



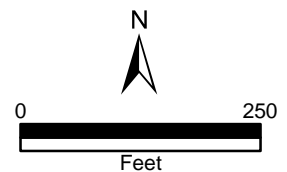
**4-A-22-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**1537 Forest Ave. 37916**  
**Ft. Sanders NC**

Original Print Date: 4/5/2022  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes



**Meeting:** 5/19/2022  
**Applicant:** John Holmes  
**Owner:** John Holmes

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## Property Information

**Location:** 1537 Forest Ave. **Parcel ID** 94 K J 022  
**District:** Ft. Sanders NC  
**Zoning:** RN-5 (General Residential Neighborhood)  
**Description:** Queen Anne, c.1900

Two-story, wood-frame residence with a hipped roof with a lower projecting front gable, an exterior clad in vinyl siding, and a stuccoed foundation. A full-length, hipped-roof porch is supported by square wood posts on stuccoed piers.

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## Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement

Exterior rehabilitation of existing house and new side and rear addition.

Exterior rehabilitation scopes include removal of vinyl siding and installation of fiber cement lap siding, with a fiber cement diamond-pattern siding on front and side gable fields. Front porch to be removed and reconstructed with a brick-clad foundation, tongue-and-groove flooring, and a wood ceiling. Front porch will be extended in length, wrapping around front left corner of house and projecting from side addition. Replacement windows. Roof replacement with new asphalt shingles.

Additions: side addition to measure 25'-1" long by 10'-6" wide, recessed from the primary façade by 9'-1". Side addition features a side-gable roof. Rear addition connects to both the main massing of the house and the new side addition, measuring 16'-5" long by 30'-6" wide. Rear addition will extend the primary hipped roof slope. Additions are two stories tall above a basement, with a foundation clad in brick, an exterior of fiber cement lap siding, and gable fields clad in diamond-pattern fiber cement siding. Double-hung, one-over-one windows will be added to the basement level on side and rear elevations. One secondary entry on the main level accesses a new rear deck, and another secondary entry accesses the ground level at the basement. Additions feature three levels of paired and single double-hung, one-over-one, vinyl windows.

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## Applicable Design Guidelines

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

### A. Height, Scale, & Massing

1. Foundation heights should be consistent with other pre-1940 buildings in the neighborhood.
2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.

#### B. Roofs

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs, and dormers.
3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal, and slate were used.
4. Darker shades of shingles were historically used and should be selected in new construction.

#### C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.

#### D. Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl, shingle (or shingle-like material), or brick should be used.
5. In making additions to existing buildings, wall cladding should complement the original wall covering.
6. Materials that are not typical in pre-1940 construction should not be used. These include cinder block, T-111 siding, and stone facing.

#### E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
2. Windows should be double-hung sash windows. Vinyl or metal-clad may be used in place of wood frame windows.
- 2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.
6. The proportions of upper level windows should not exceed the proportion of the first level.
7. Upper level windows should be provided and aligned with doors.
8. There should be at least 50% transparency that is created by windows or French doors and balconies on the recessed breaks between sections of buildings, including buildings joined together.
9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.
10. When parking areas are provided behind buildings, rear entrances are also allowed.

#### F. Parking

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.
2. Provide parking access off the alley or off a side street.
7. Surface parking area shall always be to the rear of the building.

#### G. Landscaping, Fencing, & Retaining Walls

1. Plant one native shade tree (e.g. oak or maple) and one ornamental tree (e.g. dogwood) in both the front and rear yards for every 50 feet of lot width.

#### H. Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.
3. Transitional space shall be provided between the addition and the existing structure. This should include a courtyard (200 sq. ft. minimum), and a connecting structure (e.g. porch or breezeway). The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' by 6' indentation.
4. Bays at least two feet in depth shall be provided for 50% of the side façade.

