

**Meeting:** 1/20/2022  
**Applicant:** Travis Brooks  
**Owner:** Sequoyah Hills Trust

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## Property Information

**Location:** 1105 Scenic Dr. **Parcel ID** 121 D C 039  
**District:** Scenic Drive NC  
**Zoning:** RN-1 (Single-Family Residential Neighborhood)  
**Description:** Ranch, c.1955

One-story frame residence with brick veneer wall covering. Hip and cross-gable roof with asphalt shingle roof covering. One-story garage on south elevation. Six-over-nine, double-hung windows. Exterior front brick chimney. Designed by Elizabeth W. Dunlap, a landscape architect.

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## Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement

Exterior rehabilitation and addition to secondary structure. Exterior rehabilitation elements include enclosure of existing breezeway between garage and main house, addition of covered porch to rear elevation, re-framing of primary roof section, new front porch.

Façade (south elevation): after the fact review -- the existing front-gable roof porch (added in 2013) was removed and reconstructed. At 15'-2" wide by 8'-4.75" deep, the new front porch is significantly smaller in width than the 2013 porch, with a front-gable roof supported by paired square porch supports. The previous porch gable was clad in fiber cement shingles; the proposed porch gable is described "vaulted open timber truss." The central section of house has been reconstructed, with the central side-gable roofline elevated approximately 4' above the original. Façade windows have been removed, and full-height, three light, casement windows topped by transoms are proposed. Demolition of brick exterior chimney on façade.

Rear (north) elevation: addition of a shed-roof porch between two existing gable-roof massings, to feature a metal roof with a 3/12 pitch and siding glass doors.

Enclosure of existing breezeway between garage and primary house, to feature brick-clad foundation and siding to match main house.

Major addition to secondary structure: gable-roof pool house to receive a cross-gable addition, with added massings on west and south elevations. The addition will feature vertical board-and-batten siding to match existing, an asphalt shingle-clad roof, aluminum-clad multi-light casement windows, and a stuccoed foundation, along with a new exterior stone-clad chimney.

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## Applicable Design Guidelines

Scenic Drive NC-1 Design Guidelines, adopted by the Knoxville City Council on September 26, 2006.

#### New Construction - Primary Buildings, Additions, and Accessory Buildings

1. A Description of Properties Inventory describing existing architectural designs and their features found in the neighborhood is included in these guidelines. An eclectic mix of styles is apparent. New designs are encouraged to interpret one of the design types identified as a "contributing" (C) structure, with size and features generally drawn from the design and appropriate to that style, although the same design cannot be repeated on another lot.
3. Materials commonly in use in the existing neighborhood houses are preferred. The following modern wall cladding material should not be used on primary building or on permanent accessory structures: T-111 plywood or similar products, vinyl or aluminum siding, and exposed concrete blocks.
6. New additions and constructions shall conform to the prevailing widths and heights of typical facades of adjacent houses. The footprint of new additions and constructions should be in character and proportion with contributing neighboring houses, even if originally platted lots have been combined into larger lots. Detached accessory buildings shall be proportional to the house in height and size.
9. The recommended location for additions is to the rear or side of existing buildings. Additions to the front of buildings are strongly discouraged because they obscure the original architectural designs. Front additions are not appropriate for contributing structures. If additions are to be made to the side elevations of existing buildings, they should be located at least five feet behind the front façade of the existing building.
10. Detached accessory buildings, including carports and detached garages, should be located at least fifteen feet to the rear of the front façade line and no nearer than five feet to a side or rear lot line. In size, they should not exceed the building footprint of the principal building and should be consistent in scale with the primary building on the lot.
11. The design of additions, accessory buildings, and modifications, in particular the front façade of the house, should be consistent with the character of the main structure.
12. If an addition or modification is made to an existing house, the wall cladding material should match or complement those on the existing house. Traditional combinations such as wood clapboard or wood shingle siding additions on brick or stone primary structures are acceptable if matching materials cannot be secured. The roofing material for additions and modifications should match the existing roofing material.

#### Roof Form and Coverings

1. The minimum roof pitch should be appropriate for the style of house or addition that is being constructed as described in the Properties Inventory.
2. Houses should have complex roof shapes or roof shapes that are consistent with the architectural forms of the District.

#### Front Entries, Porches, Stoops & Porticos

1. Stoops, porticos, or front porches in keeping with the historic look of the neighborhood are encouraged for new buildings.

#### Windows

2. High quality fixed grid windows should be used. Snap-in grid windows should not be used. Simulated divided light windows with fixed external muntins or mullions are encouraged.
3. Proportion and style of windows shall be appropriate to the design type. Replacement windows are encouraged to duplicate the look and quality of the original. Palladian style windows should not be used in keeping with the original character of the house.

