

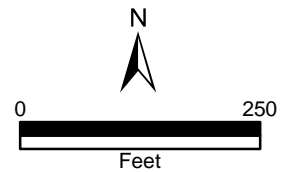
8-G-22-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1214 Luttrell St. 37917
 Old North Knoxville H

Original Print Date: 8/5/2022
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Blake Ramsey DKLEVY Architecture & Design



Meeting: 8/18/2022
Applicant: Blake Ramsey DKLEVY Architecture & Design
Owner: Aaron Hyde

Property Information

Location: 1214 Luttrell St. **Parcel ID** 81 L K 005
District: Old North Knoxville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Neoclassical-style Queen Anne cottage, c.1905

One-story, hipped-roof residence with a full-length front porch and a hipped roof. Door features sidelights and transom.

Description of Work

Level II Construction of Addition or Outbuilding

New rear addition, featuring a basement-level two-car garage and a covered deck. New in-ground pool.

Demolition of existing wooden deck and stairs.

Addition: rectangular addition features a basement-level, two-car garage, constructed of CMU and clad in wood lap siding to match the main house, topped by a cross-gable roof with wood pergolas extending from each elevation. The addition measures approximately 24' by 24'-8" overall, and projects from the right side of the rear elevation. The garage addition is adjoined by a 4' by 9'-6.5" lower-level massing on the east side (half-bath), and an outdoor shower. The addition's roof features open gables with a decorative wood truss designs on the rear and left (north) side elevations, and will be supported by square wood columns. A 7' tall by 18' wide garage door is located on the rear (east) elevation, with two double-hung windows on the south (left side) elevation.

Pool: new in-ground pool, measuring 40' by 20', to be located at the northeast corner of the property. Pool will be surrounded by a concrete pool deck measuring 10' wide on north east, and west, elevations, and extending 20'-5.5" south towards the driveway and addition. Project also includes a new CMU retaining wall running east-west on the property, with a new fence

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

New Additions

1. Locate attached exterior additions at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building. Proportion is very important.
 2. Design new additions in a manner which makes clear what is historic and what is new.
 3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district. Design for the new work may be contemporary or may reference design motifs from the
-

historic buildings. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, size, texture, scale, relationship of solids to voids, and color.

4. Place new additions such as balconies or solar greenhouses on non-character-defining elevations, and limit the size and scale in relationship to the historic building.

7. New work should not appear to be as old as the historic building. Do not duplicate the exact form, material, style, and detailing of the historic building in the new addition.

8. New additions should not cause a lessening or loss of historic character, including the historic building's design, materials, workmanship, location, or setting.

Outbuildings

1. Buildings resembling servants' quarters or carriage houses, work buildings, or simple one-story garages are appropriate to be constructed in the Fourth and Gill Historic District. Their size and construction should use materials that correspond to the original primary buildings on the lot.

Fences and Other Edges

1. Fences used today in Fourth and Gill should be of wood or a durable wrought or cast material, and may have a stone foundation. Fences in front yards should be limited to three feet in height. Solid board, stockade, or chain link fences are not appropriate for front yards. Taller decorative fencing is acceptable toward the rear property boundaries for reasons of security, privacy, and screening. [...] Chain link fences may be utilized in back yards if they are not visible from facing or side streets, but they should be painted dark green to blend in with the background.

Comments

N/A

Staff Findings

1. 1214 Luttrell Street is a contributing resource to the Fourth & Gill National Register Historic District and local overlay. The double lot (105' wide) is uniquely large for the neighborhood.

2. The house's rear elevation was modified in 2018 (10-G-18-HZ), including the removal of a non-historic enclosed back porch section and the construction of a new wood deck. The application does not include modifications to the existing rear elevation, and will retain the existing rear doors. The 2018 deck is proposed to be removed.

3. The addition is proposed for the rear of the historic house, on an elevation which has been modified at least twice; placement of the addition meets the design guidelines. At two stories tall, 24' wide by approximately 24'-8" long, with an additional lower-level section measuring 4' wide by 9'-6.5" long, the addition is large in size. The Commission may choose to discuss the overall size of the addition in relation to the main house.

4. The construction of an attached garage on a rear elevation and lower level of the house meets the design guidelines, and it does not require the removal of historic features. The garage will use an existing driveway and will not require a new curb cut. All site plan modifications should stay within the impervious surface limits for the City's RN-2 zoning. Final specs for the garage doors should be submitted to staff for approval.

5. The addition's roofline is stepped significantly below that of the primary house, and one level is below the grade visible on Luttrell Street. The roofline is subordinate to the main house. The open-truss timber design featured on both porch gables is a contemporary design not compatible with a historic house, and the side gable will be visible from Luttrell Street. Porch roof details should be redesigned to be more compatible with a Neoclassical-style Queen Anne Cottage (enclosing the gables with siding, modifying the cross-gable detail, or other tactic).

6. Wood pergolas are a decorative element which could easily be removed without effect on the historic house, though the Commission may choose to discuss their size, proportion, and visibility from the street.

7. The proposed wood lap siding on the side elevations is compatible with the main house. The two windows proposed for the south elevation addition contribute additional transparency; final specifications should be submitted to staff to confirm they meet design guidelines.

