn Snyder Ally Architecture



Meeting: 5/19/2022
Applicant: Dawn Snyder Ally Architecture
Owner: Kenn Davin

Property Information

Location: 803 N. Fourth Ave. **Parcel ID** 82 P A 030 082PA029
District: Fourth and Gill H
Zoning: C-G (General Commercial)
Description: N/A
Vacant lots.

Description of Work

Level III Construction of New Primary Building

New townhouse development at the intersection of N. 4th Avenue and Gill Avenue; façades will front N. 4th Avenue and side elevation will front Gill Avenue. The development includes eight adjoining townhouses, with an overall rectangular footprint measuring 144' long. The townhouses are 21'-6" wide with an additional 7' deep front porch on the south elevation (fronting Gill Street), and 26'-5" wide on the north elevation. The overall massing features eight adjoining 18' wide, three-story townhouses. The townhouses have individual, 8/12 pitch, front-gable roofs, intersected by lower 4/12 pitch roof crickets for drainage. The roofs are clad in asphalt shingles, the exteriors are clad in brick veneer, and any visible foundations are clad in brick. Windows are aluminum-clad wood.

The townhouses are proposed to be set 15' from the front property line, with the front porches set 12'-11" from the front property line. A paved parking area is located to the rear of the townhouses, accessed by a 22' wide driveway extending north from Gill Street. The parking area provides 14 parking spots and is 43' wide at the widest section.

Each unit's façade (east) features three stories. The lower two stories are clad in brick veneer, which projects outward on the right side of each unit, creating a series of repeating rectangular massings. A horizontal dimensional brick veneer pattern is applied to units 1 and 2, and 5 and 6, with an alternating dimensional brick pattern at units 3 and four, and 7 and 8. On the left side of the first story, a 7' deep front porch is topped by a flat roof which projects outward from the façade. The third story features a porch recessed below the primary roof gable, which features a gable field clad in a decorative wood screen. The third story is clad in fiber cement lap siding.

Each façade features a 7' by 6' two-light fixed window, an aluminum-clad entry recessed and set at a 90-degree angle to the entry porch, and a 6' by 3' fixed single-light window on the projecting rectangular massing. Two additional single-light windows (one 6' by 4' window and one smaller 4' by 2'-6 rectangle) are located on the second story. Recessed on the third story are an additional rectangular fixed window and a full-light aluminum-clad wood door adjoining a full-light sidelight.

The south elevation (fronting Gill Avenue) features fixed, single-lights windows on the first, second, and third

stories, with wall openings on the first and third story porches.

The west (rear) elevations feature a section of dimensional brick veneer extending between the first and second stories, with the remainder clad in fiber cement lap siding. Fixed, single-light windows, 4' wide by 2'-6" tall, are located on the first, second, and third stories, with sections of flat fiber cement panels. A secondary entry is provided for each unit, topped by a flat metal canopy.

The north elevation features a two-story, rectangular massing clad in brick veneer with the recessed section clad in fiber cement lap siding. A wall opening is located at the third-story roof terrace.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Infill Buildings

There are vacant lots on many of the streets in the Fourth and Gill Historic District. They cause a gap in the streetscape, and should be redeveloped with new buildings that are sympathetic to the historic design of buildings in the neighborhood.

New buildings should be contemporary in spirit. They should not be imitations of buildings of the past; rather they should respond to the present time, the environment, and the use for which they are intended. New buildings constructed in historic areas should, however, be compatible with older structures and sensitive to the patterns already in their environment.

The materials that cover its exterior surface largely determine the appearance of a building. Similar materials develop a certain continuity and character. A building should not be visually incompatible or destroy historic relationships within the neighborhood. At the same time, new construction should not imitate historic style or period of architecture. This is also true for freestanding garages, sheds, and other outbuildings.

Width of Houses and Lots

Fourth and Gill developed along streetcar tracks, which followed a straight line. This formed the pattern of streets in the neighborhood, and set the pattern for lot sizes. As a result, the lots of Fourth and Gill are usually rectangular, with their narrowest side parallel to the street. The houses are also rectangular, or irregular, with narrow sides facing their street. This development pattern should be respected if new structures are built in the neighborhood. The consistent setbacks of the neighborhood create a visual order, help define public and private space, provide a margin of privacy for residents, and permit landscaping in front of a building.

1. Maintain the historic façade lines of streetscapes by locating the front walls of new buildings in the same plane as the facades of adjacent buildings. A new building should continue and reinforce the alignment established by neighbors. Never violate the existing setback pattern by placing new buildings in front of behind the historic façade line.
2. Avoid placing buildings at odd angles to the street.

Scale and Massing

The houses in the Fourth and Gill Historic District have a shape, or bulk, consistent with their time of construction. They appear larger than new buildings, with set back or projecting bays not found on many new buildings. The appearance this lends to the neighborhood is an important design attribute.

1. Relate the size and proportions of new structures to the scale of adjacent buildings.
2. Break up uninteresting boxlike forms into smaller, varied masses like those of most buildings from the historic period. Variety of form and massing are essential to the character of the streetscape.
3. New buildings should be designed with a mix of wall areas with door and window elements in the façade like

those found on the neighborhood's historic houses. Also consider the width-to-height ratio of bays in the façade. The placement of openings with respect to the façade's overall composition, symmetry, or balanced asymmetry should be carefully imitated.

4. Relate the vertical, horizontal, or nondirectional façade character of new buildings to the predominant directional alignment of nearby buildings. A new building should continue and reinforce the alignment established by its neighbors. Alignment is basically the arrangement of objects in a straight line. The horizontal alignment of building elements such as porches, roofs, windows, etc., is one of the most effective ways of creating and maintaining a sense of relationship, a sense of connection, and unity among the elements of a street.