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## Comments

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## Staff Findings

1. 1105 Scenic Drive was determined to be a contributing resource to the Scenic Drive NC overlay at the time of designation. Due to the large lot sizes on Scenic Drive and the site topography, the house itself is minimally visible from the right-of-way.
2. Review of the majority of the exterior rehabilitation work on the primary structure is after-the-fact. In permitting, several items were treated as either interior work or basic exterior rehabilitation, which do not require HZC review in Neighborhood Conservation overlays. The contractor also received a permit for partial demolition, which ultimately resulted in the removal of the 2013 front porch, the existing middle section of the façade, the primary side-gable roof, and the exterior brick chimney. Demolition, in whole or in part, requires review by the HZC.
3. The HZC or staff should have reviewed the roofline revision prior to issuing of any permits or construction. Roof guidelines note that "houses should have ... roof shapes that are consistent with the architectural forms of the District." The reconstructed roofline has been elevated in height, creating a façade disproportionate to the original Ranch form of the house. The side-gable roof and the one-story form characteristic of a Ranch have been retained.
4. While the removal of the front porch added in 2013 is appropriate within the design guidelines, HZC or staff should have received the opportunity to review partial demolition on the property. The proposed (partially built) front porch is disproportionately small for the façade (especially with the elevated roofline).
5. The proposed full-height casement windows on the façade do not meet the design guidelines, which recommend that "proportion and style of windows shall be appropriate to the design type" and "replacement windows are encouraged to duplicate the look and quality of the original." The applicant should select façade windows which are more appropriate for the Ranch house and proportionate to the façade, or at minimum, provide further illustration of the proposed façade windows and how they compare to original windows on the house.
6. The work proposed for the rear elevation (new porch and enclosure of breezeway connecting to the garage) meets the base zoning code and guidelines for building coverage and will not be visible from the street. Overall, these modifications maintain the footprint of the house and do not require the removal of major character-defining features.
7. The existing secondary structure is a non-historic structure, added to the property in 2017. While the proposed addition is large in massing, almost doubling the existing secondary structure, the secondary structure will not be visible from the public right-of-way. Placement of the addition meets the design guidelines.
8. Guidelines recommend that "detached accessory buildings ... be proportional to the house in height and size." While the accessory building is very large, it is secondary in height to the primary structure, and is smaller than the primary house.
9. The proposed materials for the secondary structure reflect those already installed on the building and meet the specifications of the design guidelines.
10. In the opinion of staff, 1105 Scenic Drive is no longer a contributing structure to the Scenic Drive NC overlay. Due to the addition of a large front-gable roof porch added in 2013 and the removal of most character-defining façade features, the house no longer meets the typical characteristics of a Ranch house and no longer retains the character-defining features referenced in the design guidelines' architectural description.

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## Staff Recommendation

Recognizing the extensive nature of the work being reviewed after-the-fact, and that the house is no longer contributing to the Scenic Drive Area of Sequoyah Hills Neighborhood, staff recommends approval of Certificate 1-C-22-HZ, subject to the condition that the applicant select façade replacement windows more appropriate for a Ranch house, and pending recommendations from the Historic Zoning Commission on any necessary revisions to the proposed front porch which may contribute to the overall façade proportions and design.





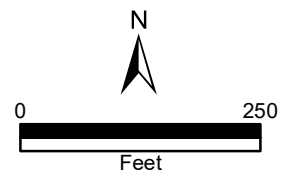
**1-C-22-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**1105 Scenic Dr. 37919**  
**Scenic Drive NC**

Original Print Date: 1/10/2022  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Travis Brooks





## DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☐ INFILL HOUSING (IH)

Applicant

1-C-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Name

Company

Address

City

State

Zip

Phone

Email

## CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

Property Address

Parcel ID

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*

Lindsay Crockett

1.3.22

Staff Signature

Please Print

Date

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs    ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure    ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HISTORIC ZONING

Level 1:

- ☐ Signs    ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials    ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure    ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities    ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street    ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure  
☐ Site built    ☐ Modular    ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:



FOUNDATION NOTES:

PROVIDE SIMPSON MUDDSILL ANCHOR PER CODE BOTH DIRECTIONS. PROVIDE ACCESS DOOR & HARDWARE PER CODE. CRAWLSPACE TO BE MIN 42" HIGH UNLESS OTHERWISE REQUIRED AND GRADED w/ 6MIL VAPOR BARRIER INSTALLED, SEALED, TAPED AND EXTENDED A MIN. OF 6" UP THE STEM-WALL.

CRAWLSPACE SHALL BE VENTED OR MECHANICALLY EXHAUSTED AND SUPPLIED AT A RATE OF 1 CFM FOR EACH 50 S.F. OF CRAWLSPACE. DESIGN SHALL BE APPROVED BY THE OWNER PRIOR TO FOUNDATION STEM WALL CONSTRUCTION.

FOUNDATION WALL EXTERIOR SHALL BE WATERPROOFED W/ TREMCO TUFF-N-DRI SYSTEM OR EQUAL. VERIFY AND/OR INSPECT INSTALLATION WITH MANUFACTURES CONSULTANT PRIOR TO BACK FILLING. ALL PRODUCT WARRANTIES TO BE VERIFIED BEFORE AND AFTER INSTALLATION.

MASONRY TIES (IF REQUIRED):  
HOT DIPPED GALVANIZED TIES AT 16" O.C. VERT. & HORIZ. U.N.O.

