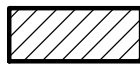
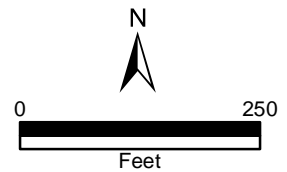


**7-G-22-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

 1203 Luttrell St. 37917  
 Fourth and Gill H

Original Print Date: 7/6/2022  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Sara Martin Open Door  
 Architecture





# Staff Report

Knoxville Historic Zoning Commission

File Number: 7-G-22-HZ

**Meeting:** 7/21/2022  
**Applicant:** Sara Martin Open Door Architecture  
**Owner:** Katie and Jason Wise

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## Property Information

**Location:** 1203 Luttrell St. **Parcel ID** 81 L L 012  
**District:** Fourth and Gill H  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**Description:** Queen Anne cottage with Neoclassical modifications, c.1910  
One-and-one-half-story, frame residence with an exterior clad in vinyl siding and multiple side and rear additions.

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## Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation: Removal of exterior of vinyl siding and repair to wood clapboard siding below, including patching-in of new wood lap siding where necessary. Siding repair will also include restoration or replication of original window trim. Repair to existing original windows.

South elevation window: new window to be installed in location and size of original window opening (enclosed with siding). One-over-one, double-hung wood window will fill in gap between two existing windows.

Dormer windows: existing dormer windows appear deteriorated; if repair is unfeasible, applicant will replace with new wood casement windows in a design and size to match existing.

Rear elevation work: non-original rear addition (enclosed porch on left side of rear elevation) will be opened up to serve as rear porch. Porch will feature a shed roof, new 8 by 8 wood columns with chamfered corners, and accessed via a painted wood half-light door. On the right side of the rear elevation, new wood siding to be installed where original siding was removed, and a new painted wood casement window will be installed.

Skylight: installation of egress skylight on corner, north roof slope. Skylight will be flush with roof slope.

Garage: repair and replacement in-patches with wood board-and-batten siding; replacement in-kind of asphalt shingle roof; replacement of flush panel wood double doors with carriage-style roll-up door (to reflect specifications in application).

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## Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Roofs

5. Do not use solar collectors, modern skylights, or inappropriate structures on roof planes that are visible from the street. Do not install them where they interfere with decorative roof elements. If they are installed, they should not

comprise more than 3% of the total roof surface.

#### Windows

4. If replacement windows are necessary, they should be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width, and profile. False muntins or grids should not be used.
7. It can be appropriate to design and install additional windows on the rear or another secondary location. The designs should be compatible with the overall design of the building.
8. Historic windows should not be blocked in. If ceilings have been dropped, provide a setback of the ceiling to allow for the full height of the original window openings. Do not cut across an existing window with a new floor or ceiling, so that the outside appearance of the window is changed.

#### Porches

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.
2. Porches visible from a street may not be completely enclosed.

#### Entrances

2. It may be appropriate to design or construct a new entrance if the historic one is missing. Any restoration should be based on historical, pictorial and physical documentation and should be compatible with the historic character of the building and with adjacent buildings. It should not create a false historic appearance. Entrances should not be removed when rehabilitating a building, either in adapting to a new use or continuing a historic one.
3. Rear or side entrances should not be altered to make them appear to be formal entrances by adding paneled doors, fanlights or sidelights.
4. Secondary entrances should be compatible with the originals in size, scale or materials but should not give the appearance of a primary entrance.
7. Missing doors should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should mimic doors typical for that architectural style, including materials, glazing, and pane configuration.

#### Wall Coverings: Wood

2. Replacement siding should duplicate the original. Trim and patterned shingles should also duplicate the original.
4. Repair wooden features by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or with other compatible substitute materials, when elements remain and can be copied.
5. Wood features that are important in defining the overall historic character of the building should not be removed.
6. Replace only the deteriorated wood. Reconstructing in order to achieve a uniform or "improved" appearance is inappropriate because good historic materials can be lost.
7. An entire wooden feature that is too deteriorated to repair or is completely missing should be replaced in kind. If features are replaced, the materials they are made from should be compatible with the original in size, scale, and material. Replacement parts should be based on historical, pictorial, and physical documentation.

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## Comments

N/A

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## Staff Findings

1. 1203 Luttrell Street is a contributing resource to the Fourth and Gill National Register Historic District and local overlay.