5. Relate the roof forms of the new buildings to those found in the area. Duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Height of Foundations and Stories

Historic houses in the Fourth and Gill Historic District are not built on slab foundations. They are built on raised foundations, usually of masonry. The color and texture of these brick, stone or stuccoed foundations adds richness to the neighborhood. The height of each story is enough to allow for interior ceilings that are more than eight feet tall. If infill housing is constructed, it should suggest the overall height, as well as the foundation and story height, of adjacent historical houses.

1. As a general rule, construct new buildings to equal the average height of existing buildings on the street.
2. Raised foundations, or the appearance of raised foundations, must be designed for any new housing constructed in Fourth and Gill. The height of the foundation should replicate those of adjoining buildings.
3. If building new structures, the eave lines should conform to those of adjacent properties. Divisions between stories should either be omitted, or should mimic neighborhood buildings

Materials

1. The materials used for new buildings should be consistent with existing historic building materials along the street.

Features

1. Always design front facades with a strong sense of entry. Strongly emphasized side entries, or entries not defined by a porch or similar transitional element, result in an incompatible flat first-floor façade.
2. Avoid replicating or imitating the styles, motifs, or details of older periods. Such attempts can present a confusing picture of the true character of the historical area.

Roofs

1. The shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style.
2. The eaves on additions or new buildings should have an overhang that mimics [...] the existing buildings near the property. A minimum eave overhang of at least eight inches should be used on new construction. Fascia boards should be included on the gables.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, and other unique roof features). Use some of these details in designing new buildings.
4. Materials used in new construction should duplicate the original roofing materials if possible. Asphalt shingles can be appropriate [...] and the color should be a dark green, charcoal gray, black or dark reddish brown to simulate the original roof colors.

Porches

3. New front porches in Fourth and Gill must be large enough to provide seating, ie. six to eight feet in depth.
4. In new construction, the proportion of the porches to the front facades should be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades, and porch flooring must use

materials that present a visually and physically appropriate appearance historically.

Entrances

Historic characteristics: The doors originally used on Fourth and Gill houses were wooden, often with beveled glass or stained glass inserts. Screen doors were commonly used.

1. Entry features that should be preserved include sidelights and transoms of plain, patterned, beveled or stained glass, fan light windows, entablatures and the original doors.
3. Service (rear or side) entrances should not be altered to make them appear to be formal entrances by adding paneled doors, fanlights, or sidelights.
4. Secondary entrances should be compatible with the originals in size, scale, or materials but should not give the appearance of a primary entrance.

Wall Coverings

3. New construction should use wood materials rather than aluminum or vinyl siding. New buildings should also use corner and trim boards and appropriate window and door trim. Concrete composition planks may be appropriate for new construction.

Driveways and paving: New curb cuts and parking lots should be kept to a minimum. The addition of curb cuts results in removing historic sidewalks, curbs or retaining walls. Access through alleys is preferable to adding curb cuts, or allowing front yard parking.

SOI Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Comments

The proposal has been submitted to the Fourth and Gill Neighborhood Organization at one on-site meeting and an additional meeting with the neighborhood board. The proposal was discussed at a workshop at the April 21 HZC meeting.

Staff Findings

BASE ZONING AND USE

1. The property to receive new construction is zoned C-G-2, which is a general commercial zoning district "intended to provide for a heterogeneous mix of retail, personal service, office, and residential uses within and along Knoxville's commercial nodes and corridors. The C-G district is intended to promote mixed-use development in a pedestrian-oriented environment." The proposed townhouses are a permitted use in the C-G-2 zoning and will continue the residential use pattern of the overall neighborhood, while locating increased density on the neighborhood's edge.
2. The C-G-2 zoning includes dimensional standards distinct from typical residential zoning, including a 0' to 20' build-to zone instead of a minimum front setback. The C-G-2 zoning also carries design standards for façade and fenestration design, including a minimum transparency on 30% of the façade's ground floor and 15% on the upper floors. The design standards are generally compatible with the Fourth and Gill neighborhood design guidelines and appear to be met by the proposed design. Final review of the C-G-2 zoning will be completed during permitting and any modifications should also adhere to the design guidelines.
3. The zoning code also carries specific principal use standards for new townhouses. These standards include the

use of consistent materials which wrap around all elevations; the use of windows, projected or recessed entries, and other dimensional elements on facades; and a minimum separation of 15' between sidewalls of townhouse buildings. Final review of the principal use standards will be completed during permitting and any modifications should also adhere to the design guidelines.

PLACEMENT; HEIGHT, SCALE, & MASSING

4. The townhouses are proposed for two lots which are uniquely sized for Fourth and Gill. Both lots were originally approximately 150' deep, consistent with the neighborhood pattern. 803 N. Fourth Ave (161 N. Fourth Ave on the 1890 Sanborn map) has remained at 100' wide since at least 1890, and originally held one house and an outbuilding. 807 N. Fourth Ave is 50 feet wide. The lots were cut in half in the mid-1960s when I-40 was constructed to the immediate west of the subject properties (and further decreased in size when the interstate was widened around 2006). The properties are on the eastern edge of the neighborhood, severed from the rest of the context by I-40. The two lots will be combined into one property. The subject property is a corner lot, which requires additional elaboration on the side elevation.

5. The house's proposed setback is 15' from the primary massings to the front property line, and 12'-11" from the front porches to the front property line. The adjacent house is approximately 17' from the front property line. The proposed townhouses will maintain the historic façade lines of the block and continue the established front setback pattern. The townhouses are clearly oriented towards N. Fourth Ave and set at a consistent angle to the street.

