



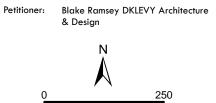


1214 Luttrell St. 37917

Old North Knoxville H

Original Print Date: 8/5/2022

Knoxville/Knox County Planning -- Historic Zoning Commission



Feet



Staff Report

Knoxville Historic Zoning Commission

File Number: 8-G-22-HZ

Meeting: 8/18/2022

Applicant: Blake Ramsey DKLEVY Architecture & Design

Owner: Aaron Hyde

Property Information

Location: 1214 Luttrell St. Parcel ID 81 L K 005

District: Old North Knoxville H

Zoning: RN-2 (Single-Family Residential Neighborhood) **Description:** Neoclassical-style Queen Anne cottage, c.1905

One-story, hipped-roof residence with a full-length front porch and a hipped roof. Door features sidelights and

transom.

Description of Work

Level II Construction of Addition or Outbuilding

New rear addition, featuring a basement-level two-car garage and a covered deck. New in-ground pool.

Demolition of existing wooden deck and stairs.

Addition: rectangular addition features a basement-level, two-car garage, constructed of CMU and clad in wood lap siding to match the main house, topped by a cross-gable roof with wood pergolas extending from each elevation. The addition measures approximately 24' by 24'-8" overall, and projects from the right side of the rear elevation. The garage addition is adjoined by a 4' by 9'-6.5" lower-level massing on the east side (half-bath), and an outdoor shower. The addition's roof features open gables with a decorative wood truss designs on the rear and left (north) side elevations, and will be supported by square wood columns. A 7' tall by 18' wide garage door is located on the rear (east) elevation, with two double-hung windows on the south (left side) elevation.

Pool: new in-ground pool, measuring 40' by 20', to be located at the northeast corner of the property. Pool will be surrounded by a concrete pool deck measuring 10' wide on north east, and west, elevations, and extending 20'-5.5" south towards the driveway and addition. Project also includes a new CMU retaining wall running east-west on the property, with a new fence

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999. New Additions

- 1. Locate attached exterior additions at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building. Proportion is very important.
- 2. Design new additions in a manner which makes clear what is historic and what is new.
- 3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district. Design for the new work may be contemporary or may reference design motifs from the

Page 1 of 3 Planner in Charge: 8-G-22-HZ 8/10/2022 11:23:04 AM

historic buildings. It either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, size, texture, scale, relationship of solids to voids, and color.

- 4. Place new additions such as balconies or solar greenhouses on non-character-defining elevations, and limit the size and scale in relationship to the historic building.
- 7. New work should not appear to be as old as the historic building. Do not duplicate the exact form, material, style, and detailing of the historic building in the new addition.
- 8. New additions should not cause a lessening or loss of historic character, including the historic building's design, materials, workmanship, location, or setting.

Outbuildings

1. Buildings resembling servants' quarters or carriage houses, work buildings, or simple one-story garages are appropriate to be constructed in the Fourth and Gill Historic District. Their size and construction should use materials that correspond to the original primary buildings on the lot.

Fences and Other Edges

1. Fences used today in Fourth and Gill should be of wood or a durable wrought or cast material, and may have a stone foundation. Fences in front yards should be limited to three feet in height. Solid board, stockade, or chain link fences are not appropriate for front yards. Taller decorative fencing is acceptable toward the rear property boundaries for reasons of security, privacy, and screening. [...] Chain link fences may be utilized in back yards if they are not visible from facing or side streets, but they should be painted dark green to blend in with the background.

Comments

N/A

Staff Findings

- 1. 1214 Luttrell Street is a contributing resource to the Fourth & Gill National Register Historic District and local overlay. The double lot (105' wide) is uniquely large for the neighborhood.
- 2. The house's rear elevation was modified in 2018 (10-G-18-HZ), including the removal of a non-historic enclosed back porch section and the construction of a new wood deck. The application does not include modifications to the existing rear elevation, and will retain the existing rear doors. The 2018 deck is proposed to be removed.
- 3. The addition is proposed for the rear of the historic house, on an elevation which has been modified at least twice; placement of the addition meets the design guidelines. At two stories tall, 24' wide by approximately 24'-8" long, with an additional lower-level section measuring 4' wide by 9'-6.5" long, the addition is large in size. The Commission may choose to discuss the overall size of the addition in relation to the main house.
- 4. The construction of an attached garage on a rear elevation and lower level of the house meets the design guidelines, and it does not require the removal of historic features. The garage will use an existing driveway and will not require a new curb cut. All site plan modifications should stay within the impervious surface limits for the City's RN-2 zoning. Final specs for the garage doors should be submitted to staff for approval.
- 5. The addition's roofline is stepped significantly below that of the primary house, and one level is below the grade visible on Luttrell Street. The roofline is subordinate to the main house. The open-truss timber design featured on both porch gables is a contemporary design not compatible with a historic house, and the side gable will be visible from Luttrell Street. Porch roof details should be redesigned to be more compatible with a Neoclassical-style Queen Anne Cottage (enclosing the gables with siding, modifying the cross-gable detail, or other tactic).
- 6. Wood pergolas are a decorative element which could easily be removed without effect on the historic house, though the Commission may choose to discuss their size, proportion, and visibility from the street.