2. The house has been substantially modified over the years, including multiple side and rear additions and non-historic vinyl siding. Many of the proposed scopes of work involve removal of non-historic elements, and repair and replacement in-kind to original elements.
  3. The installation of a flush skylight on the proposed roof slope will not have an effect on historic materials, will not be visible from the public right-of-way, and will not alter the overall roofline of the house.
  4. The proposed rear porch does not require the removal of original features, and the new porch will be modest in design and compatible with the original period of the house.
  5. Basic repair and in-kind replacement to the secondary structure meets the design guidelines, and will allow the owners to retain a unique historic secondary structure which could not be reconstructed in the same design and location, were it demolished. The proposed replacement garage doors meet the design guidelines.
- 

## **Staff Recommendation**

Staff recommends approval of the work as submitted.



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Sara Martin

Applicant

7.5.2022

7.21.2022

7-G-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Sara Martin

Open Door Architecture

Name

Company

1121 Eleanor St.

Knoxville

TN

37917

Address

City

State

Zip

865-603-4756

sara@opendoorarchitecture.com

Phone

Email

## CURRENT PROPERTY INFO

Katie & Jason Wise

1203 Luttrell St.

423-650-3520

Owner Name (if different from applicant)

Owner Address

Owner Phone

1203 Luttrell St. Knoxville, TN 37917

081LL012

Property Address

Parcel ID

Fourth and Gill

RN-2, H

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*

Lindsay Crockett

7.5.22

Staff Signature

Please Print

Date

*Sara Martin*

Sara Martin

7.5.2022

Applicant Signature

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: The scope includes removing vinyl siding on the exterior and restoring/patching the original siding beneath, unenclosing a back porch, adding a window on the south elevation (an original window was removed and the owner would like to restore it), installing a rear-facing egress skylight on the roof, and modifications to an existing garage to include siding repair and new doors.

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>		<b>TOTAL:</b>
100.00		
<b>FEE 2:</b>		
<b>FEE 3:</b>		

**WISE RESIDENCE**

JULY 6, 2022

**HZC APPLICATION**

PROPOSED INFILL WINDOW ON SOUTH ELEVATION

existing exterior trim and interior jambs imply this used to be a triple window, with 3 windows of the same size



the middle window was removed by a previous owner.

**EXISTING**

we propose installing a new, all-wood 1-over-1 double hung window to match the two original windows.



**PROPOSED**

**GENERAL WINDOW NOTE:**

Minor repairs are intended for all existing original windows. Repairs include replacing glass panes in-kind where broken, replacing deteriorated glazing compound, patching & painting wood sashes where deteriorated.





existing dormer window is deteriorated; replace with new all-wood casement window if repair is deemed unfeasible (appearance to match existing)

**DORMER FACING LUTTRELL**



existing dormer window is deteriorated; replace with new all-wood casement window if repair is deemed unfeasible (appearance to match existing)