8. The Fourth & Gill Design Guidelines do not include recommendations for pools. Comparable districts with guidelines on swimming pools (Old North Knoxville), which state "swimming pools were not part of the original fabric of the neighborhood, and should be designed to be as unobtrusive as possible" and "...swimming pools must be carefully designed to be compatible with the historic appearance of the neighborhood." Mechanicsville's guidelines also state the same and note that "it must be an in-ground pool." The pool will be in-ground, towards the rear of the property, and recessed below a retaining wall and fence. The pool should be recessed as far towards the rear property line as possible.

9. The pool will be minimally visible from the public right-of-way, though renderings indicate the fence and the retaining wall will be visible from Luttrell Street. Any visible elements of the retaining wall should avoid the appearance of flat, simple CMU and instead be clad in stone or finished to resemble cast stone (to resemble the "stone foundation" recommended for fences in the guidelines). The fence should be constructed of wood or wrought material and contribute to the inconspicuous nature of the new pool.

Staff Recommendation

Staff recommends approval of Certificate 8-G-22-HZ, subject to the following conditions:

- 1) Final site plan to remain within impervious surface limits for RN-2 zoning;
- 2) Applicant to submit final specifications for garage doors and south elevation windows to staff for approval;
- 3) Porch roof details to be redesigned to be compatible yet secondary to the primary house, removing the open-truss design;
- 4) Retaining wall to be constructed of stone, feature stone cladding, or CMU resembling cast stone, and final fence design to meet the design guidelines, with approval by staff.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Blake Ramsey

Applicant

08/01/2022

August 18, 2022

8-G-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Blake Ramsey

DKLEVY Architecture & Design

Name

Company

3523 Maloney Road

Knoxville

TN

37920

Address

City

State

Zip

865-474-9264

ca@dklevy.com

Phone

Email

CURRENT PROPERTY INFO

Aaron Hyde

1214 Luttrell Street

865-256-7070

Owner Name (if different from applicant)

Owner Address

Owner Phone

1214 Luttrell Street

081LK005

Property Address

Parcel ID

4th and Gill

RN-2 Historic 4th & Gill

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

8.1.22

Staff Signature

Please Print

Date

Blake Ramsey

Blake Ramsey

08/01/2022

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: **rear garage with deck and covered porch above, pergola, pool and pool house.**

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1: 100.00	TOTAL: 100.00
FEE 2:	
FEE 3:	

HISTORIC OVERLAY REVIEW SUBMITTAL

From: Ethan Guthrie
Ethan@dklevy.com
(865) 474-9264

To: LINDSAY CROCKETT
Knoxville-Knox County Planning
400 Main Street, Suite 403

Date: 08/01/2022

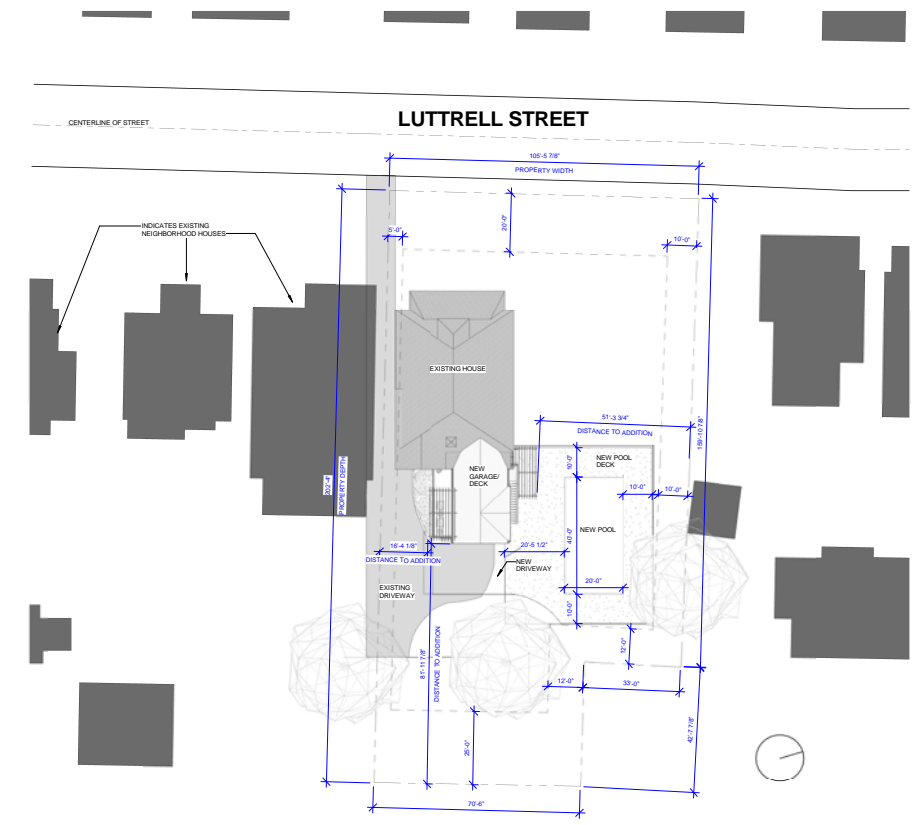
Project Name: THE HYDE RESIDENCE
Project Address: 1214 LUTTRELL STREET, KNOXVILLE, TN 37917