5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.
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## Comments

N/A

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## Staff Findings

1. 1537 Forest Avenue is a contributing resource to the Fort Sanders National Register Historic District and the local overlay. The house is a two-story Queen Anne residence.
  2. The applicant is requesting four variances from the Board of Zoning Appeals at the May 17, 2022 meeting, including a reduction of interior side setbacks, a reduction of the minimum lot width for the proposed use, a reduction of required parking spaces, and an increase of driveway width. Other than these deviations, the provided site plan meets the standards of the base zoning. Final modifications to the site plan will be necessary to meet City Engineering standards for parking. Site plan approval is contingent upon the granting of the necessary variances at the May 17 BZA meeting and subject to City Engineering standards.
  3. Removal of the existing vinyl siding meets the design guidelines. New siding installation should include appropriately-sized cornerboards and window and door trim (not currently shown on drawings).
  4. Reconstruction of the front porch roof and foundation meets the design guidelines. The applicant will extend the front porch to project out from the new side addition. The replaced wood posts on piers should use brick or cut stone as column supports and maintain the larger size of the posts.
  5. In general, the placement of a new addition on the side and rear elevation meets the design guidelines. The side elevation is substantially recessed from the façade and will be easily differentiated from the primary house. The rear elevation will be inset from the original house's east elevation. Several adjacent houses have two-story rear additions, along with many houses on the 1400 and 1300 blocks of Forest Avenue. The street's topography slopes significantly toward the north (rear).
  6. To accommodate the new rear and side additions, a limited section of the overall roof form will be removed and reconstructed. The rear and side elevations do not contain major character-defining features and reconstruction meets the design guidelines.
  7. The proposed additions are large in size, adding 30'-6" in width on the rear and an extra 25'-1" long addition on the side elevation (to an approximately 24' wide by 40' long, two-story house). Similar to recent additions at 1319 and 1533 Forest Avenue, the applicant has broken up the substantial additions with roofline complexity, projecting bays on the left side elevation, and a recessed massing on the right side elevation. The revisions to this design reflect recommendations of the neighborhood, which include to break up the massing and shape of the addition with projecting bays and window placement that are similar in scale to the original façade.
  8. The application includes opening up windows on the façade and side elevations which were most likely partially or fully enclosed with vinyl siding, which is a benefit to the overall design. Any remaining original exterior details should be retained, including the eave overhangs, the siding detail and partial cornice returns in the front gable field, and the window and louvered vents on the front gable.
  9. The proposed window, doors, and roofing, and siding materials meet the Fort Sanders design guidelines.
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## Staff Recommendation

Staff recommends approval of Certificate 4-A-22-HZ, subject to the following conditions:

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- 1) Receiving all necessary variances at the May 17, 2022 BZA meeting;
- 2) Final site plan to meet City Engineering requirements for parking;
- 3) Retention or replication of appropriately-sized cornerboards and window trim;
- 4) Retention of character-defining features such as partial cornice returns and façade gable details.



## DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☐ INFILL HOUSING (IH)

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Applicant

4-A-22-HZ

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Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Owner   ☐ Contractor   ☐ Engineer   ☐ Architect/Landscape Architect

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Name

Company

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Address

City

State

Zip

---

Phone

Email

## CURRENT PROPERTY INFO

---

Owner Name (if different from applicant)

Owner Address

Owner Phone

---

Property Address

Parcel ID

---

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*

Staff Signature

Please Print

Date

*[Signature]*

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs    ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure    ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HISTORIC ZONING

Level 1:

- ☐ Signs    ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials    ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure    ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities    ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street    ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure  
☐ Site built    ☐ Modular    ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