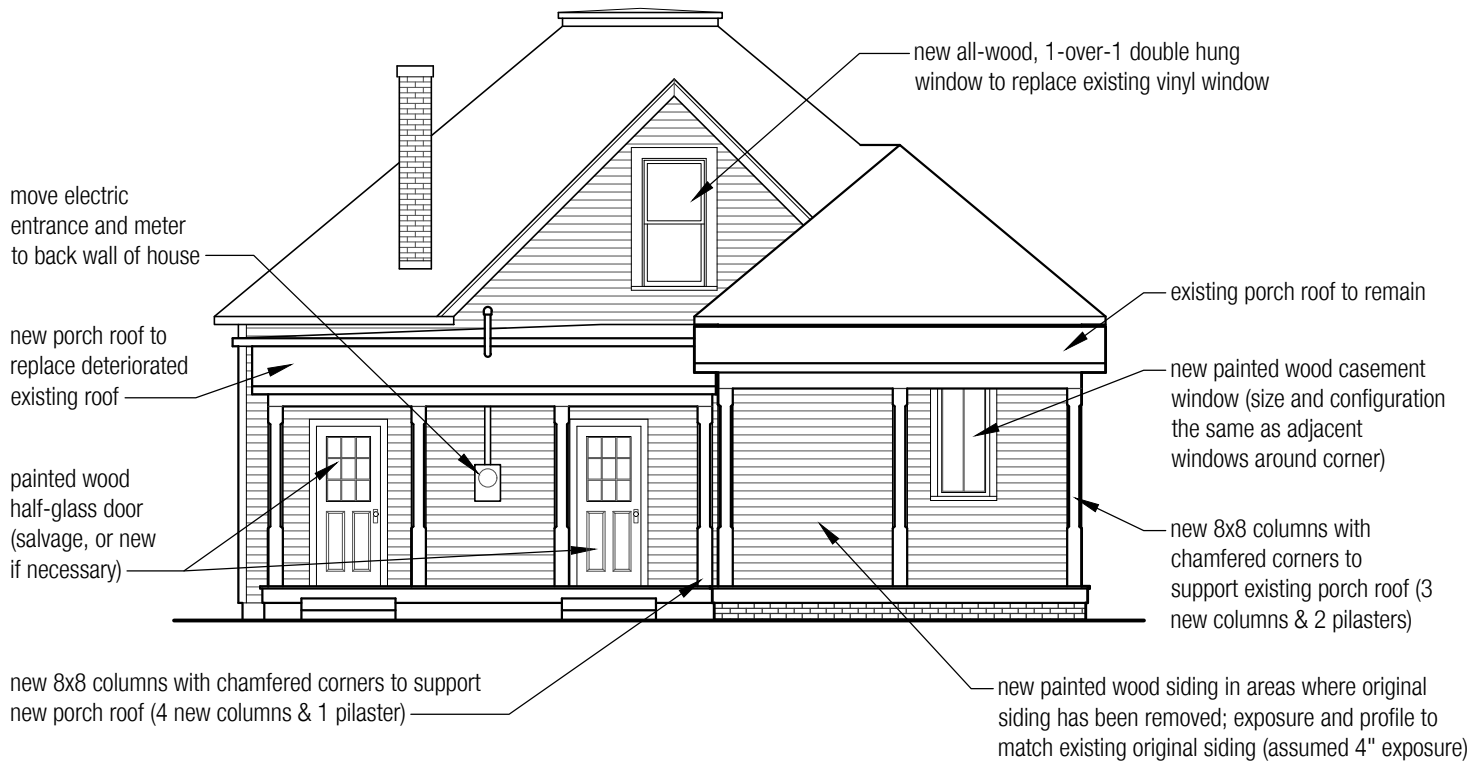
**DORMER FACING WELLS**



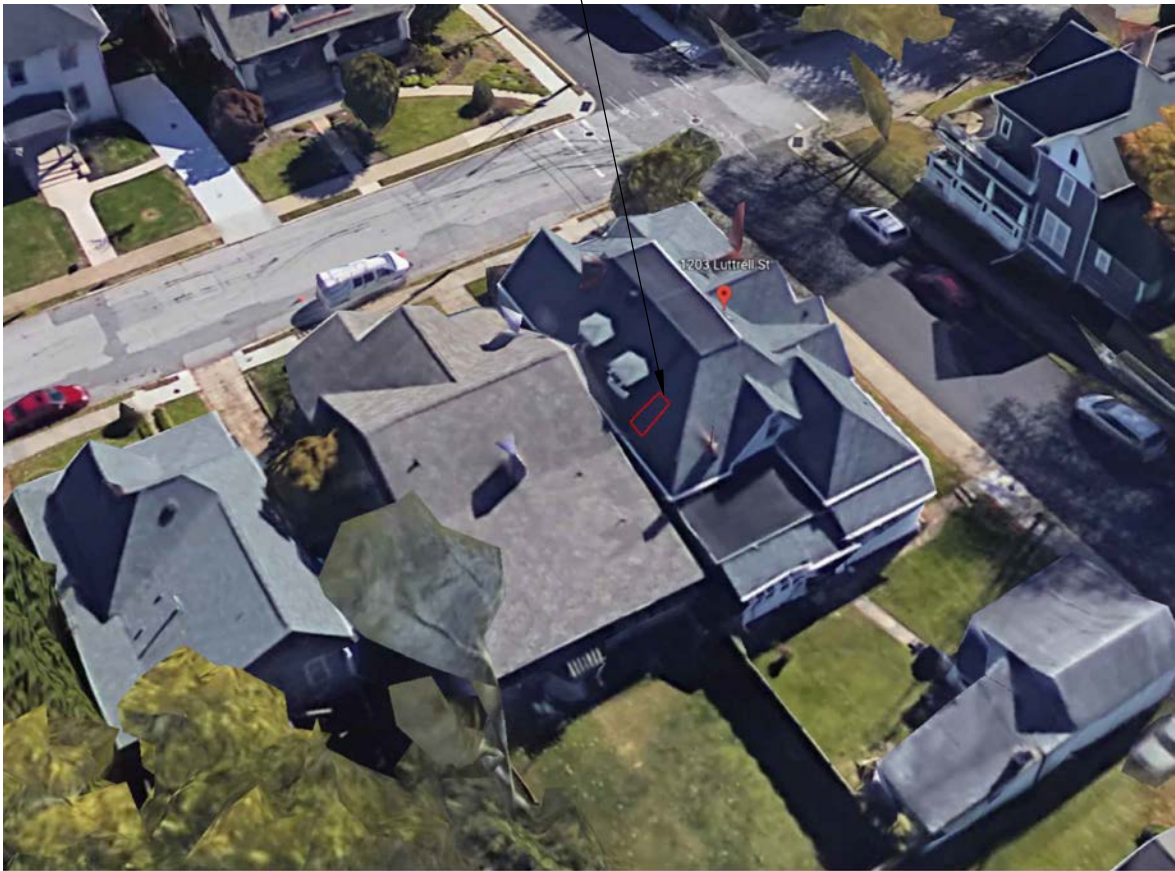
non-original addition



enclosed back porch



proposed egress skylight on north  
roof slope

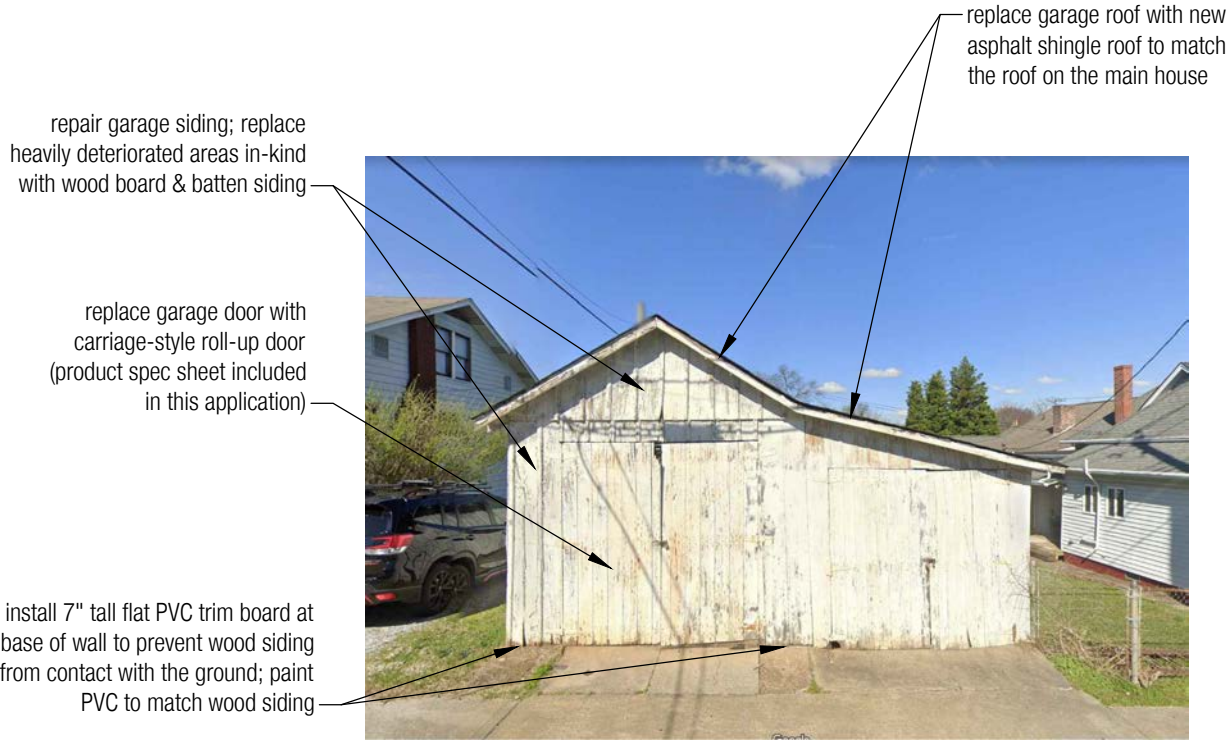


# WISE RESIDENCE

JULY 6, 2022

# HZC APPLICATION

PROPOSED GARAGE CHANGES



# CARRIAGE HOUSE 4-LAYER CONSTRUCTION

- 4-layer, faux-wood doors with Intellicore® polyurethane insulation. 18.4 R-value.
- Multiple door designs and window options. Many custom designs also available. See your Clopay Dealer for more information.
- Insulated glass options include clear, frosted, seeded, rain and obscure. See page 20 for specialty glass options.
- Attractive beveled edge, clip-in window grilles are removable for easy cleaning.
- Replaceable vinyl bottom weatherseal in a rust-resistant aluminum retainer helps seal out the elements.
- 10-ball nylon rollers for quiet operation.
- Heavy-duty 14 gauge steel hinges for long-lasting performance.
- Clopay's Safe-T-Bracket® prevents serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Comes complete with spade lift handles and step plates. See page 21 for details.

All doors designs shown in Medium Finish with Clear Cypress overlay.



Design 11



Design 23



Design 35