Project Detailed Description:

THIS PROJECT CONSISTS OF AN ADDITION TO A SINGLE FAMILY RESIDENCE. THE ADDITION CONSISTS OF A TWO CAR GARAGE, COVERED DECK, POOL AND WET BAR. THE EXISTING HOUSE HAS A WOODEN DECK AND STAIR ATTACHED TO THE REAR. THE SCOPE OF WORK INCLUDES DEMOLISHING THIS EXISTING DECK AND REPLACING IT WITH A CMU BLOCK, TWO CAR GARAGE. THE NEW GARAGE WILL BE CLAD IN LAP SIDING TO MATCH THE EXISTING HOUSE. ON TOP OF THIS NEW GARAGE WILL BE AN OCCUPIABLE OUTDOORSPACE. IT WILL BE COVERED WITH A NEW SHINGLED GABLE ROOF AND A PERGOLA. THE OWNERS WILL HAVE ACCESS TO THIS DECK FROM THEIR EXISTING DECK ACCESS IN THE HOUSE, AND A NEW STAIR THAT DESCENDS TO THE POOL DECK. THE PROJECT ALSO HAS A NEW POOL, OUTDOOR SHOWER, AND OUTDOOR WET BAR AS WELL. THE SHOWER AND WET BAR ARE ALSO COVERED BY A PERGOLA.

NOT FOR CONSTRUCTION

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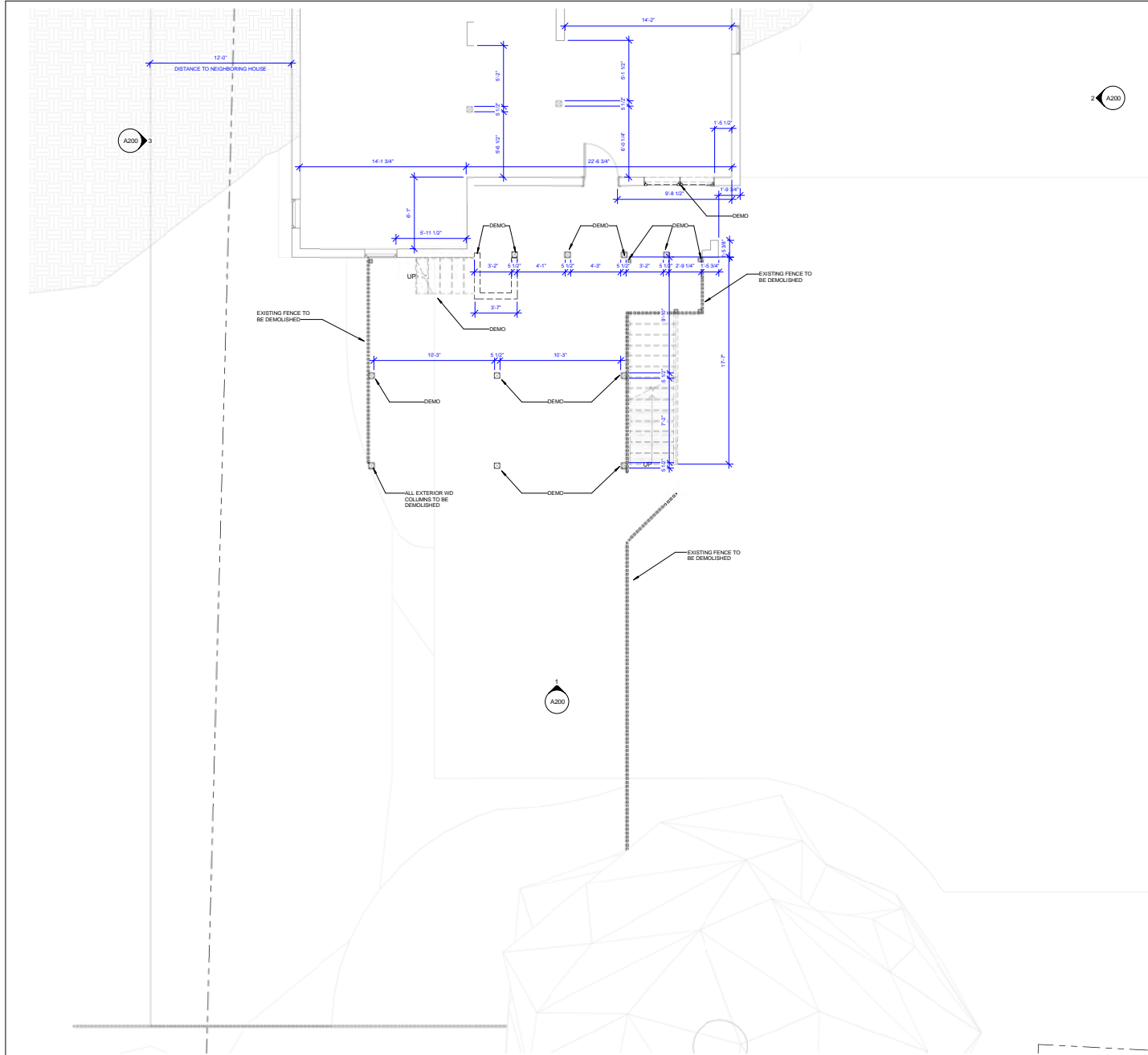
1 SITE PLAN
 1" = 20'-0"