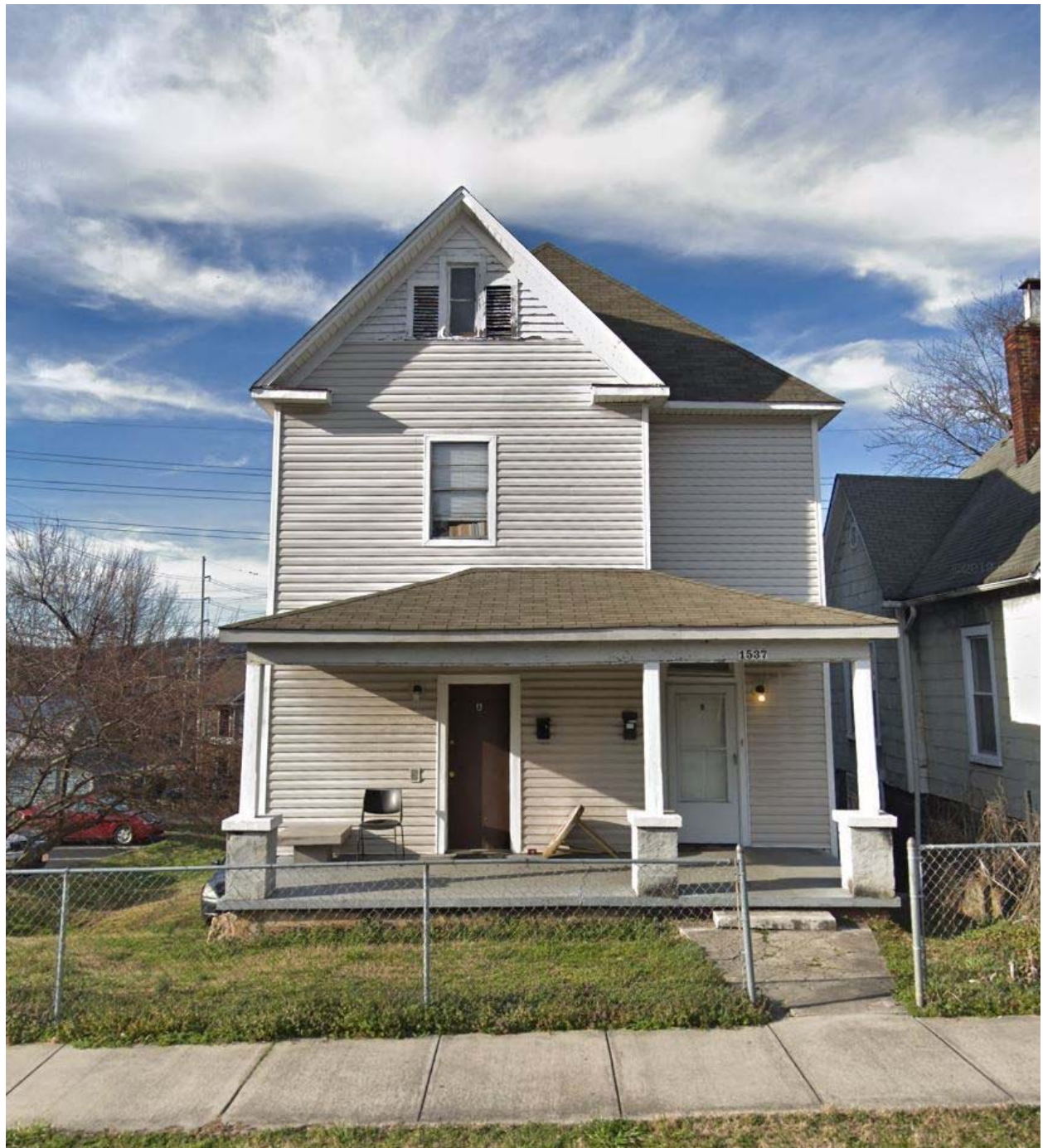
FEE 1:

FEE 2:

FEE 3:

TOTAL:

