## 4 LAYER CONSTRUCTION

### 1 COMPOSITE OVERLAY

STEEL WITH ULTRA-GRAIN® PAINT FINISH (SHOWN) OR SOLID COLOR STEEL

### 2" INTELLICORE® POLYURETHANE INSULATION

### 4 STEEL

STEEL PAINT SYSTEM  
**LIMITED LIFE WARRANTY**



### 2" POLYURETHANE INSULATION

COMPOSITE OVERLAY DELAMINATION  
**LIMITED 5 YR WARRANTY**

R-VALUE  
**18.4**

HARDWARE  
**LIMITED 5 YR WARRANTY**

Calculated door section R-value is in accordance with DASMA TDS-163.

## COLORS



Ultra-Grain® Cypress Medium Finish



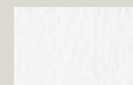
Ultra-Grain® Cypress Walnut Finish



Ultra-Grain® Cypress Slate Finish



Black Finish\*



White Finish\*



Primed (No Finish)

\*Black and White Finish available only on Mahogany overlays.  
Two-tone doors are available. To see all available options go to: [dis.clopay.com](http://dis.clopay.com).  
Doors can be ordered primed for those homeowners wishing to custom paint their doors. Note: Primed solid steel base is a brown color. Door stain color will vary slightly within a door due to finishing process. Due to the printing process, above colors may vary. To request a color sample, visit [www.clopaydoor.com/requestcolorssamples](http://www.clopaydoor.com/requestcolorssamples).



Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your home. Clopay's durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.





Design 12



Design 13