6. Guidelines recommend avoiding "replicating or imitating the styles, motifs, or details of older periods," and encourage compatibility in interpretation of historic styles and forms seen in the neighborhood. While buildings should "respond to the present time, environment, and use for which they are intended," they should also be "sensitive to patterns already in their environment" and avoid being "visually incompatible." The proposed house is contemporary in style and uses steeply-pitched front-gable roofs and siding details to connect to the neighborhood context. The Commission should discuss if the proposal is visually compatible with the historic context.

7. Due to the building form and use, the townhouses' proportions differ from the single-family houses fronting N. Fourth Ave and in the broader neighborhood. At 32' tall to the roof's midpoint and approximately 41' from street-level to roof peak, the townhouses are shorter in height than the adjacent house at 815 N. Fourth Avenue. The reduced height assists in the townhouses' compatibility with the context, despite the units being three stories tall. Guidelines recommend constructing new buildings to equal the average height of buildings on the street, which this application does achieve.

8. The individual townhouses are more narrow in both façade width and side elevation depth than historic houses in the neighborhood. In particular, the Gill Avenue (south) elevation will be significantly smaller than the neighborhood context. The Commission and applicants should discuss tactics to create a more substantial visual presence from Gill Avenue, including extending a full- or half-height masonry wall towards the west if a larger building is not possible. While line-of-sight issues associated with the parking lot and driveway may challenge this detail, a revised proposal for this element could be reviewed by staff and/or the Commission along with City Engineering.

9. To break up the large form and the narrow townhouse units, the proposal uses projecting rectangular sections, siding details, and recessed porches to create smaller varied massings. The design successfully creates a "variety of form and massing" recommended by the guidelines. The "mix of wall areas with door and window openings" noted in the guidelines is applied in a contemporary style, with asymmetrically-arranged contemporary window forms and porch elements. Also using a contemporary interpretation, the "vertical façade character" of the townhouses are compatible with the adjacent house at 815 N. Fourth, as that house incorporates strong intersecting vertical and horizontal elements with the two-story, flat roof porch.

10. The proposal uses gable roof forms to "relate to roof forms [...] found in the area." Due to the narrow size of

the individual townhouses, the roof forms are smaller in size than a typical historic house's front-gable roof and repeated eight times. The 8/12 gable roofs are compatible with historic forms in the neighborhood, though more narrow as the proposal accommodates eight individual units with eight roofs. The application does include eave overhangs on side and rear elevations. The Commission should discuss the proposed roof forms.

BUILDING FEATURES

11. The building appears to be designed for a slab foundation, a variation from the design guidelines which may be appropriate for this particular site. The applicant should clarify the proposed foundation method and height for the Commission's further input.

12. Guidelines recommend a "strong sense of entry." The proposal includes doors which are set at a 90-degree angle to the façade and recessed on a porch, though the porch also features significant transparency via a 7' tall two-light window. The Commission should discuss if this provides a sufficiently strong sense of entry.

13. The design includes a 7' deep, approximately 10' wide front porch for each unit; the porches are a good interpretation of the guidelines' emphasis on new front porches to the townhouse form and a contemporary style. The townhouse units also include an additional third-story balcony and recessed porch.

MATERIALS

14. Asphalt shingles are an appropriate roofing material within the design guidelines. The final selection should use dark green, dark gray, black, or another dark color to simulate roof colors on historic houses.

15. While the aluminum-clad wood door with one narrow vertical light is distinct from historic door forms, it is compatible with the townhouses' overall style and will be minimally visible from the right-of-way, since it will be set at 90-degree angle to the façade and recessed on a porch.

16. Fiber cement lap siding has been approved previously for new construction in the Fourth and Gill overlay, most recently for new construction on Deery and Morgan Streets. The final siding selection should be smooth-finished instead of faux-grained and use an exposure width compatible with historic siding (usually 4" or 5").

17. The use of brick cladding will further connect with historic structures in the neighborhood, especially as many of the masonry buildings in Fourth and Gill are also historic multi-family structures. The applicant has opted to alternate the dimensional brick pattern on pairs of units to visually align the narrow units with larger widths.

18. The application includes a substantial amount of transparency, provided by fixed and casement single-light aluminum-clad wood windows. Aluminum-clad wood windows have been approved for new construction projects in Fourth and Gill. The windows vary in size, orientation, and arrangement. In the opinion of staff, the window forms would most likely not be appropriate as replacement windows, for additions to historic houses, or for other locations in Fourth and Gill. Guidelines note that windows are critical elements in making new construction compatible with the historic character. The Commission should discuss the various window forms and their appropriateness for the design and the overall context.

19. The rear elevations will be minimally visible from both Fourth and Gill Avenues, and visible primarily from the interstate. The Commission may choose to discuss any additional design elements to create visual interest to a relatively flat elevation.

SITE ELEMENTS

20. The application includes a rear parking area with the minimum amount of parking spots required by the property's base zoning and use, including a potential reduction for a nearby bus stop. Some revisions to the parking area and site plan may be required in permitting; final site plan should meet City Engineering standards.

21. The application includes some proposed landscaping as shown on the site plan. The final drawings will need to meet all relevant landscaping requirements from the City zoning code (including 12.7.B for multi-family developments).
22. The site plan and elevation drawings indicate retention of/repair to the original corner steps at the intersection of Fourth and Gill, and the existing stairs further north on Fourth Avenue. These elements, along with the existing retaining wall, are character-defining features for the block and should be preserved.
-

Staff Recommendation

The Commission should discuss the townhouses' proposed style and their visual compatibility with the surrounding context; the narrow massing of the individual units in relation to the block; and the proposed roof and window forms.