- FLOOR PLAN NOTES**
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. "CLEAR" DISTANCE DENOTES CLEAR BETWEEN FINISH WALLS.
 - INTERIOR WALLS TO BE 2x4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. WALL BOARD EACH SIDE. TYPICAL UNLESS NOTED OTHERWISE.
 - 1-HR FIRE RATED WALL. 5/8" FIRE RATED TYPE 'X' GYPSUM BOARD EACH SIDE OF 2x4 STUDS AT 1'-4" O.C. PROVIDE 5/8" FIRE RATED TYPE 'X' GYPSUM AT BOTTOM OF FLOOR JOISTS AT GARAGE BASEMENT & MAIN LEVELS.
 - COORDINATE TRUSS BEARING LOCATIONS WITH TRUSS MFG. PRIOR TO WALL ERECTION.
 - FLOOR DRAIN, SLOPE 1-1/2" TO DRAIN FROM PERIMETER OF GARAGE.
 - STAIRS TO HAVE 3'-0" CLEAR WIDTH. STAIR HANDRAILS SHALL BE 36" ABOVE TREAD NOSING. 4" MAXIMUM SPACE BETWEEN RAILING BALUSTERS. STAIR RISERS TO BE 7-3/4" MAX. WITH TREADS AT 10" MIN.
 - EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5'7" SQUARE FEET. THE NET CLEAR HEIGHT SHALL NOT BE LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 INCHES.

Drawing Set
HISTORIC REVIEW
Project Information
HYDE RESIDENCE
AARON HYDE
1214 LUTTRELL STREET, KNOXVILLE, TN 37917
Code Information
Type of Const.: Type V-B
Occupancy Class: R-3
Fire Protection Systems:
Smoke Alarm
OO Alarm

Drawing Information		
Revisions		
No.	Description	Date
Project Number	22078	
Issue Date	08.01.22	
Drawn By	EMG	
Checked By	DML	
Scale	As indicated	
SITE PLAN		

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Revisions												
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Drawn By	EMG											
Checked By	DML											
Scale	1/4" = 1'-0"											
BASEMENT PLAN EXISTING												

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WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	SILL HEIGHT	COMMENTS
A	3'-0"	4'-0"	3'-0"	

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	COMMENTS	
A100B	3'-0"	6'-8"	F	
A100A	18'-0"	7'-0"	OH	
A103	3'-0"	6'-8"	F	
A101	3'-0"	6'-8"	F	

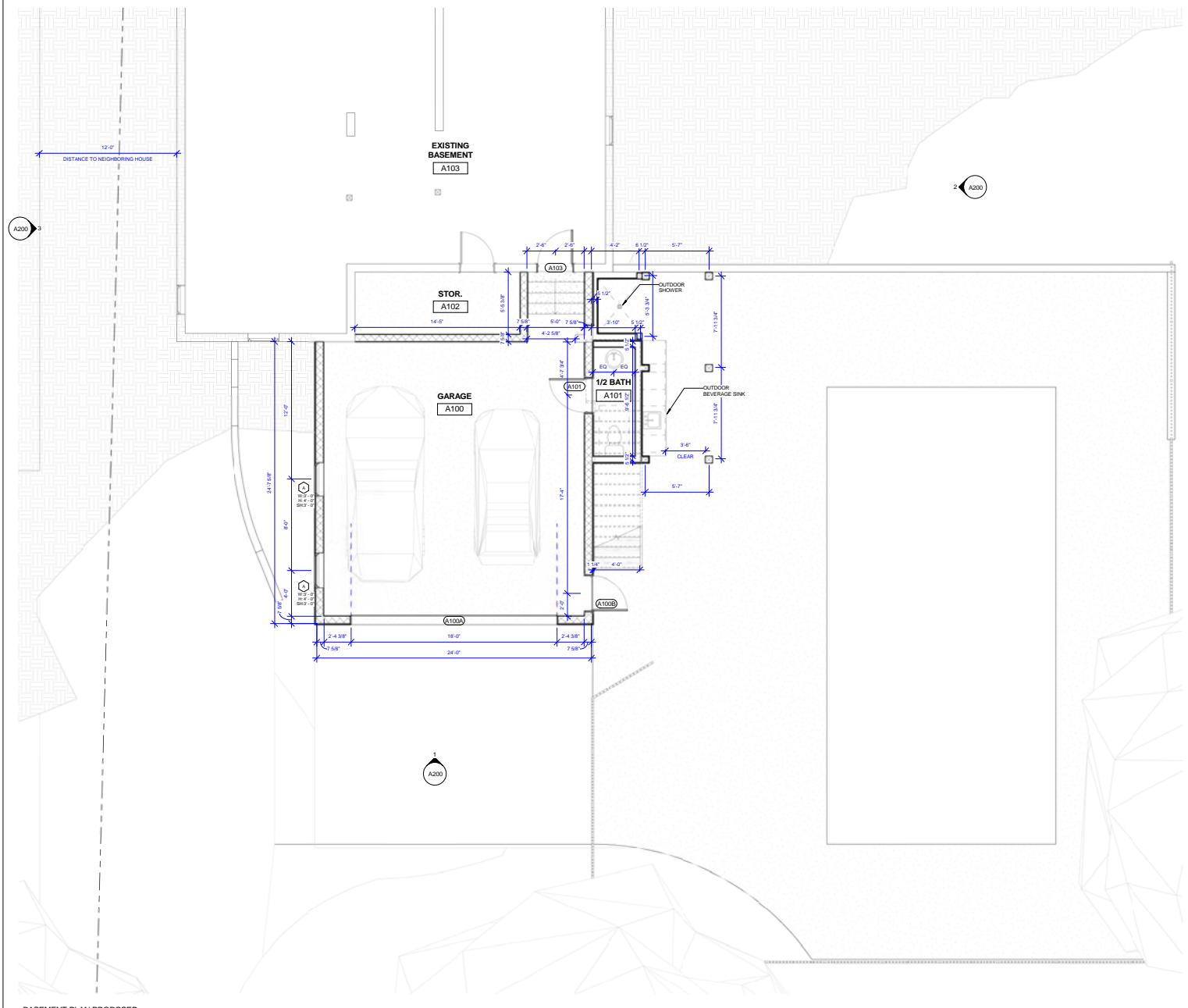
F - FULL PANEL
FD - FULL GLASS
OH - OVERHEAD DOOR
OD - CASED OPENING
D - DUTCH DOOR