SLOTTED PERIMETER DRAIN INSTALLED ON AT SIDE OF FOOTING SEE FIELD SUPERVISOR FOR BLOCK PLACEMENT AND LAYOUT . SUB-GRADE DRAIN FOR DOWNSPOUTS & LANDSCAPE DRAINS AT ENTIRE PERIMETER OF BUILDING AND TO DRAIN TO DAYLIGHT.

ALL STRUCTURAL LUMBER TO BE #2 KD S.Y.P. PER REG. LUMBER IN CONTACT w/ MASONARY TO BE PRESSURE TREATED PROVIDE FROST PROOF HOSE BIBS AS DIRECTED.

GROUT FILLED 10" C.M.U. BLOCK TO STRUCTURE LEDGE W/ 4" C.M.U. BRICK LEDGE TO OUTSIDE (IF REQUIRED), 6" C.M.U. FILL BLOCKS ON EXTERIOR SIDE OF BEAM POCKETS REINFORCEMENT MIX MORTER PER STRUCTURAL CONSULTANT

WHERE AIR HANDLER UNITS ARE LOCATED, BUILDER TO COORDINATE FIRE RATING REQ. ON UNDERSIDE OF FLOOR JSTS. PER IRC & LOCAL CODE.

ALL FOOTING AND FOUNDATION WALL SIZING, REINFORCEMENT, AND SPECIFICATIONS BY OTHERS.

"IRC APPENDIX F-RADON CONTROL(CRAWLSPACES)". AF103.5 REQUIRES A PASSIVE SUBMEMBRANE DEPRESSURIZATION SYSTEM TO BE INSTALLED IN BUILDINGS WITH CRAWL SPACES. VENT PIPE-A PLUMBING TEE OR OTHER APPROVED CONNECTION SHALL BE INSERTED HORIZONTALLY BENEATH THE SHEETING AND CONNECTED TO A 3- OR 4-INCH-DIAMETER (76 OR 102 MM) FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING. THE VENT PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, AND TERMINATE AT LEAST 12 INCHES (305 MM) ABOVE THE ROOF IN A LOCATION AT LEAST 10 FEET (3048 MM) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET (610 MM) BELOW THE EXHAUST POINT, AND 10 FEET (3048 MM) FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS. EXCEPTION: THE VENT PIPE SHALL BE ALLOWED TO TERMINATE IN THE ATTIC AND MAY BE CAPPED UNLESS TESTS VERIFY THE RADON POTENTIAL TO BE 4 PC/L OR GREATER. (SEE ROOF PLAN FOR PIPE EXIT)

TYP. FLOOR SECTION:

2X JOISTS @ SPACING PER MFG. OR ENGINEER

SPACE FLR JST'S TO ALLOW FOR PASSAGE OF 3" PIPE 12" OFF FINISHED WALL AT TOILET LOCATIONS.

R-19 BATT INSULATION IN MAIN LEVEL FLOOR 3/4" T&G O.S.B. GLUED AND SCREWED TO JOISTS. PROVIDE SOLID BLOCKING FOR ALL POINT LOADS TRAVELING FROM ROOF TO FOUNDATION.

ELEVATION NOTES:

DO NOT SCALE DRAWINGS. CALCULATE ANY NECESSARY DIMENSIONS AND CALL THE ARCHITECT FOR CLARIFICATION IF REQUIRED. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT JOBSITE.

FINISH GRADE LINES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY THAT GRADE SLOPES AWAY FROM FOUNDATION.

GUTTERS AND DOWNSPOUTS MAY NOT BE SHOWN FOR CLARITY OF DRAWINGS. OWNER OR CONTRACTOR MAY ELECT TO USE RAIN DIVERTERS OVER DOORS OR WALKWAYS IN LIEU OF GUTTERS. SIZE GUTTERS AND DOWNSPOUTS PER SMACNA STANDARDS AND PLACE DOWNSPOUTS IN INCONSPICUOUS OR AESTHETICALLY PLEASING LOCATIONS.

DOOR AND WINDOW NOTES:

CONTRACTOR TO VERIFY ALL DOOR AND WINDOW DIMENSIONS AND SUBMIT SHOP DRAWINGS TO THE ARCHITECT PRIOR TO PLACING ORDER.

ALL REQUIRED EGRESS WINDOWS SHALL MEET NATIONAL AND LOCAL CODES TO ENSURE THE SAFETY OF OCCUPANTS. WINDOW SUPPLIER SHALL VERIFY EACH ROOM EGRESS REQUIREMENT AND SUPPLY CODE COMPLIANT WINDOWS AND NOTIFY BUILDER OF ALL CHANGES TO WINDOW SIZES.

ALL DOORS AND WINDOWS SHALL BE SEALED TOP SIDES AND BOTTOM PER CURRENT BEST CONSTRUCTION PRACTICES AND SHALL OPERATE SMOOTHLY.

INSTALL WEATHER-STRIPPING AND WEATHER SWEEPS ON ALL DOORS LEADING TO UNCONDITIONED AREAS. ALL OPERABLE WINDOWS SHALL BE FACTORY WEATHER STRIPPED.

ALL WINDOW GRILLES SHOWN ARE TO BE ALUMINUM CLAD SDL GRILLES.