Pending approval or additional conditions based on the above topics, staff recommends approval of Certificate 5-H-22-HZ subject to the following conditions:

- 1) Meeting all relevant dimensional and design standards for the C-G-2 zoning (5.3 and 5.4);
- 2) Meeting principal use standards for townhouse dwellings (9.3.I);
- 3) Incorporating a decorative wall, building extension, or other tactic determined to increase the building's visual depth along Gill Avenue, with approval by staff
- 4) All fiber cement lap siding to be smooth-finished and use an exposure pattern compatible with historic siding;
- 5) Meeting all relevant landscaping standards of the zoning code (12.7.B);
- 6) Final site plan to meet City Engineering standards



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☐ INFILL HOUSING (IH)

Applicant

5-H-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Name

Company

Address

City

State

Zip

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

Property Address

Parcel ID

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

5.2.22

Staff Signature

Please Print

Date

Kelsey Gaines

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: _____

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	250.00	TOTAL: 250.00
250.00		
FEE 2:		
FEE 3:		

PROJECT TEAM

OWNER

Connolly Development Ventures
Chattanooga, TN

ARCHITECT

Ally Architecture
Chattanooga, TN

LOCAL LIASON

Fork Design
Knoxville, TN

CIVIL ENGINEER

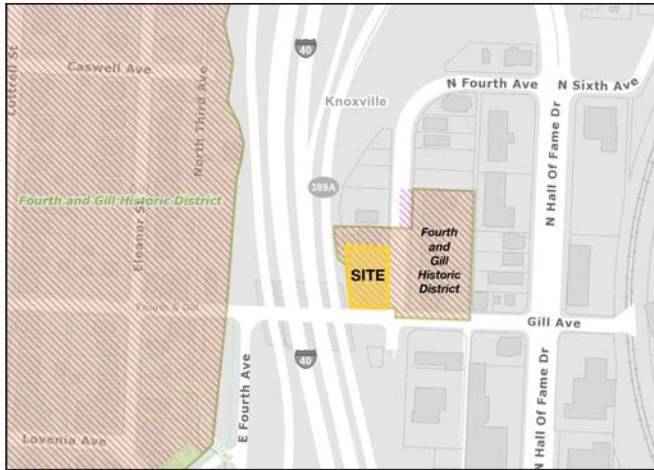
March Adams & Associates, Inc.
Chattanooga, TN