NOTE: EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR HEIGHT SHALL NOT BE LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 INCHES.

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BASEMENT PLAN PROPOSED		

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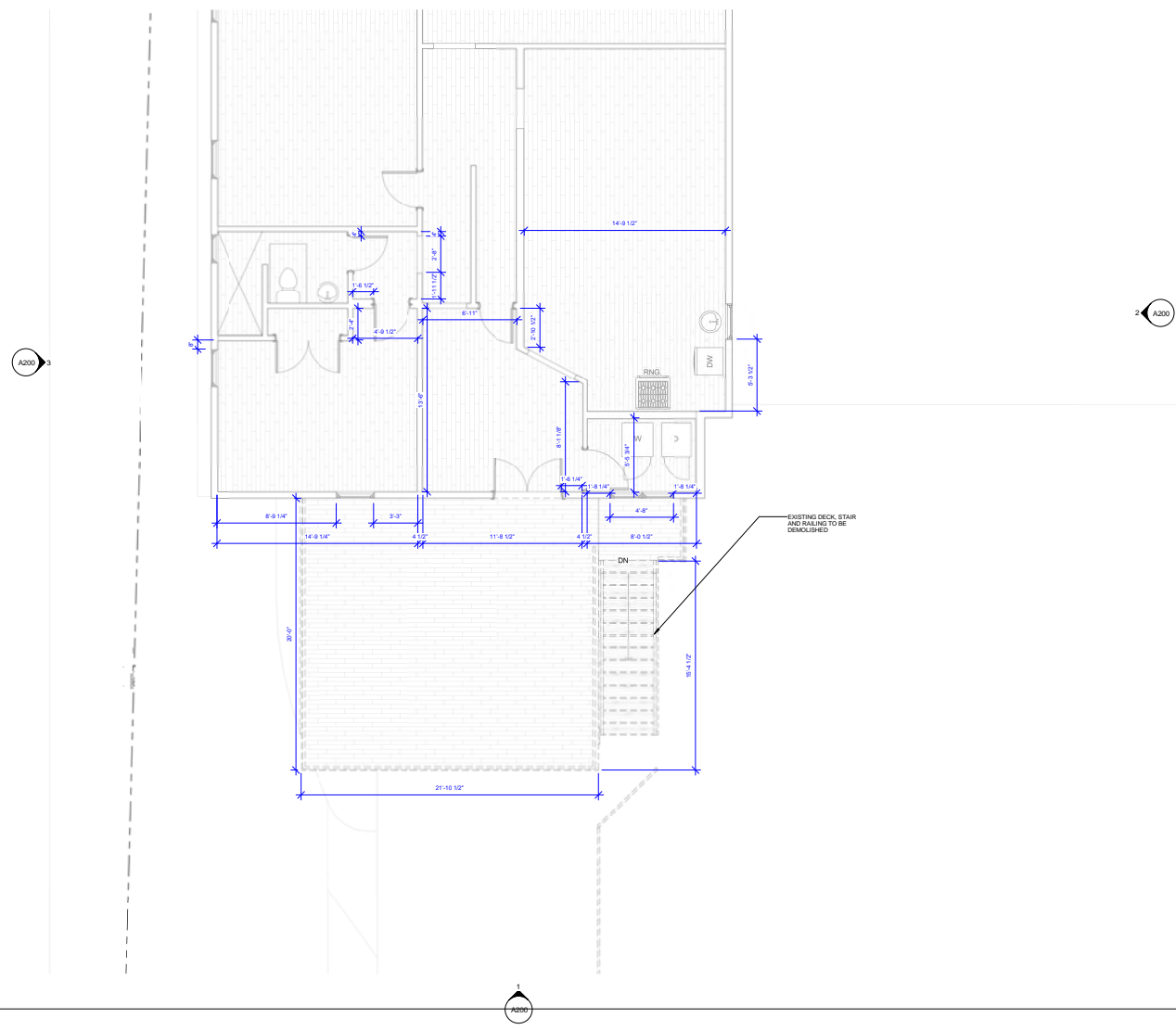
1 BASEMENT PLAN PROPOSED
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① LEVEL 1 EXISTING
 1/4" = 1'-0"