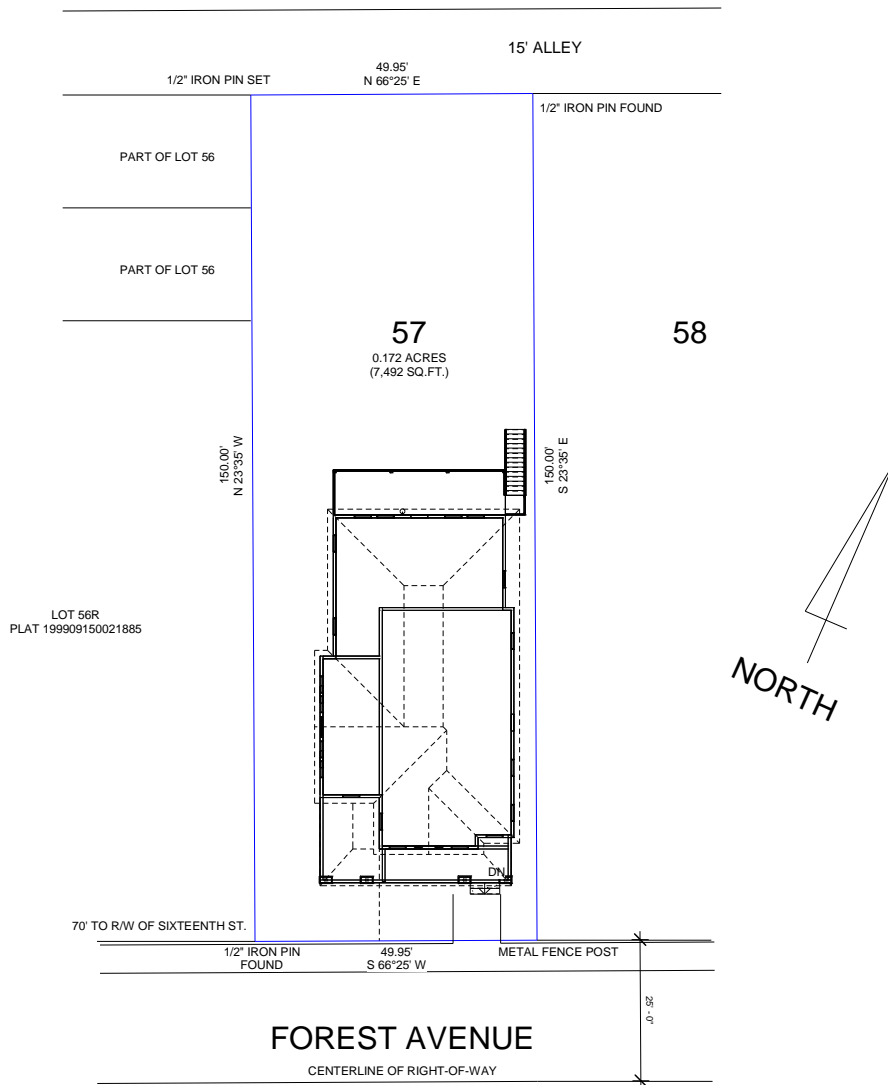




PROPOSED DWELLING AT 1537 FOREST AVE KNOXVILLE TN 37916

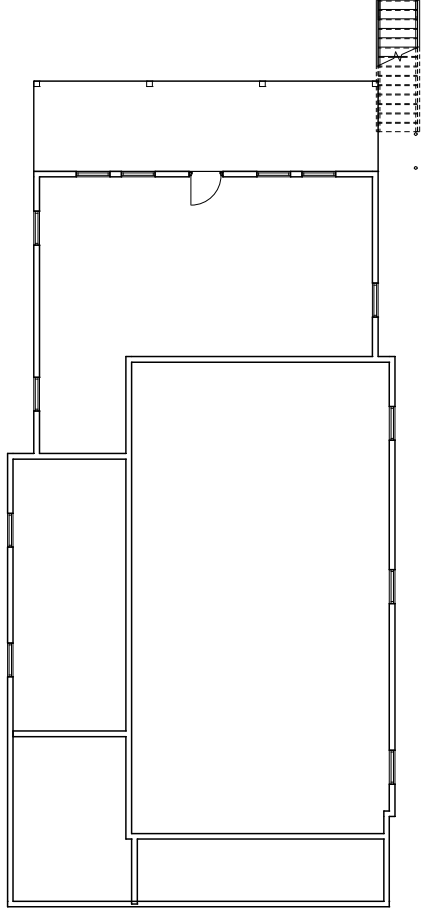


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COVER	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A200	
Scale	