4TH AND GILL TOWNHOMES

803 & 807 N. 4TH AVENUE, KNOXVILLE, TENNESSEE

HISTORIC ZONING COMMISSION - SUBMISSION - 05.02.22





HISTORIC ZONING CONTEXT

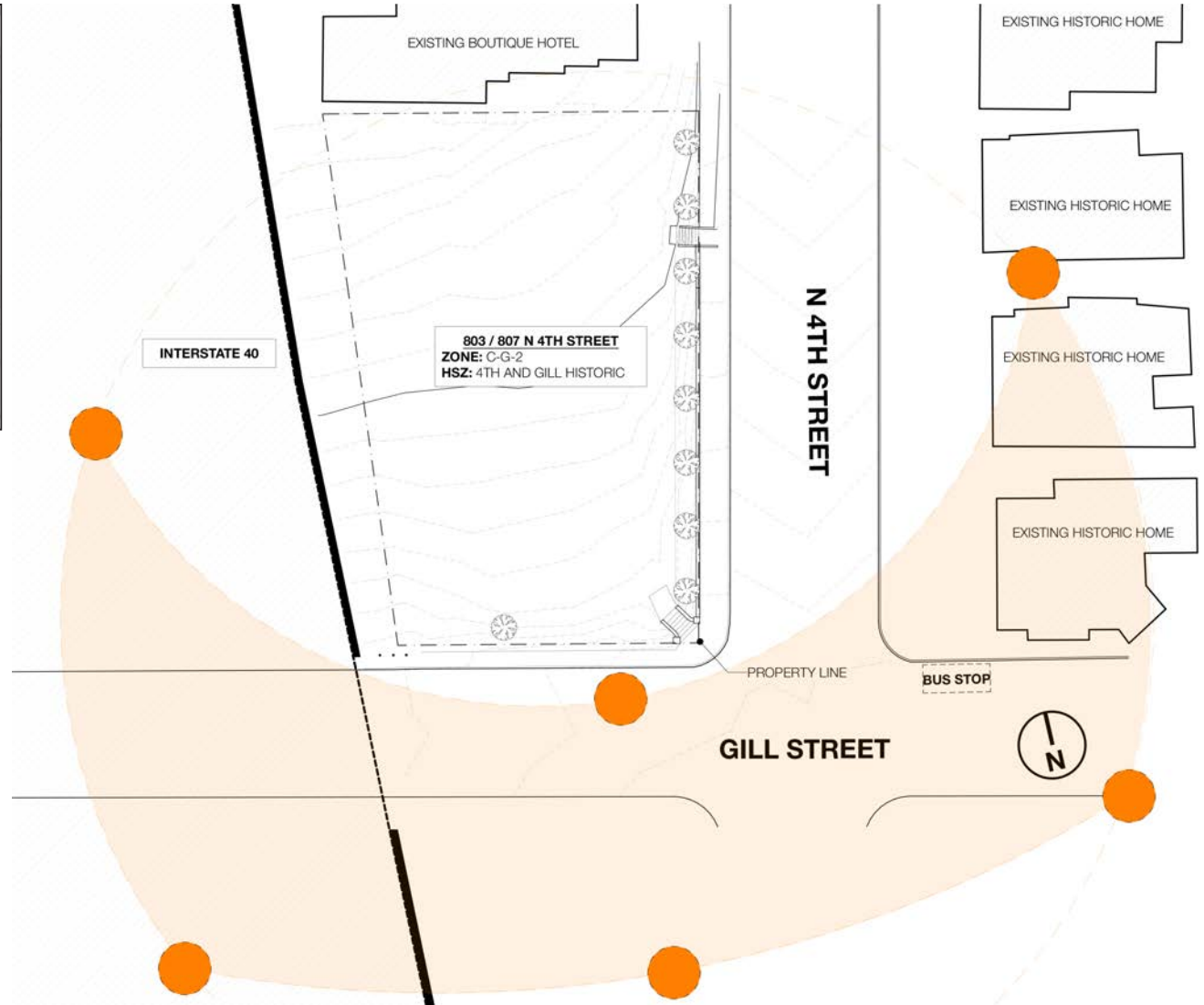


ZONING CONTEXT

4TH AND GILL TOWNHOMES

803 & 807 N. 4TH AVENUE, KNOXVILLE, TENNESSEE

HISTORIC ZONING COMMISSION - SUBMISSION - 05.02.22



SITE ANALYSIS

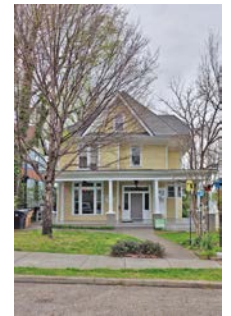
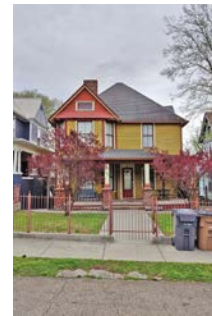




PROPERTIES DIRECTLY ADJACENT TO SITE



PROPERTIES ACROSS THE STREET FROM THE SITE

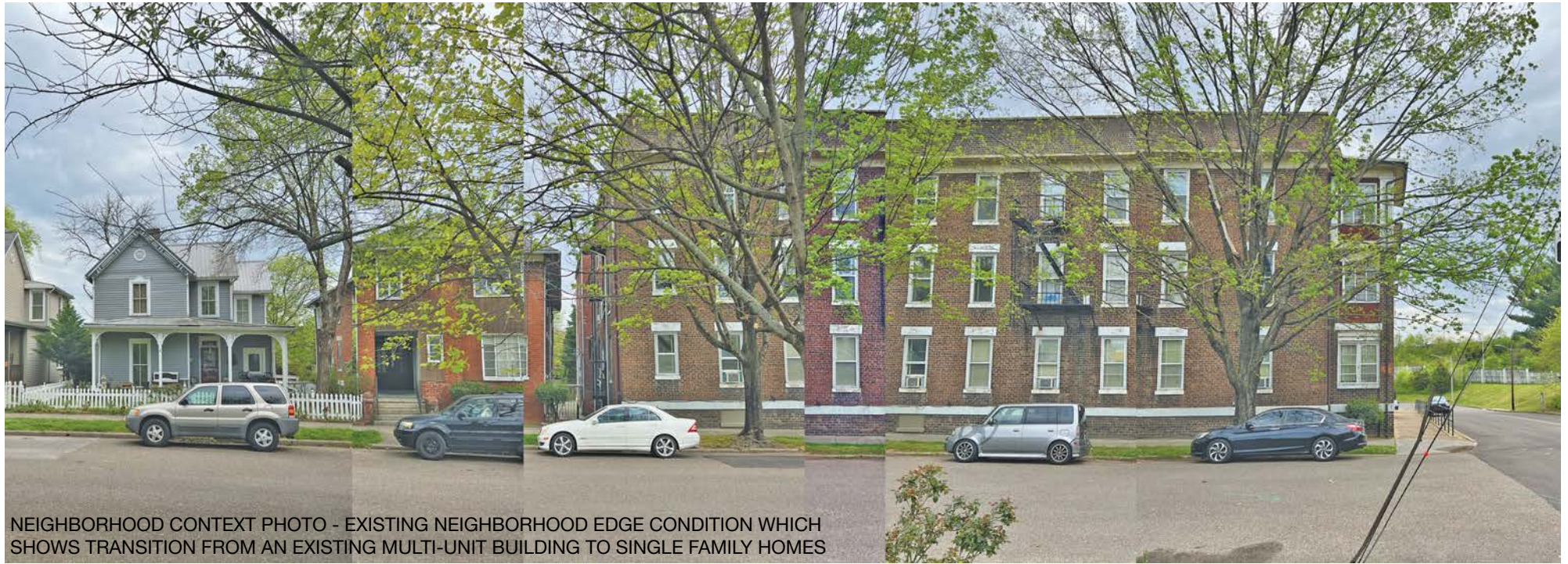


4TH AND GILL TOWNHOMES

803 & 807 N. 4TH AVENUE, KNOXVILLE, TENNESSEE

HISTORIC ZONING COMMISSION - SUBMISSION - 05.02.22





NEIGHBORHOOD CONTEXT PHOTO - EXISTING NEIGHBORHOOD EDGE CONDITION WHICH SHOWS TRANSITION FROM AN EXISTING MULTI-UNIT BUILDING TO SINGLE FAMILY HOMES



THE PROPOSED TOWNHOMES ON 4TH & GILL WOULD BE DRAWING FROM THE LARGER NEIGHBORHOOD PRECEDENTS WHERE SEVERAL MULTI-FAMILY UNIT BUILDINGS EXISTING WITHIN THE SAME CONTEXT AS SINGLE FAMILY HOMES. MANY EXAMPLES WERE FOUND AT THE PERIMETER OF THE NEIGHBORHOOD AND CREATE AN EDGE AND BOUNDARY FOR THE NEIGHBORHOOD.