ALL WINDOWS TO HAVE TRIM TO MATCH EXISTING (OR AS PER OWNERS REQUEST) DOOR & WINDOWS SIZED ON FLOOR PLANS. ALL SELECTIONS GENERAL CONTRACTOR TO COORDINATE WITH OWNER.

TEMPER GLASS PER LOCAL BUILDING CODE AND MANUF.

GARAGE:

USE TYPE "X" GYPSUM BOARD AS REQUIRED BY LOCAL BUILDING CODE.

FLOOR PLAN NOTES:

DO NOT SCALE DRAWINGS. CALCULATE ANY NECESSARY DIMENSIONS AND CALL THE ARCHITECT FOR CLARIFICATION IF REQUIRED. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT JOBSITE.

ALL DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD , CONCRETE WALL OR CMU WALL UNLESS OTHERWISE NOTED.

MOISTURE RESISTANCE GYPSUM BOARD SHALL BE USED IN BATHROOMS AND OTHER ROOMS WHERE WATER FIXTURES OR WATER IS PRESENT.

CONTRACTOR TO CENTER PLUMBING FIXTURES IN SPACE PROVIDED UNLESS NOTED OTHERWISE.

CONTRACTOR TO PROVIDE TERMITE SHIELD CONSISTING OF CONTINUOUS METAL FLASHING EPOXY-SEALED TO CONCRETE FOUNDATION; JOINTS IN FLASHING TO BE EPOXY SEALED OR SOLDERED.

(IF REQUIRED) AT BRICK OR STONE VENEER LOCATIONS PROVIDE MINIMUM 1" AIRSPACE BEHIND VENEER EXCEPT AT CONCRETE FOUNDATION WALL. PROVIDE CONTINUOUS THRU WALL FLASHING W/ OPEN HEAD WEEP JOINTS TO DAYLIGHT AT 24" O.C. ALONG BASE OF WALLS & MORTAR NETS AT BACK OF MASONRY AND ABOVE THRU WALL FLASHING EXIT LOCATIONS.

PROVIDE FLASHING AS REQUIRED AT MATERIAL TRANSITIONS AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.

WOOD FRAMING NOTES:

THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE Laterally SUPPORTED BY SAME SHALL BE BRACED UNTIL ALL CONSTRUCTION IS COMPLETED.

REFER TO STRUCTURAL ENGINEER'S OR LUMBER SUPPLIER DRAWINGS FOR ALL FRAMING SPECIFICATIONS.

CUTTING, NOTCHING, BORED HOLES IN STUD WALLS, RAFTERS, ETC. SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE AND AS APPROVED BY STRUCTURAL ENGINEER.

WHERE WOOD BEAMS BEAR ON STUD WALLS, PROVIDE MINIMUM, DOUBLE OR TRIPLE STUD (DEPENDING ON BEAM WIDTH) UNDER BEAM BEARING OR AS SPECIFIED BY STRUCTURAL ENGINEER.

USE DOUBLE FLOOR JOISTS UNDER WALLS PARALLEL TO JOISTS, OR BLOCK BETWEEN JOISTS ACCORDINGLY.

ALIGN FLOOR JOISTS WITH WALL STUDS WHERE POSSIBLE.

ALL WOOD IN CONTACT WITH CONCRETE OR CONCRETE BLOCK UNITS SHALL BE PRESSURE TREATED.

ALL MASONRY TO BE SUPPORTED BY STRUCTURAL BEAMS AS SPECIFIED BY STRUCTURAL ENGINEER.

ALL STRUCTURAL FRAMING SIZING, REINFORCEMENT, AND SPECIFICATIONS BY OTHERS.

ELECTRICAL, LIGHTING, AUDIO/VISUAL, COMMUNICATIONS:

ALL ELECTRICAL LAND LIGHTING LOCATIONS SHALL BE MARKED BY THE BUILDER (ON FLOOR OR WALL) AND APPROVED BY THE OWNER PRIOR TO INSTALLATION OF WIRING OR FIXTURES. (REFER TO INTERIOR DOCUMENTS FOR ADDITIONAL INFORMATION)

CONTRACTOR SHALL MAKE THE NECESSARY ALLOWANCES FOR WIRING OF AUDIO-VISUAL, COMMUNICATION AND SECURITY SYSTEMS.

PROVIDE SMOKE DETECTION SYSTEM PER LOCAL BUILDING CODE AND FIRE CODES.

ROOF FRAMING NOTES:

LVL AND HANGER MANUFACTURERS SHALL VERIFY ALL BEAM SIZES AND ASSOCIATED HANGER CONDITIONS. LVL AND HANGER MANUFACTURERS ARE RESPONSIBLE FOR THE FINAL LVL SIZES AND HANGER REQUIREMENTS SENT TO THE CONSTRUCTION SITE. SIZES PROVIDED BY THE ARCHITECT ARE TO SHOW DESIGN INTENT ONLY. ARCHITECT SHALL BE NOTIFIED WHEN DEPTH OF THE MEMBER IS MODIFIED IN A MANNER THAT AFFECTS CEILING OR ROOF CONDITIONS. ALL TRUSS TO TRUSS OR BEAM TO BEAM HANGERS TO BE PROVIDED BY PRE-ENG. TRUSS SUPPLIER.