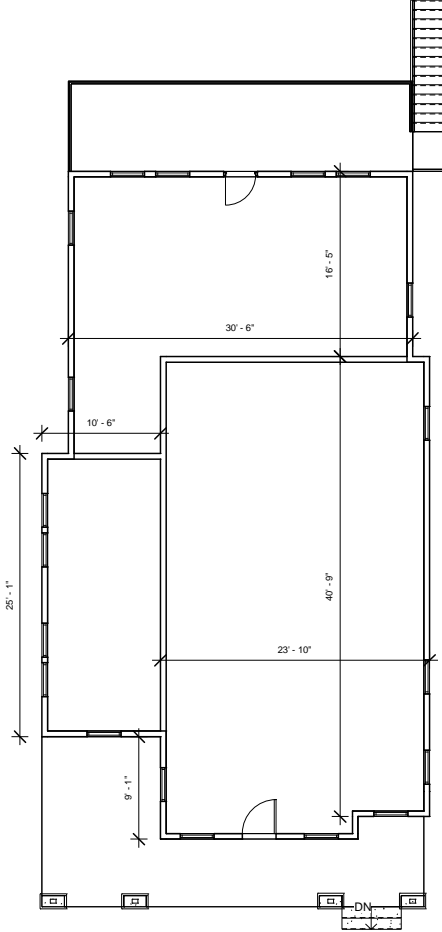


① SITE PLAN  
1/16" = 1'-0"

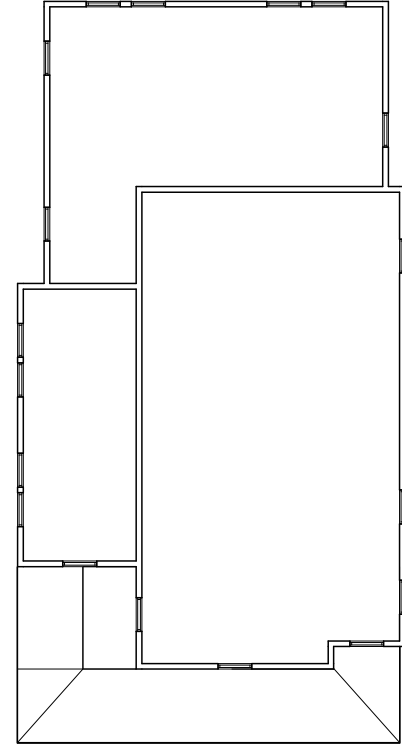
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Project Name	
SITE PLAN	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A201	
Scale	1/16" = 1'-0"



① BASEMENT FLOOR PLAN  
1/8" = 1'-0"



② GROUND FLOOR PLAN  
1/8" = 1'-0"



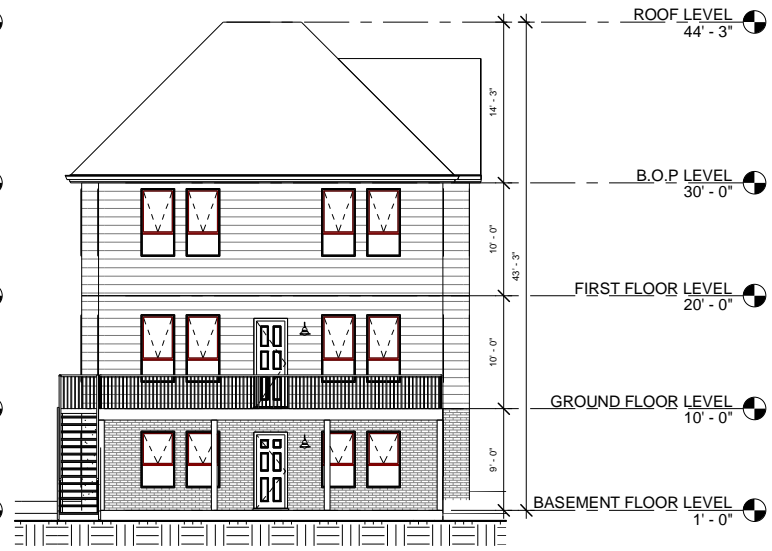
③ FIRST FLOOR PLAN  
1/8" = 1'-0"