4TH AND GILL TOWNHOMES
803 & 807 N. 4TH AVENUE, KNOXVILLE, TENNESSEE

HISTORIC ZONING COMMISSION - SUBMISSION - 05.02.22



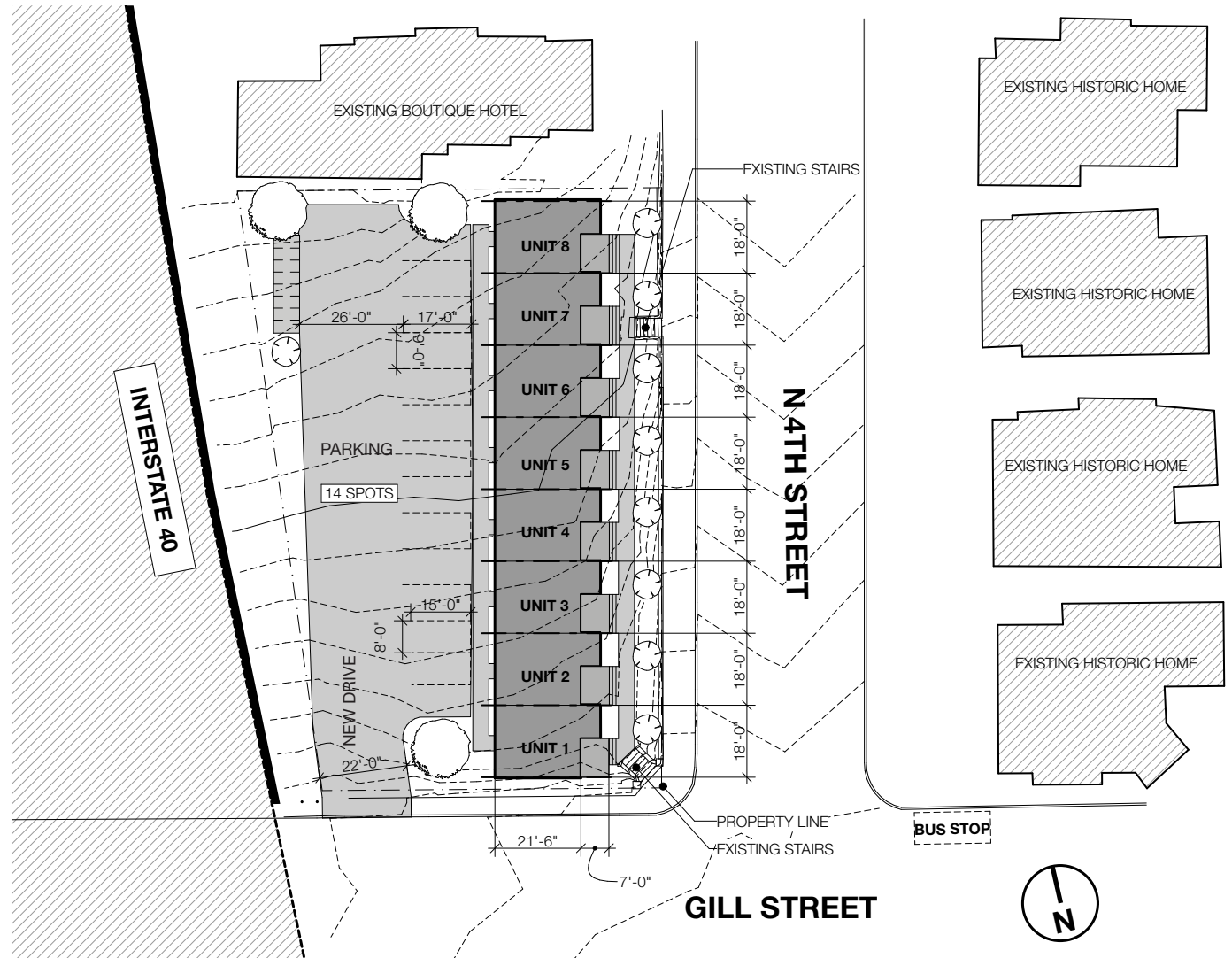
DESIGN CONSIDERATIONS:

- COMPLETION OF THE CORNER
- GATEWAY TO THE NEIGHBORHOOD
- SETBACK TO ALIGN W/ NEIGHBORING PROPERTY
- SIMILAR SCALE TO NEIGHBORING PROPERTY
- BUILDING PROVIDES A BUFFER FROM INTERSTATE
- ACTIVATION OF STREET EDGE
- RESTORATION OF EXISTING STEPS/RETAINING WALL
- BEAUTIFICATION CREATED BY LANDSCAPE ZONE
- TOWNHOME UNITS STEP ALONG NATURAL GRADE
- STRONG SENSE OF ENTRY WITH COVERED PORCH
- NEIGHBOR ENGAGEMENT WITH LOWER PORCH AND UPPER COVERED DECK
- GABLED ROOF FORM BLENDS INTO NEIGHBORHOOD FABRIC
- FRONT FACADE EXTENDS AND RECESSES TO CREATE RHYTHM
- BRICK PATTERN AND VARIATION CREATES TEXTURE
- COMPLIMENTARY MATERIALS INCLUDE:
 - COMMON BRICK BOND W/ CORBEL PATTERN
 - FIBER CEMENT LAP SIDING
 - ASPHALT SHINGLE ROOF

PROJECT DESCRIPTION:

- C-G-2 ZONE (COMMERCIAL)
- 8 TOWNHOME UNITS
- 3 STORIES
 - 1ST FLOOR - LIVING SPACE
 - 2ND FLOOR - BEDROOM / BATHROOM
 - 3RD FLOOR - FLEX SPACE / ROOF DECK
- 41FT IN HEIGHT APPROXIMATELY
- 14 PARKING SPACES DEDUCED DUE TO PROXIMITY TO BUS STOP
- FRONT SETBACK: 15FT PROVIDED
- CORNER SIDE SETBACK: 0FT PROVIDED
- INTERIOR SIDE SETBACK: NONE REQUIRED
- REAR SETBACK: NONE REQUIRED

