

Meeting: 1/20/2022**Applicant:** Sean Bolen**Owner:** Sean Bolen

Property Information

Location: 115 E. Scott Ave.**Parcel ID** 81 K F 040**District:** Old North Knoxville H**Zoning:** RN-2 (Single-Family Residential Neighborhood)**Description:** Queen Anne, c.1890, 2006

Two-and-one-half-story frame residence with a hipped roof with lower cross gables, clad in asphalt shingles. Exterior is clad in wood lap siding with patterned, raised, and bracketed details on gable tops; diamond-shaped shingles in gables; and rectangular sunburst wood details above second-story windows. One-story wrap-around porch with turned wood columns, decorative brackets, and decorative wood railing. Windows are one-over-one, double-hung wood. House is considered a George F. Barber design and moved to its present location in 2006.

Description of Work

Level II Major Repair or Replacement

Reconstruction of front dormer: existing front dormer was approved as an addition to the house when the house moved locations in 2006, but constructed in an incorrect location. Existing dormer will be removed and reconfigured into two dormers to address code issues. New dormers will feature a larger gable-roof dormer extending from the left side of the primary roof hip, and a smaller front-gable roof dormer projecting out from its left side. The rightmost dormer measures approximately 4'-8.5" in height total, and the left dormer is 4'-11" tall by 5'-11 5/8" wide overall. Detailing draws from George F. Barber designs, with a multi-light window on the left dormer.

New rear deck: new pressure-treated wood deck to extend from rear elevation, measuring 23' wide by 12' deep, with steps extending from the rear and left side of the deck. Deck will feature a horizontal metal cable railing.

Window replacement: removal of one-over-one, non-historic vinyl window on the west elevation and installation of a one-over-one, double-hung wood sash window with dimensions to match the original opening.

Upper porch work: removal and replacement in-kind of upper porch elements. All wood elements to be reconstructed and replaced in-kind, with materials and dimensions to match the existing. Porch flooring will be replaced with a composite tongue-and-groove flooring.

Lower porch work: removal and replacement in-kind to wood tongue-and-groove porch flooring. Bases to porch columns will be replaced by composite bases.

Repair and replacement in-kind to damaged trim and wood siding.

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

A. Roofs

1. ... Roof shapes shall be complex, using a combination of hips with gables, dormers where appropriate to the style, turrets, or other features that emphasize the importance of Victorian-era or Craftsman styling.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, bargeboards, and other unique roof features. Use some of these details in designing new buildings.
6. Roofs that are visible from streets shall retain their original shapes. Do not introduce roof elements such as dormers to a roof shape that is original.

B. Windows

2. If replacement windows are necessary, they shall be the same overall size as the originals, with the same pane division and the same muntin depth, width, and profile. They shall be the same materials as the original windows, which were generally wood.

C. Porches

1. Historic porches on houses in ONK should be repaired, or may replicate the original porch if documentation of its size and design can be discovered.
2. Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood posts and/or columns and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.

E. Wood Wall Coverings

5. Wooden features shall be repaired by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or compatible substitute materials, when elements remain and can be copied.
8. An entire wooden feature that is too deteriorated to repair or is completely missing shall be replaced in kind. If features are replaced, the materials they are made from shall be compatible with the original in size, scale, and material. Replacement parts should be based on historical, pictorial, and physical documentation.

Comments

N/A

Staff Findings

1. 115 E. Scott Avenue was moved to its current location in 2006. Drawing on National Register standards for moved houses, previous reviews have considered 2006 to now be the relevant age for historic date purposes. The house would be considered non-contributing due to its moved status.
2. The previous review to add a dormer on the front roof slope (9-Q-06-HZ) noted that "the roof was not originally designed with a dormer, but dormers were often present on Barber-designed houses. Locating a front dormer on the front elevation of this house will provide adequate access to the living space being constructed in the attic. It is also appropriate for the neighborhood and for the block where it is situated, where dormers are found on neighboring houses."
3. The revised dormers are an improvement in design over the existing front-gable roof dormer, and will draw detailing from the existing house's details. While constructing a new but historically-detailed front dormer would not necessarily be considered an appropriate modification for an original house, the house has already been divorced from its context and assessed as new construction/non-contributing. The revised dormers will be proportionate to the house and contribute to the overall design.

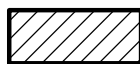
4. The proposed rear deck is appropriately placed, minimal in size, and will be minimally visible from the street, if visible at all.
 5. Removal and replacement in-kind of the upper porch elements meets the design guidelines. The replacement of wood tongue-and-groove flooring with some brands of composite tongue-and-groove flooring material has been previously approved in Old North Knoxville, especially on second-story porches which are exposed to the elements. The applicant should provide the final specifications for the composite flooring material to staff for approval.
 6. All other scopes of work clearly meet the design guidelines, including replacement in-kind of lower porch flooring and removal of a non-historic vinyl window and installation of a one-over-one, double-hung wood window to match the size of existing wood windows. Composite column bases should match wood bases in dimensions and design.
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Staff Recommendation

Staff recommends approval of Certificate 1-E-22-HZ, subject to the following conditions: 1) final specifications for upper porch composite flooring to be submitted to staff for approval; 2) porch column composite bases to match wood bases in dimensions and design.