Page 2 of 3 Planner in Charge: 8-G-22-HZ 8/10/2022 11:23:04 AM

- 7. The proposed wood lap siding on the side elevations is compatible with the main house. The two windows proposed for the south elevation addition contribute additional transparency; final specifications should be submitted to staff to confirm they meet design guidelines.
- 8. The Fourth & Gill Design Guidelines do not include recommendations for pools. Comparable districts with guidelines on swimming pools (Old North Knoxville), which state "swimming pools were not part of the original fabric of the neighborhood, and should be designed to be as unobtrusive as possible" and "...swimming pools must be carefully designed to be compatible with the historic appearance of the neighborhood." Mechanicsville's guidelines also state the same and note that "it must be an in-ground pool." The pool will be in-ground, towards the rear of the property, and recessed below a retaining wall and fence. The pool should be recessed as far towards the rear property line as possible.
- 9. The pool will be minimally visible from the public right-of-way, though renderings indicate the fence and the retaining wall will be visible from Luttrell Street. Any visible elements of the retaining wall should avoid the appearance of flat, simple CMU and instead be clad in stone or finished to resemble cast stone (to resemble the "stone foundation" recommended for fences in the guidelines). The fence should be constructed of wood or wrought material and contribute to the inconspicuous nature of the new pool.

Staff Recommendation

Staff recommends approval of Certificate 8-G-22-HZ, subject to the following conditions:

- 1) Final site plan to remain within impervious surface limits for RN-2 zoning;
- 2) Applicant to submit final specifications for garage doors and south elevation windows to staff for approval;
- 3) Porch roof details to be redesigned to be compatible yet secondary to the primary house, removing the opentruss design;
- 4) Retaining wall to be constructed of stone, feature stone cladding, or CMU resembling cast stone, and final fence design to meet the design guidelines, with approval by staff.

Page 3 of 3 Planner in Charge: 8-G-22-HZ 8/10/2022 11:23:04 AM



DESIGN REVIEW REQUEST

DOWNTOWN DESIGN (DK)

HISTORIC ZONING (H)

INFILL HOUSING (IH) Blake Ramsey Applicant 08/01/2022 August 18, 2022 8-G-22-HZ Date Filed Meeting Date (if applicable) File Number(s) CORRESPONDENCE All correspondence related to this application should be directed to the approved contact listed below. □ Owner □ Contractor □ Engineer ■ Architect/Landscape Architect **DKLEVY Architecture & Design** Blake Ramsey Name Company TN 37920 Knoxville 3523 Maloney Road Address City State Zip 865-474-9264 ca@dklevy.com Phone Email CURRENT PROPERTY INFO Aaron Hyde 865-256-7070 1214 Luttrell Street Owner Name (if different from applicant) Owner Address Owner Phone 081LK005 1214 Luttrell Street **Property Address** Parcel ID RN-2 Historic 4th & Gill 4th and Gill Neighborhood Zoning AUTHORIZATION 8.1.22 **Lindsay Crockett** Please Print Date 08/01/2022 Blake Ramsey Applicant Signature Please Print Date

REQUEST

	Level 1:	,				
7	☐ Signs ☐ Alteration of an existing building/structure					
DOWNTOWN DESIGN	Level 2:					
	Addition to an existing building/structure					
	Level 3:	and landerson				
	☐ Construction of new building/structure ☐ Site design, parking, pla	zas, ianuscape				
S	See required Downtown Design attachment for more details.					
0	☐ Brief description of work:					
_						

	Level 1: ☐ Signs ☐ Routine repair of siding, windows, roof, or other features,	in-kind: Installation of gutters	storm windows/doors			
	Level 2:	in kind, installation of gatters	s, storm windows/doors			
9	☐ Major repair, removal, or replacement of architectural elements or ma	aterials 🔳 Additions and a	accessory structures			
HISTORIC ZONING	Level 3:					
20	☐ Construction of a new primary building					
RIC	Level 4:					
570	☐ Relocation of a contributing structure ☐ Demolition of a contribut	ing structure	*			
Ī	See required Historic Zoning attachment for more details.					
	Brief description of work: rear garage with deck and covered porch ab	ove, pergola, pool and pool h	ouse.			
	Level 1:					
	☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions					
	Level 2:					
SING	☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street					
USI	Level 3:					
INFILL HOU	☐ New primary structure					
⊒	☐ Site built ☐ Modular ☐ Multi-Sectional					
N	See required Infill Housing attachment for more details.	8				
	☐ Brief description of work:	- · ·				
		2				
100		FEE 1:	TOTAL:			
	ATTACHMENTS	100.00	100.00			
NE.	Downtown Design Checklist		100.00			
EO	Historic Zoning Design Checklist	FEE 2:				
STAFF USE ONLY	☐ Infill Housing Design Checklist					
AFF	ADDITIONAL REQUIREMENTS	FFF 3.				
ST	Property Owners / Option Holders	FEE 3:				
189	Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500					