Owner Project Name FLOOR PLANS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A202	
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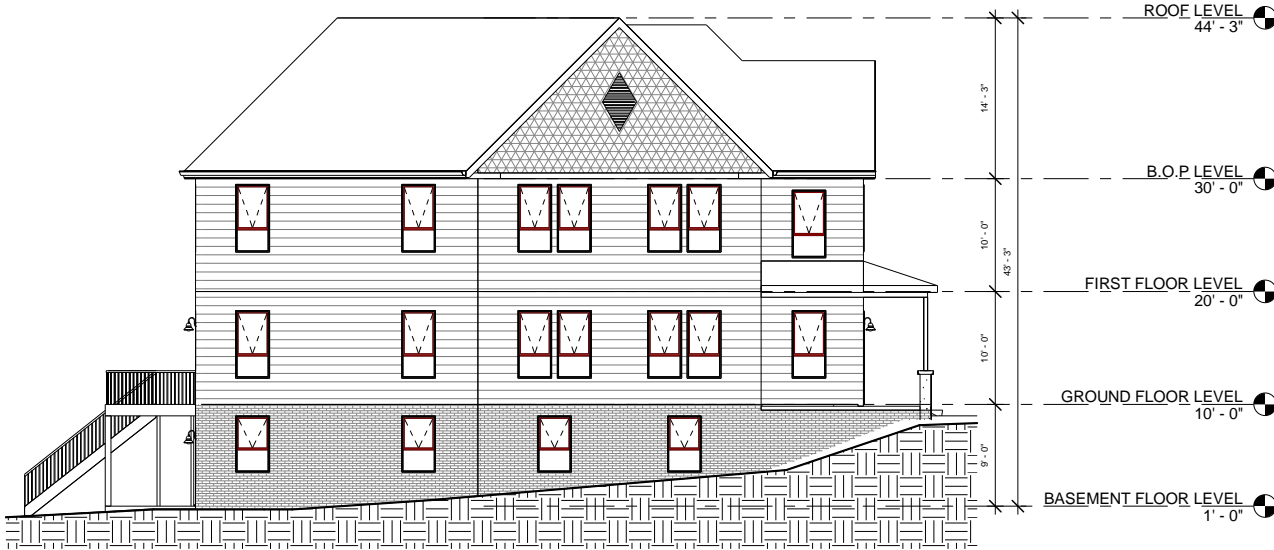




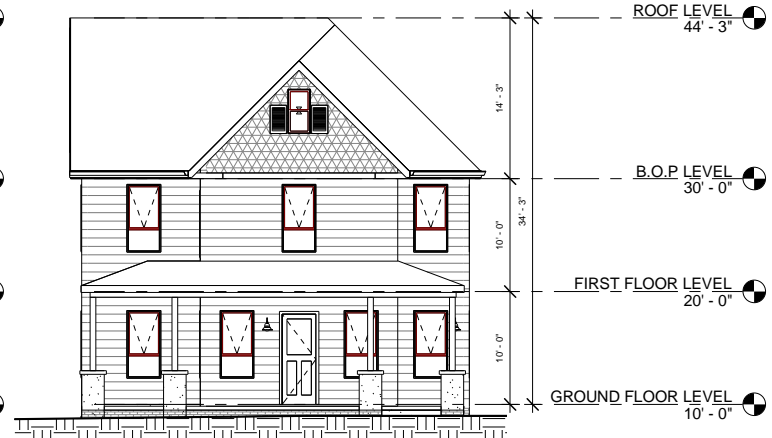
① SIDE ELEVATION 1  
1/8" = 1'-0"



③ REAR ELEVATION  
1/8" = 1'-0"



② SIDE ELEVATION 2  
1/8" = 1'-0"



④ FRONT ELEVATION  
1/8" = 1'-0"

Owner Project Name ELEVATIONS	
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A203	
Scale	1/8" = 1'-0"