ICE AND WATERSHIELD ALL CRICKETS, VALLEYS, ENTIRE CHIMNEYS (INCLUDING CAP AND BASE PERIMETER), ROOFS WITH SLOPES LESS THAN 4:12, MASTER BAY ROOF, UNDER ALL SV METAL ROOFING, LOW SLOPE TRANSITIONAL ROOFS AROUND TOWER AND DORMER WALL PENETRATIONS PER MANUFACTURER'S RECOMMENDATIONS.

ROOF NOTES:

MAIN ROOF TO BE SHEATHED PRIOR TO OVERFRAMING. FRAMER IS RESPONSIBLE FOR VERIFYING ALL BEARING HEIGHTS AND ROOF SUPPORT BEAM LOCATIONS PRIOR TO FRAMING. FRAMER IS RESPONSIBLE FOR TRACKING AND PROVIDING STRUCTURAL SUPPORT FOR ALL ROOF LOADS TO FOUNDATION. ALL BRICK TO BE SUPPORTED BY TRIPLE RAFTERS & BRICK LINTEL.

FLASHING- PROVIDE CONT. FLASHING AS REQUIRED PER MANUFACTURER'S RECOMMENDATION AT ROOF TRANSISIONS (i.e. Base & Counter, Step, Drip Edge, etc...)

PROVIDE COPPER PLUMBING BOOT FOR ALL VENT PENETRATIONS FABRICATED PER SMACNA STANDARDS. ALL VENTS SHALL BE LOCATED ON THE BACK SIDE OF THE MAIN HOUSE RIDGE LINE. NO WHITE PVC SHALL BE VISIBLE IN THE ROOF SURFACE.

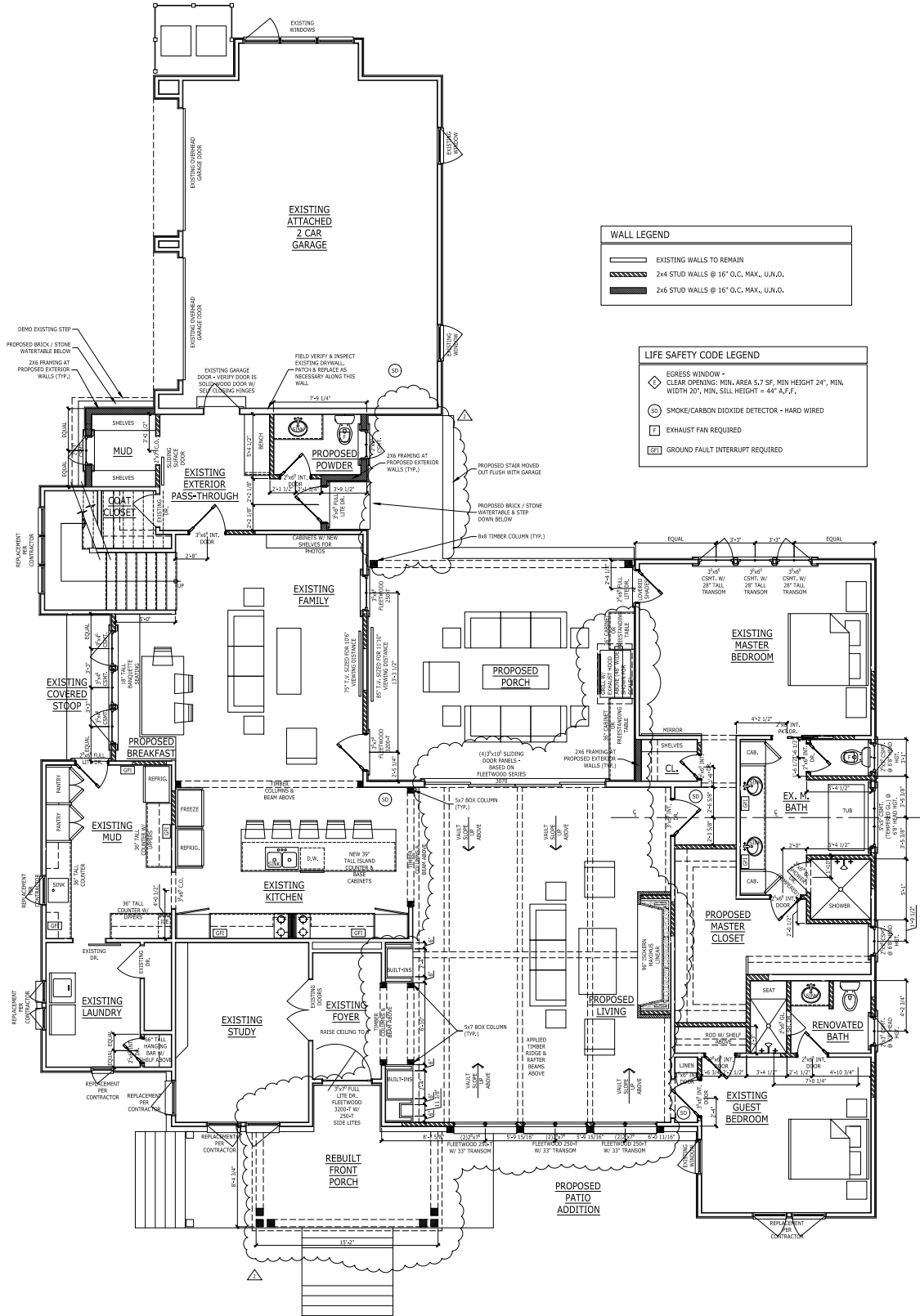
TYP. EAVE:

ALIGN EAVE TO MATCH EXISTING WHEN SHOWN AS ALIGNED. FIELD VERIFY PLATE HEIGHTS AS REQUIRED TO MAKE EAVE MATCH PER EAVE DETAIL. P.T. PLYWOOD SOFFIT, w/ CONT. VENT

TYP. ROOF SECTION:

- ASPHALT SHINGLES TO MATCH EXISTING WHEN SLOPE IS GREATER THAN 3.5:12
- RAFTERS PER STRUCTURAL ENGINEER PER IRC WITH BUILDER TO VERIFY SIZE AND SPACING WITH SPAN TABLES.
- SHEATHING PER CODE
- INSULATION PER CODE





Printed Set



Architectural elevation drawing of a proposed loggia addition and exterior improvements. The drawing shows a cross-section of a house with a gabled roof. The proposed addition is a single-story structure with a gabled roof, featuring a large window and a door. The existing structure has a gabled roof and a large window. The drawing includes various annotations for materials, dimensions, and construction details.

Annotations and dimensions:

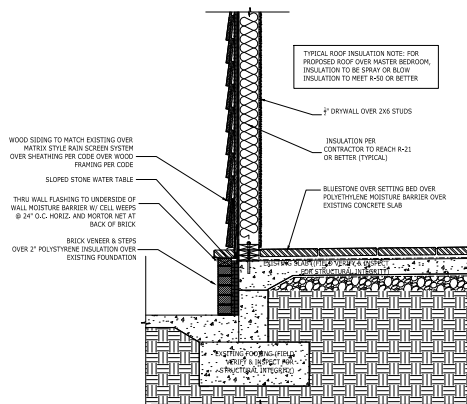
- PROPOSED ROOF TRUSSES PER TRUSS MANUFACTURE
- 2X T&G DECKING PER ENGINEER
- CYPRESS RAFTER BEAMS SPACED & SIZED BY ENGINEER
- PATCH & REPAIR EXISTING WINDOW OPENINGS
- EXISTING UPPER EXTERIOR WALL
- EXISTING GARAGE STRUCTURE BEYOND
- PAINTED DRYWALL
- LIVING ROOM / DINING
- 8x8 APPLIED TOMBER RAFTERS & BEAMS
- VERTICAL BUTT JOINT WOOD PANELS
- 2X TOP RAIL & STEM
- BOX COLUMN BEAM AROUND OPENING
- PROPOSED NEW PORCH ROOF
- EXISTING LATCH WINDOW DOOR
- EXISTING POWER BEYOND
- RENOVATED KITCHEN BEYOND
- PAINTED SHINGLE SIDING TO MATCH
- PROPOSED LOGGIA ADDITION
- 12'-0" DIM.

Architectural elevation drawing of the proposed rear exterior of a building. The drawing shows a gabled roof with a chimney on the right. The left side features a large window with a gabled roof. The right side has a gabled roof with a chimney. The central entrance area is labeled "PROPOSED SLEIGH DOORS IN EXISTING EXTERIOR WALL BEYOND". The right side has a door labeled "RENOVATED & PROPOSED ENCLOSED MUDROOM" and a window labeled "RENOVATED & PROPOSED ENCLOSED LOCKER ROOM". The roof is labeled "EXISTING UPPER BONUS". The drawing includes various annotations for construction details.

- ADDITIONAL ROOF & GABLE
- PATCHED SIDING TO MATCH EXISTING
- PROPOSED PLATE TO MATCH OPPOSITE EXISTING WALL
- EXISTING KNEE WALL PLATE REMOVED OR PLANNING ADDED ABOVE
- EXISTING PLATE TO REMAIN
- ASSUMED EXISTING FINISH CEILING
- ASSUMED EXISTING FINISH FLOOR
- EXISTING UPPER BONUS
- TIMBER WRAPPED BEAM
- PROPOSED PORCH ROOF ADDITION
- PROPOSED SLEIGH DOORS IN EXISTING EXTERIOR WALL BEYOND
- RENOVATED & PROPOSED ENCLOSED MUDROOM
- RENOVATED & PROPOSED ENCLOSED LOCKER ROOM