Design 21



Design 22



Design 31



Design 32



Design 33



Design 34



Design 36



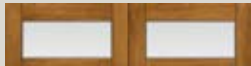
Design 37



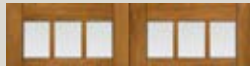
Design 38

Design 11, 31, or 36 will be selected and submitted in detail prior to installation

## WINDOW/TOP SECTIONS



REC11



REC13



SQ23



ARCH3



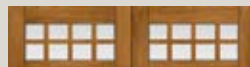
ARCH13



ARCH1



REC14



SQ24



ARCH4



ARCH14



TOP11



TOP12



TOP13



ARCH1

Window grilles are Clear Cypress texture. Windows not available on Designs 31, 32, 33, 34, 35, 36, 37 and 38.

Standard windows available on the following widths only: 6'2", 8'0", 9'0", 10'0", 10'2", 12'0", 12'2", 13'6", 15'0", 15'2", 15'6", 15'8", 16'0", 16'2", 18'0", 18'2", 20'0", 20'2".

Impact windows available on the following widths only: 8'0", 9'0", 10'0", 12'2", 16'2", 18'2". To view additional designs, windows and top sections available, please visit [www.clopaydoor.com](http://www.clopaydoor.com).

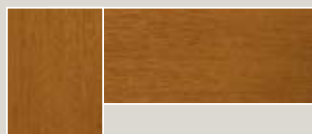
## MATERIAL DESIGN OPTIONS

### STEEL BASE DOOR MATERIALS

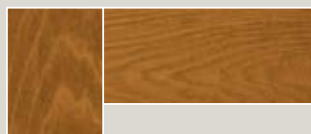


Ultra-Grain® Finish Clear Cypress or Solid Color Steel (N)

### COMPOSITE OVERLAY MATERIALS



Mahogany (M)



Clear Cypress (C)

Composite cladding is not present on Carriage House 4-Layer doors.