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SITE PLAN - NEW

4TH AND GILL TOWNHOMES
803 & 807 N. 4TH AVENUE, KNOXVILLE, TENNESSEE

803 & 807 N. 4TH AVENUE, KNOXVILLE, TENNESSEE

HISTORIC ZONING COMMISSION - SUBMISSION - 05.02.22



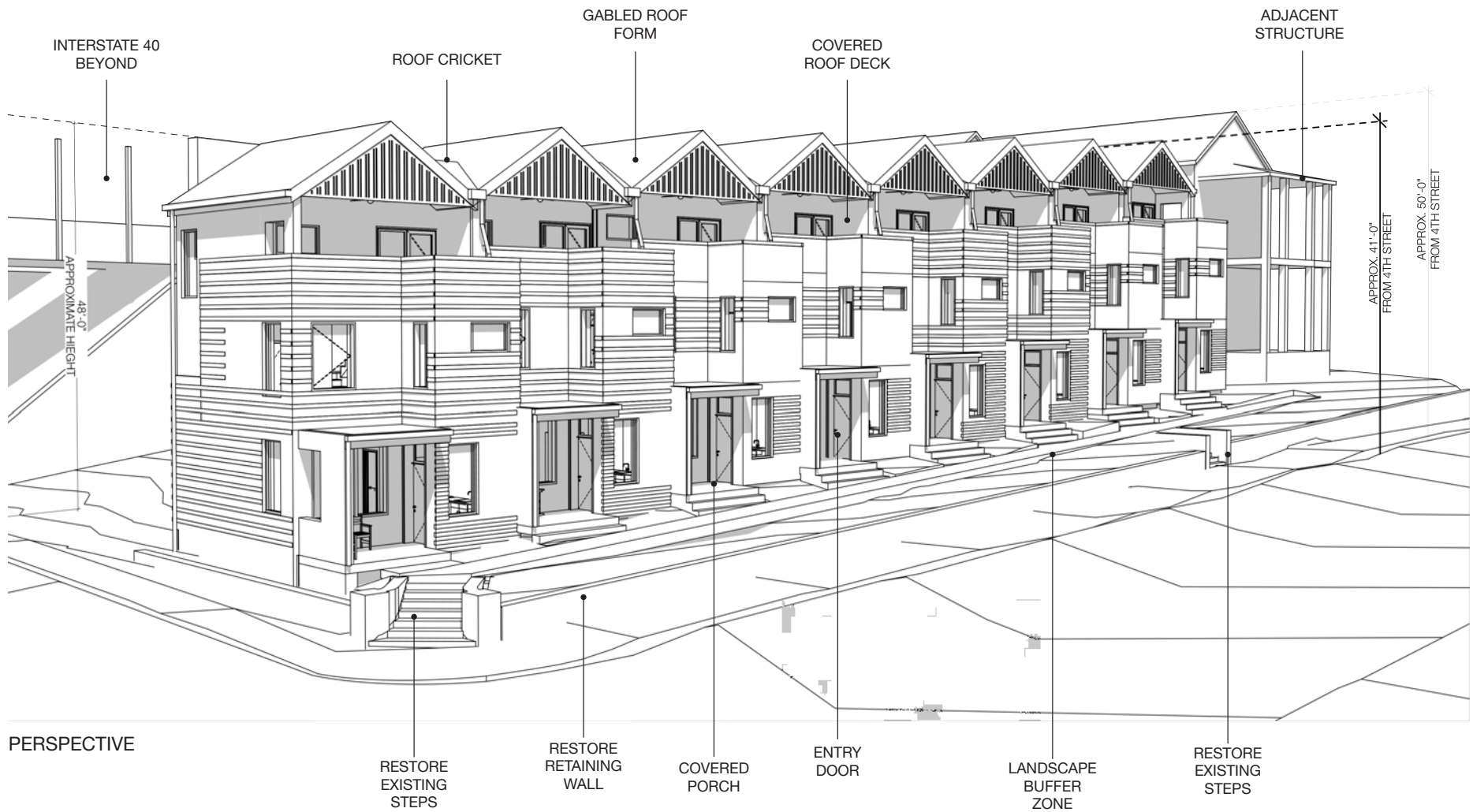


FRONT ELEVATION

4TH AND GILL TOWNHOMES
803 & 807 N. 4TH AVENUE, KNOXVILLE, TENNESSEE

HISTORIC ZONING COMMISSION - SUBMISSION - 05.02.22





4TH AND GILL TOWNHOMES
803 & 807 N. 4TH AVENUE, KNOXVILLE, TENNESSEE

HISTORIC ZONING COMMISSION - SUBMISSION - 05.02.22



MATERIAL INSPIRATION IMAGES



FIBER CEMENT LAP SIDING, TYPICAL



WOOD SIDING AT ROOF TERRACE



ALUMINUM CLAD WOOD WINDOWS



BRICK VENEER



ALUMINUM CLAD WOOD DOORS

4TH AND GILL TOWNHOMES

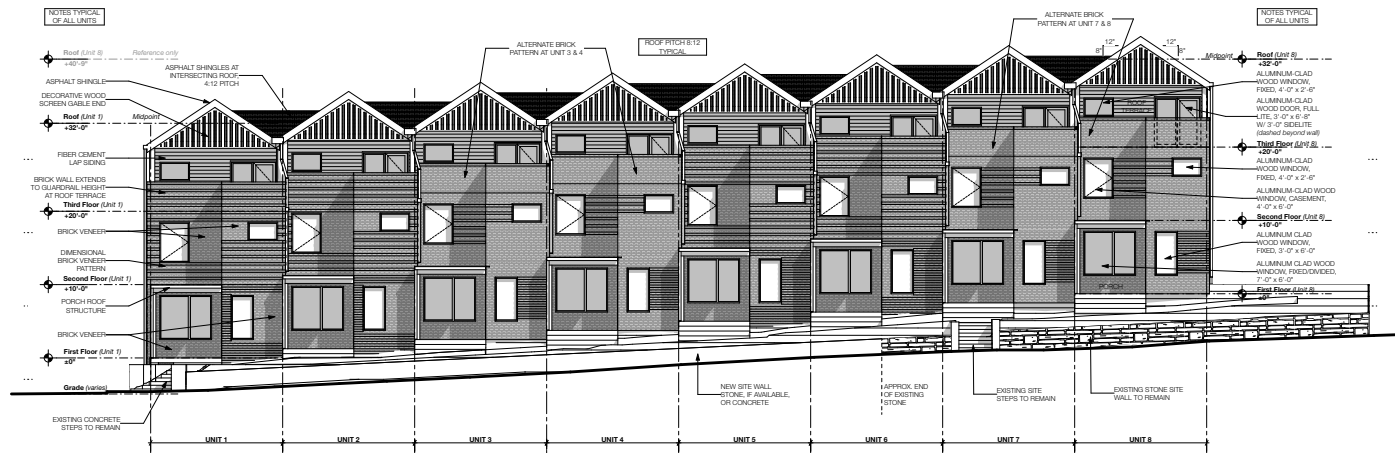
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HISTORIC ZONING COMMISSION - SUBMISSION - 05.02.22





sheet number:
A0.01
sheet name:
**Architectural Site
Plan**