**JONATHAN MILLER:**  
ARCHITECTURE & DESIGN





2 PROPOSED TYPICAL WALL SECTION  
SCALE: 3/4\"/>

Permit Set



07/03/22

Proposed Typical  
Wall Section  
A - 41

08/09/2021 - 4:00 PM  
REVISIONS  
CONSTRUCTION

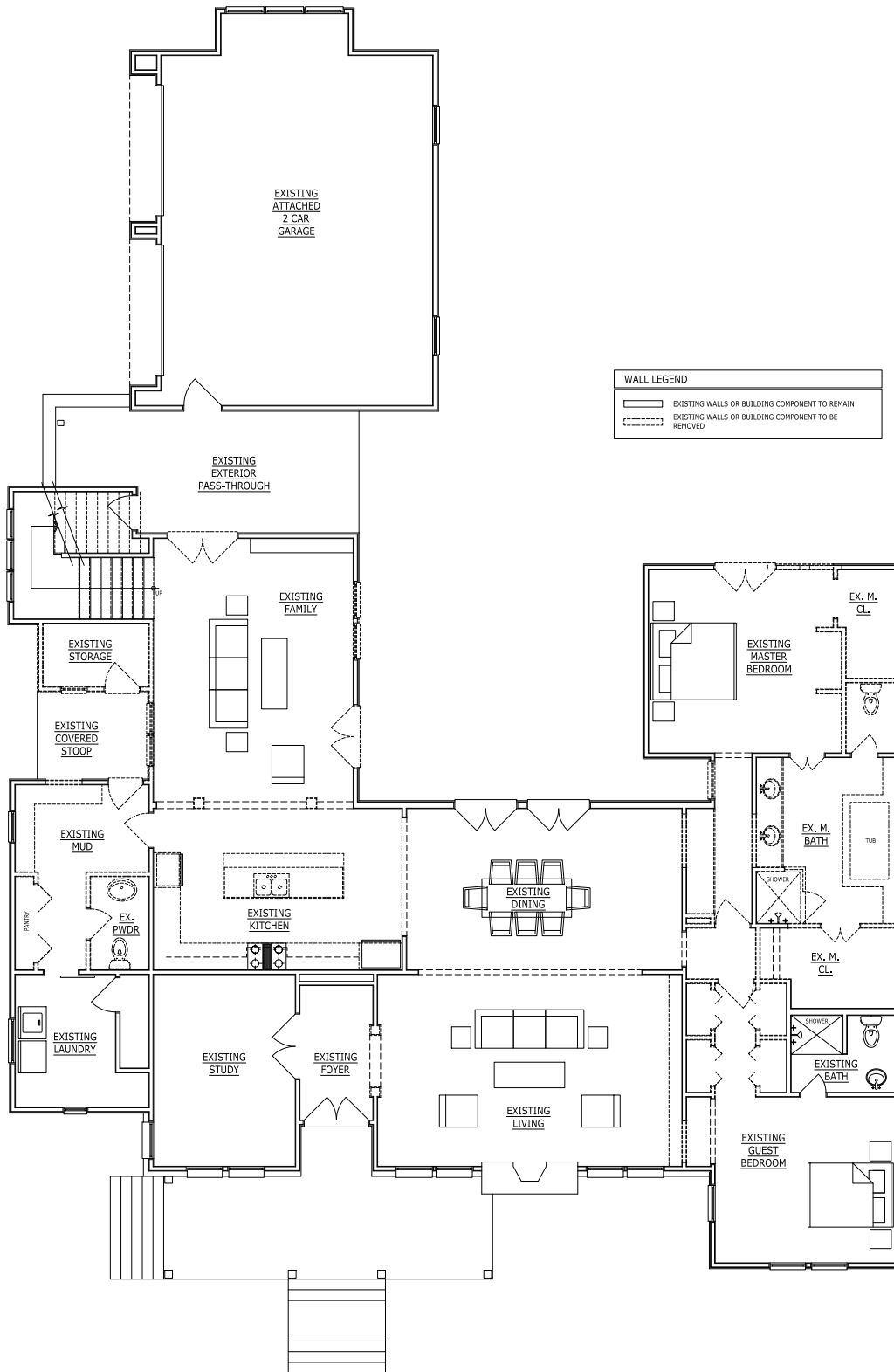
Atkins Construction Renovation  
1105 Scenic Drive  
Knoxville, Tennessee 37919

865.602.2435 office  
4814 Old Kingston Pike,  
Knoxville, TN 37919



JONATHAN MILLER  
ARCHITECTURE & DESIGN





WALL LEGEND	
	EXISTING WALLS OR BUILDING COMPONENT TO REMAIN
	EXISTING WALLS OR BUILDING COMPONENT TO BE REMOVED

1 EXISTING / DEMO MAIN LEVEL PLAN SCALE: 1/4" = 1'-0"



Permit Set

Existing / Demo Main Level Plan  
AB - 21  
07/03/22

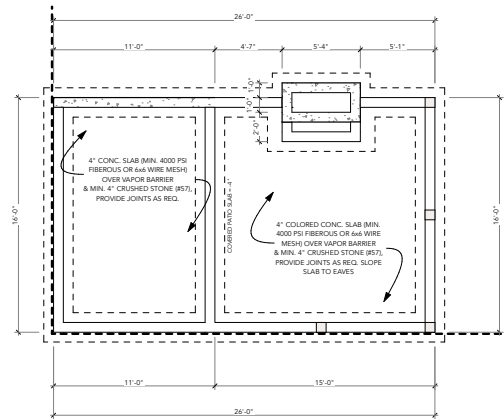
Atkins Construction Renovation  
1105 Scenic Drive  
Knoxville, Tennessee 37919