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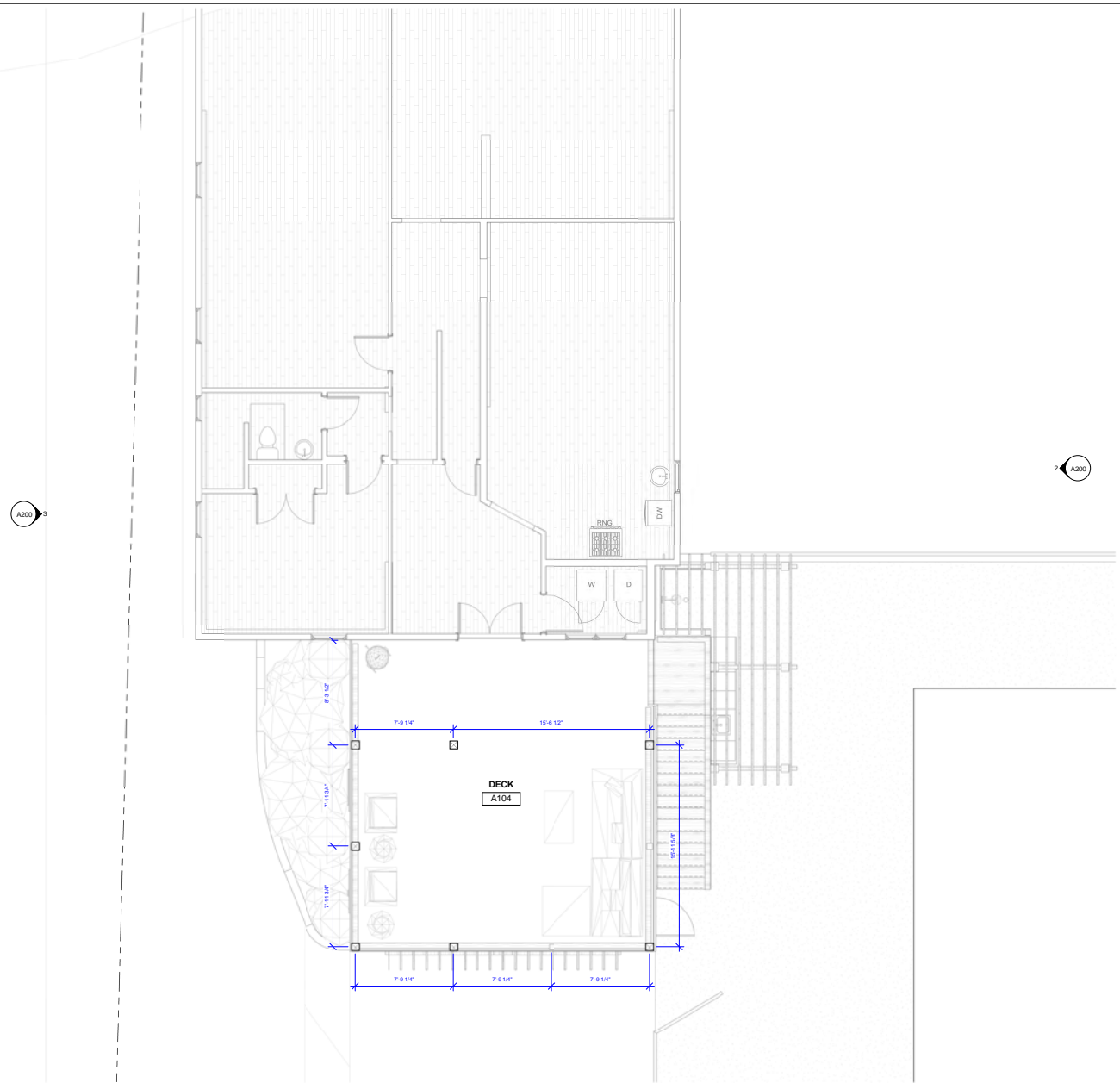
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1 LEVEL 1 PROPOSED
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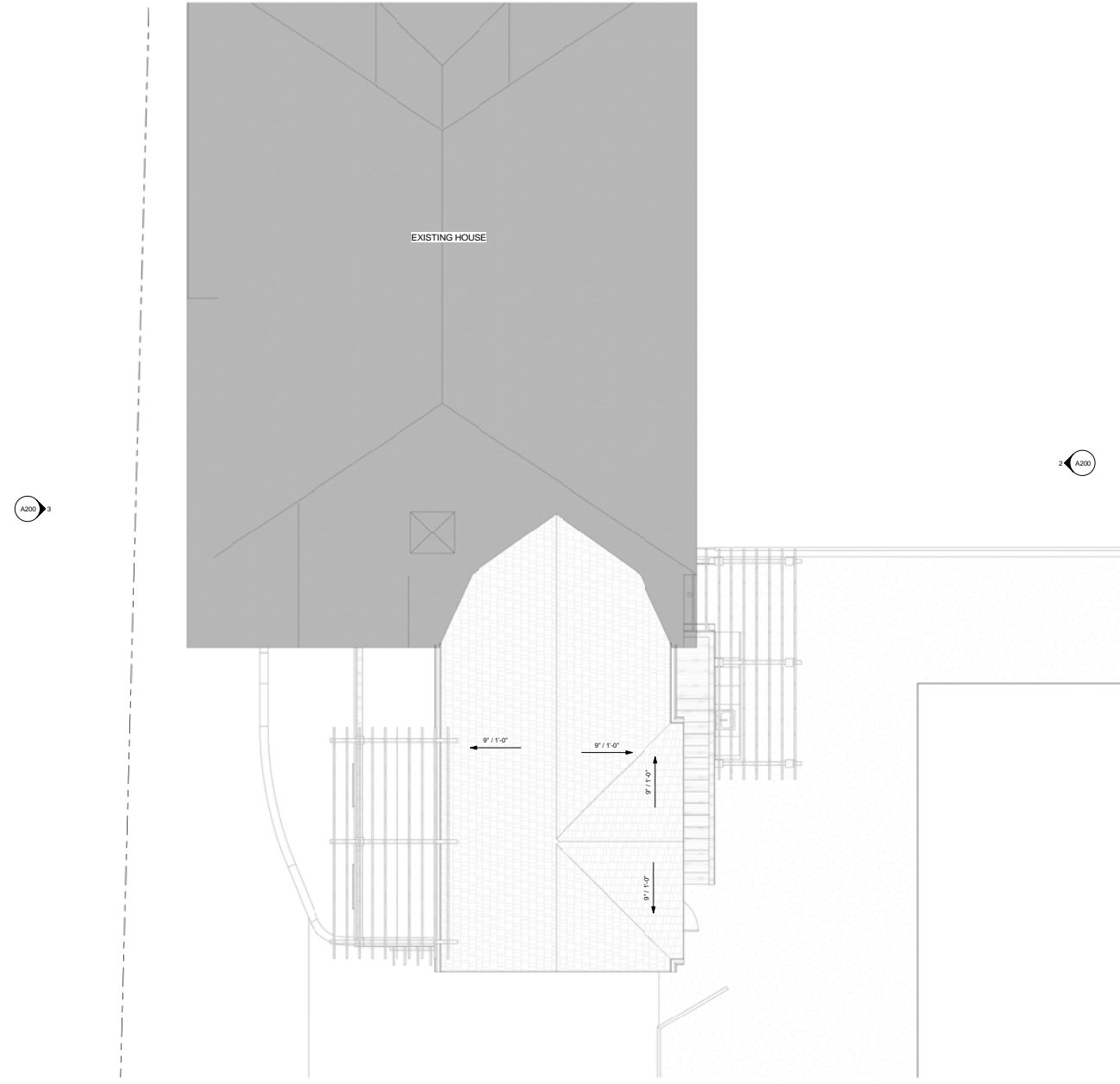
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ROOF PLAN NOTES