1 Front Elevation - N. 4th Avenue
SCALE: 1/8" = 1'-0"



2 Back Elevation
SCALE: 1/8" = 1'-0"

4TH & GILL TOWNHOMES

803-807 N. 4TH AVENUE, KNOXVILLE, TN

SCHEMATIC DESIGN

ALLY
architecture

project number:
22002

issue date:
05.02.2022

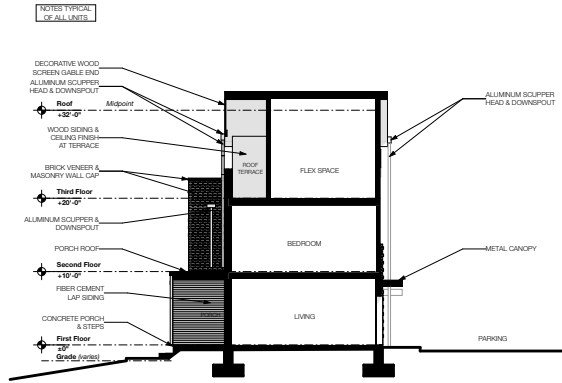
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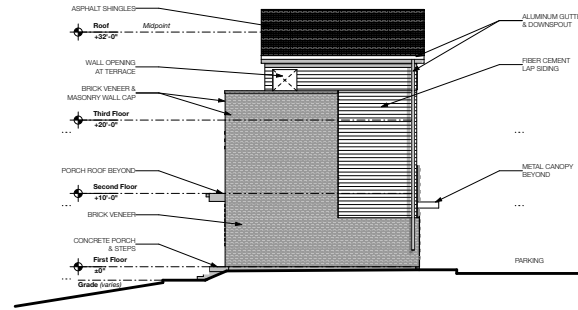
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sheet name:

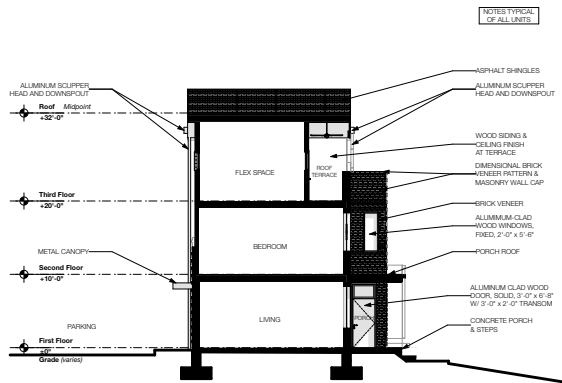
Exterior Elevations



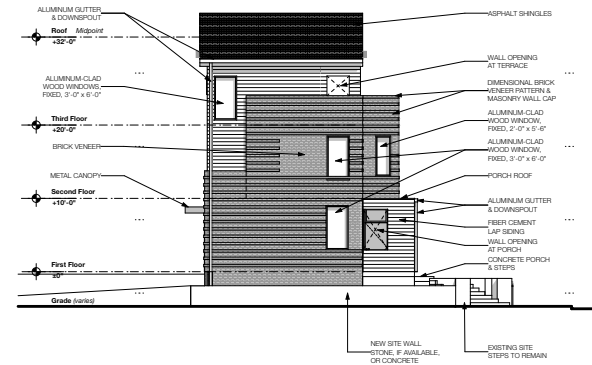
1 Side Elevation - Porch/Terrace
SCALE: 1/8" = 1'-0"



2 Side Elevation
SCALE: 1/8" = 1'-0"



3 Side Elevation - Porch/Terrace
SCALE: 1/8" = 1'-0"



4 Side Elevation - Gill Avenue
SCALE: 1/8" = 1'-0"

REVISIONS:

4TH & GILL TOWNHOMES
803-807 N. 4TH AVENUE, KNOXVILLE, TN
SCHEMATIC DESIGN

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sheet number:
A2.02
sheet name:
Exterior Elevations