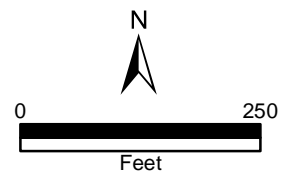
1-E-22-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



115 E. Scott Ave. 37917
Old North Knoxville H

Original Print Date: 1/12/2022
Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Sean Bolen





DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☐ INFILL HOUSING (IH)

Applicant

January 20, 2022

1-E-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Name

Company

Address

City

State

Zip

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

Property Address

Parcel ID

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

1.3.22

Staff Signature

Please Print

Date

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: _____

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:

Proposed work for 115 E Scott Ave.

Sean Bolen, Property Owner.

Background:

In early 2006 I moved the Margaret F Stuart house was moved from its previous location on West Scott Ave, where it was scheduled to be demolished, to a protected site blocks away at 115 E Scott Ave. Though the 1889 house is clearly historic, it's one of the first four houses on Scott Ave, its status is categorized as Non-Contributing/New Construction. As such a front dormer was approved for the property in order to allow for a conversion of the attic to a third floor, a requirement to make the project feasible. Further modifications allowed were the upper deck and the addition of the current front porch of which was removed years prior with no documentation of its original detail.

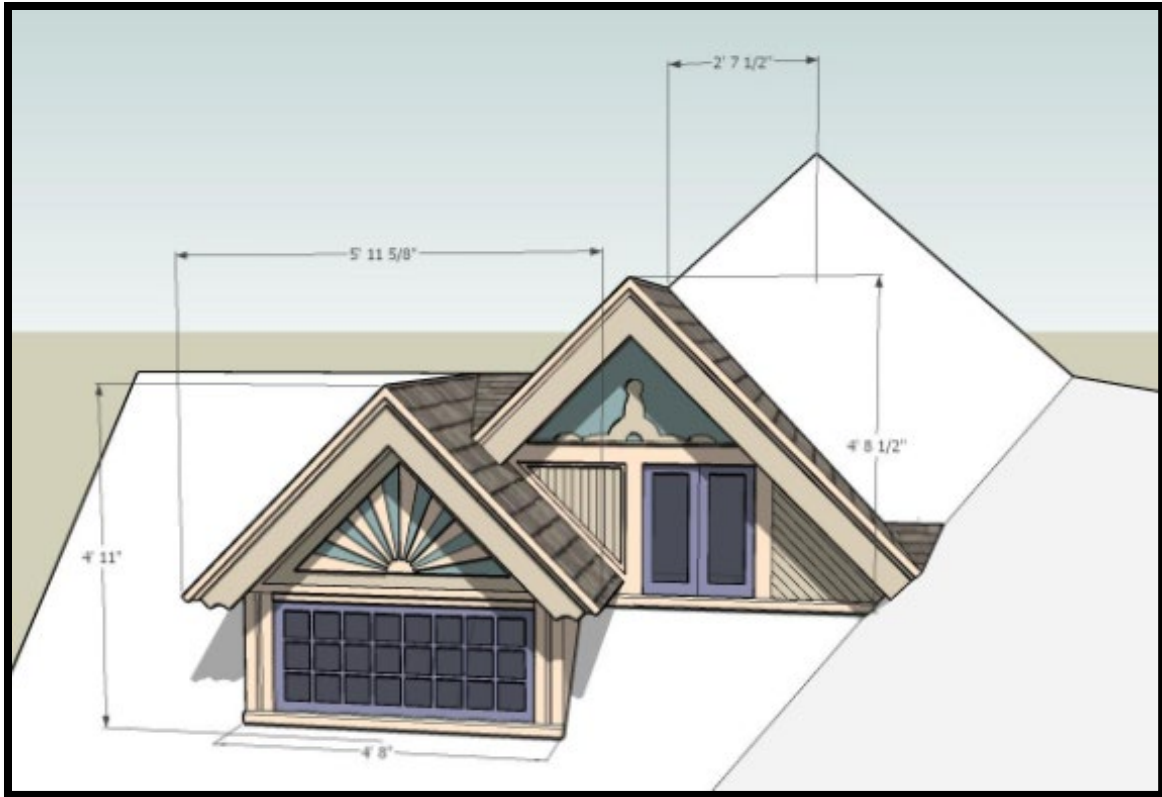
The dormer that was approved was not the one that was installed by the contractor, who rotated the angled dormer by 45 degrees and (inexplicitly) put a support post in the staircase to the third floor rendering that space difficult to complete, in addition to not providing coded headroom. The new dormers proposed rectify all situations and are inspired by George F. Barber who is thought to have designed the house. The front porch design was also inspired by Barber.