865.602.2435 office  
4814 Old Kingston Pike,  
Knoxville, TN 37919

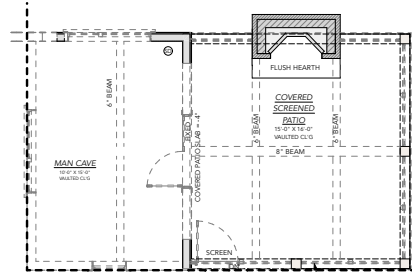


JONATHAN MILLER  
ARCHITECTURE & DESIGN

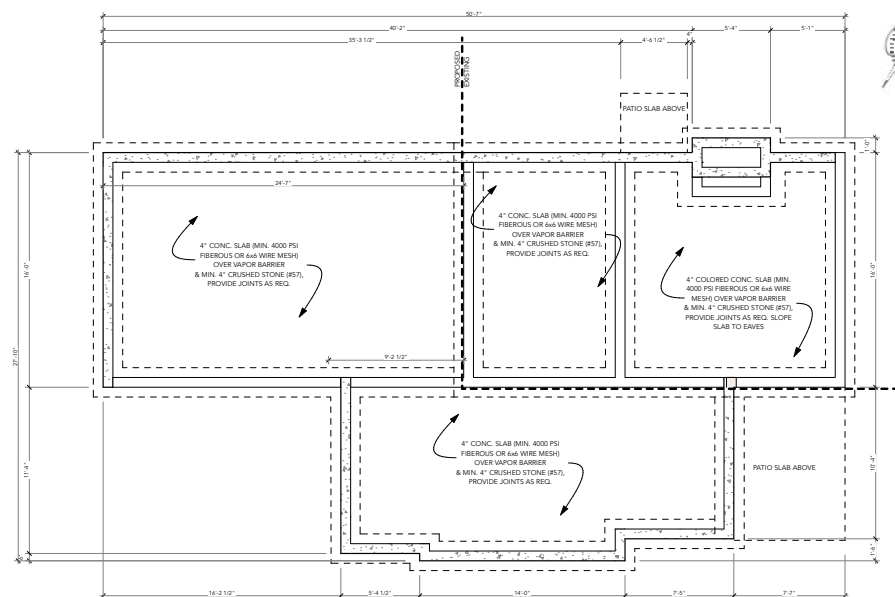
A-0.0



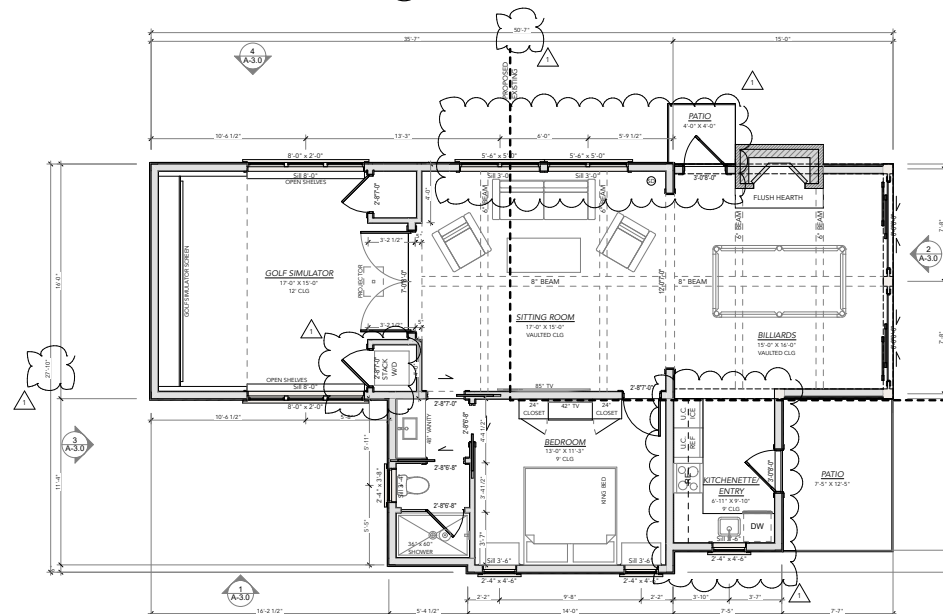
1 FOUNDATION PLAN - EXISTING  
SCALE: 1/4" = 1'-0"



2 — MAIN LEVEL - DEMO  
SCALE: 1/4" = 1'-0"



3 FOUNDATION PLAN - PLANNED  
SCALE: 1/4" = 1'-0"



4 MAIN LEVEL - PLANNED  
SCALE: 1/4" = 1'-0"

PERMIT SET



**JONATHAN MILLER**  
ARCHITECTURE & DESIGN



865.602.2435 office  
814 Old Kingston Pike  
Knoxville, TN 37919

HEUPEL POOL HOUSE  
1105 SCENIC DR KNOXVILLE, TN, 37919

## FLOOR PLANS

12/23/21	
REV 1	1/7/22

A-2.0

