1. SEE ROOF PLAN FOR ROOFING MATERIAL TYPE, COLOR OF ROOFING MATERIAL, SELECTED BY OWNER.
2. PROVIDE HP & RIDGE VENTING (TYP. - NOT SHOWN)
3. PROVIDE 5" GUTTER (TYP.) (GUTTERS AND DOWNSPOUTS NOT SHOWN ON ROOF PLAN OR ELEVATIONS).
3. GUTTERS AND DOWNSPOUT FINISH SELECTED BY OWNER.



A200-3

A200

A200

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1 ROOF PLAN
 1/4" = 1'-0"

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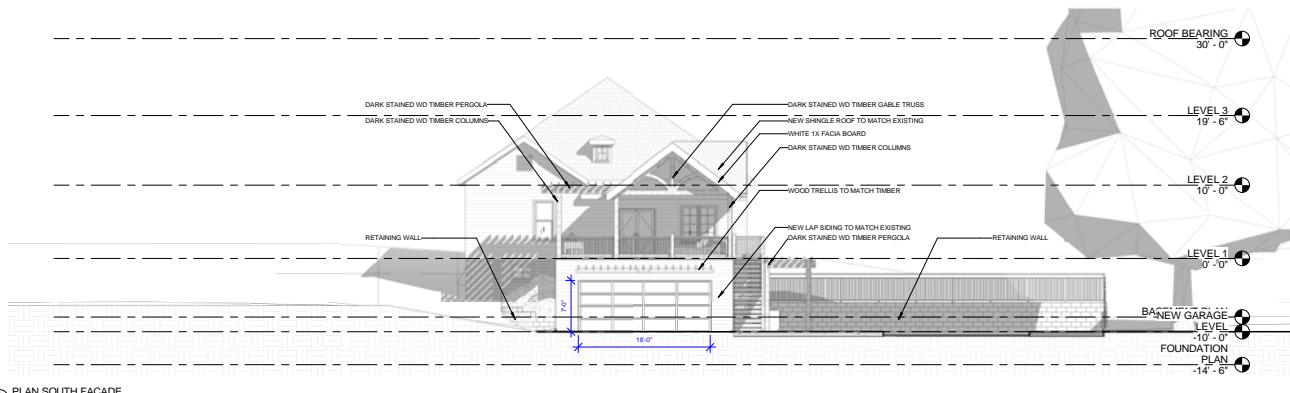
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ROOF PLAN PROPOSED		