Proposed work highlights:

1. Dormer Reconfiguration
2. Rear Deck Addition
3. Vinyl Window Replacement with a 1-over-1 Window
4. Upper Porch Rebuild with Like Materials (though the floor will be composite tongue in groove)
5. Lower Porch Flooring Repair and Replace in Kind
6. Trim and Siding Repair in Kind

Proposed work details:

1. Dormer Reconfiguration
 - a. Current, approved but not correctly installed, dormer will be reconfigured into two dormers. A detailed larger parent dormer will be prominent and mimic the original detail on the house, and a smaller child dormer at its side. This configuration corrects the interior space issues and is a clear argument of why an architect is required for certain design elements.

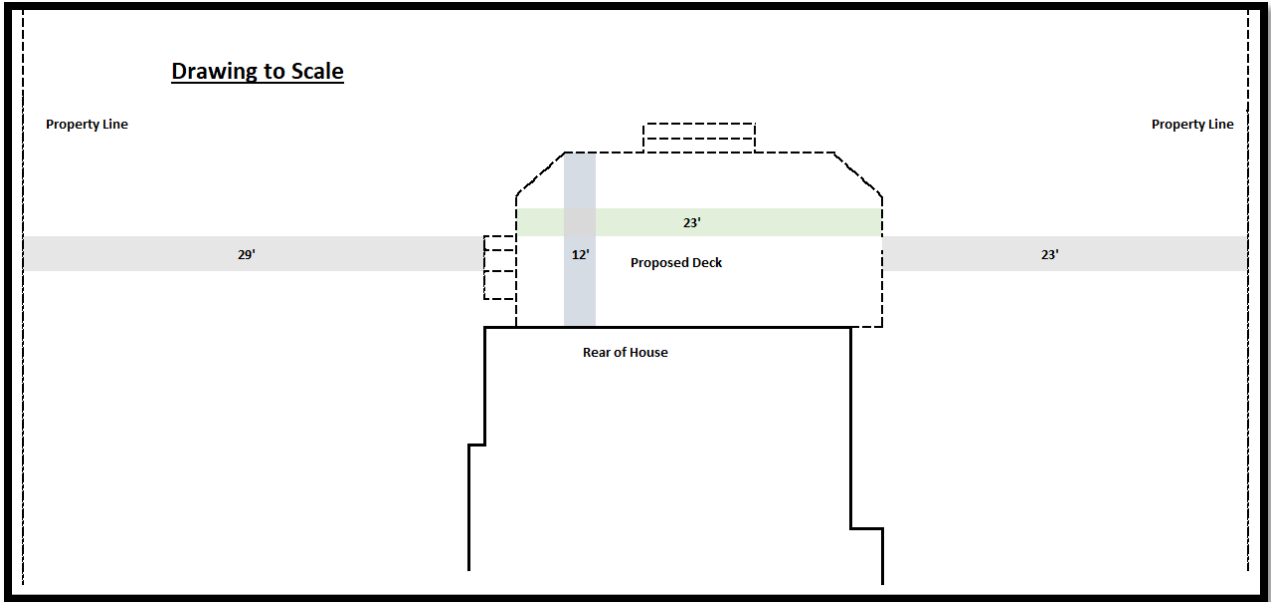






2. Rear Deck Addition

- a. The rear deck addition (23'x12') is no wider than the main body of the house and cannot be seen while directly looking at the house. This house sits on a wide lot, 75' verses 50', so the deck will be somewhat visible from the right of way from the east.
- b. The contruction will be wood with horizontal cable balisters.



3. Vinyl Window Replacement with a 1-over-1 Window
 - a. A west facing vinyl staircase window will be replaced with a wood one-over-one window of the same dimensions (also the same dimensions of the current windows on the house).

Street facing one-over-one windows:



East facing one-over-one windows:



West facing one-over-one windows:



Vinyl window to be replaced with one-over-one window of wood the same dimension as the opening, which match the same full-sized windows on the upper floor (roughly 36x69).



4. Upper Porch Rebuild with Like Materials (though the floor will be composite tongue in groove)
- a. The upper porch has rotted due to the exposure to the elements and the poor stock of the current supply of lumber. The porch will be replaced with old growth red oak in kind (interestingly from a tree that had to be taken down on the lot) and a composite tongue in groove flooring will be installed, though it can't be seen from the street.





5. Lower Porch Flooring Repair and Replace in Kind

- a. The lower front porch has rotted due to the exposure to the elements and the poor stock of lumber supply. The porch will be replaced with old growth red oak tongue in groove flooring (also from the tree from the lot). Bases to the columns will also be replaced by composite, breathable, bases.



6. Trim and Siding Repair in Kind
 - a. The house will be scraped and painted with damaged trim and siding replaced in kind.