A105

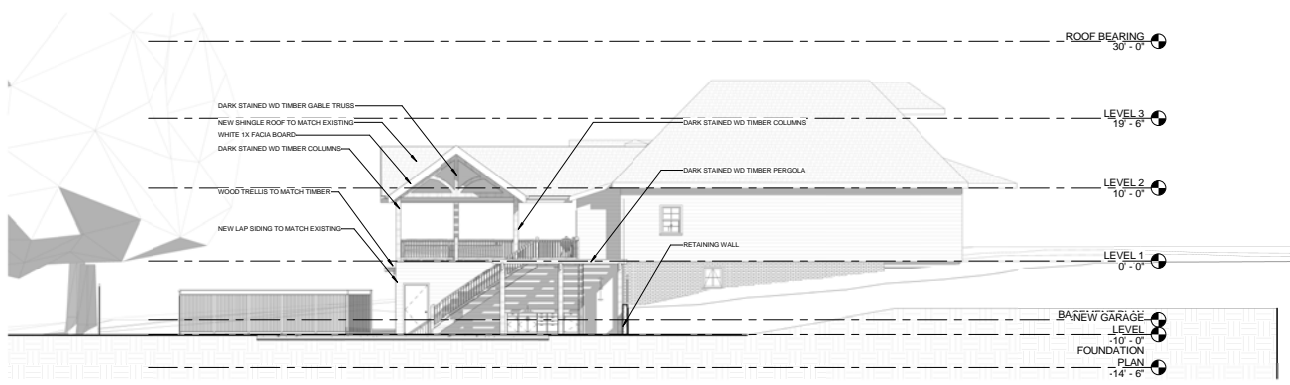
NOT FOR CONSTRUCTION

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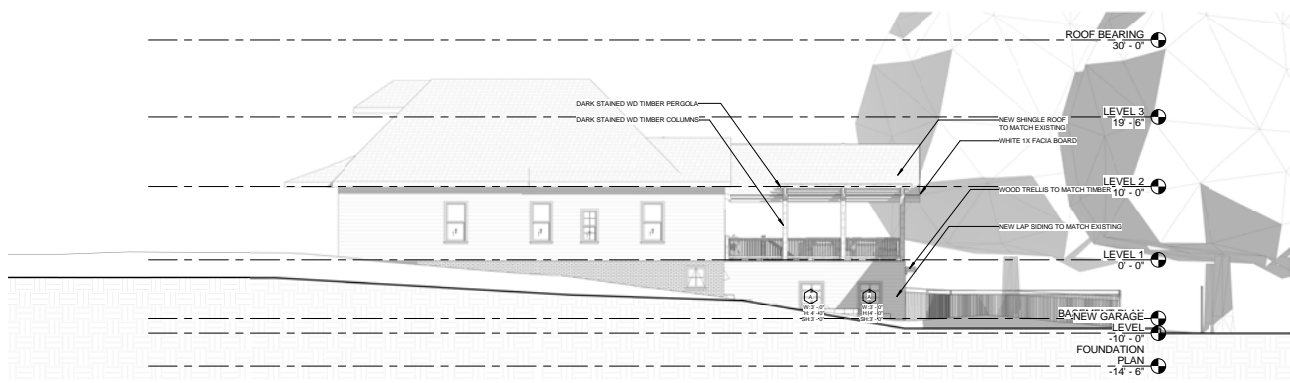
- ELEVATION NOTES**
1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
 2. NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.
 3. FINISH GRADE TO BE MIN. 6" BELOW TOP OF FOUNDATION WALL AND SLOPE 0% MIN. WITHIN THE FIRST 10' FROM FOUNDATION. SEE TYPICAL WALL SECTIONS.



① PLAN SOUTH FACADE
 1/8" = 1'-0"



② PLAN EAST FACADE
 1/8" = 1'-0"



③ PLAN WEST FACADE
 1/8" = 1'-0"

Drawing Set
HISTORIC REVIEW
Project Information
HYDE RESIDENCE
AARON HYDE
1214 LUTTRELL STREET, KNOXVILLE, TN 37917
Code Information
Type of Const.: Type V-B
Occupancy Class: R-3
Fire Protection Systems:
Smoke Alarm
CO Alarm

Drawing Information		
Revisions		
No.	Description	Date
Project Number	22078	
Issue Date	08.01.22	
Drawn By	EMG	
Checked By	DML	
Scale	As Indicated	
ELEVATIONS PROPOSED		

A200

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CO Alarm

Drawing Information		
Revisions		
No.	Description	Date
Project Number	22078	
Issue Date	08.01.22	
Drawn By	EMG	
Checked By	DML	
Scale		
RENDERINGS		

A701

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Drawing Set
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OO Alarm

Drawing Information		
Revisions		
No.	Description	Date
Project Number	22078	
Issue Date	08.01.22	
Drawn By	EMG	
Checked By	DML	
Scale		
	RENDERINGS	

A702