Daniel Mark Levy, AIA 865.474.9264 dlevy@dklevydesign.com

HISTORIC OVERLAY REVIEW SUBMITTAL

From: Ethan Guthrie Ethan@dklevy.com (865) 474-9264

To: LINDSAY CROCKETT Knoxville-Knox County Planning 400 Main Street, Suite 403

Date: 08/01/2022

Project Name: THE HYDE RESIDENCE

Project Address: 1214 LUTTRELL STREET, KNOXVILLE, TN 37917

Project Detailed Description:

THIS PROJECT CONSISTS OF AN ADDITION TO A SINGLE FAMILY RESIDENCE. THE ADDITION CONSISTS OF A TWO CAR GARAGE, COVERED DECK, POOL AND WET BAR. THE EXISTING HOUSE HAS A WOODEN DECK AND STAIR ATTACHED TO THE REAR. THE SCOPE OF WORK INCLUDES DEMOLISHING THIS EXISTING DECK AND REPLACING IT WITH A CMU BLOCK, TWO CAR GARAGE. THE NEW GARAGE WILL BE CLAD IN LAP SIDING TO MATCH THE EXISTING HOUSE. ON TOP OF THIS NEW GARAGE WILL BE AN OCCUPIABLE OUTDOORSPACE. IT WILL BE COVERED WITH A NEW SHINGLED GABLE ROOF AND A PERGOLA. THE OWNERS WILL HAVE ACCESS TO THIS DECK FROM THEIR EXISTING DECK ACCESS IN THE HOUSE, AND A NEW STAIR THAT DESCENDS TO THE POOL DECK. THE PROJECT ALSO HAS A NEW POOL, OUTDOOR SHOWER, AND OUTDOOR WET BAR AS WELL. THE SHOWER AND WET BAR ARE ALSO COVERED BY A PERGOLA.



HYDE RESIDENCE

D DBL DEPT DES DET DIA DIFF DIM DISP DIV DN \$

DR DSCON DWR

I)KI H\/Y bu c

3523 MALONEY ROAD Knoxville, TN 37920 Email: info@dklevy.com Phone: 865.474.9264

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ARCHITECT

SHEET INDEX					
NUMBER	NAME				
	•				
G000	COVER				
A001	SITE PLAN				
A002	SPECIFICATIONS & FRAMING DETAILS				
A100	BASEMENT PLAN EXISTING				
A101	BASEMENT PLAN PROPOSED				
A102	LEVEL 1 EXISTING				
A103	LEVEL 1 PROPOSED				
A105	ROOF PLAN PROPOSED				
A200	ELEVATIONS PROPOSED				
A701	RENDERINGS				

INDEX

PROJECT INFORMATION PROJECT SUMMARY: THIS PROJECT CONSISTS OF AN ADDITION TO A SINGLE FAMILY RESIDENCE. THE ADDITION CONSISTS OF A TWO CAR GARAGE, COVERED DECK, POOL AND WET BAR.

ZONING JURISDICTION:

CLASSIFICATION: RESIDENTIAL (R-3) TYPE OF CONSTRUCTION: V-B

2018 IECC INSULATION REQUIREMENTS: CLIMATE ZONE 4 CEILING/ROOF R-49

CEILING/ROOF R-49
WALLS R-20 OR 13+5
BASEMENT WALL R-15
SLAB SLAB
FENESTRATION U-FACTOR
U-FACTOR
SHGC .40 R-10 FOR 2'-0" .32

FPLC FR FRMG FXD FXTR FLR FURN FWC ACCESSINY
ACOUSTIC/ALI
ABOVE FINISH
FLOOR
ALUMINUM
ALTERNATE
ANNUNCIATOR
ANODIZED
APPLIANCE
ARCHITECT(UI
AUTOMATIC
AVERAGE
AND GL GR GYP

ABBREVIATIONS

I INFO INSTRUM INSUL INTLK INT INFILTR DOUBLE DEPARTMENT DESIGN(ED) DETAIL

FIRE EXTINGUISHER FIRE EXTINGUISHER

JANITOR JOINT M MAX MFD MFR MECH MET MEMB MEZZ MIN MISC MLWK MOST MTD

ORNAMENTAL OVERFLOW

GENERAL NOTES

PARTITION
PEDESTRIAN
PARTICLE BOAR
PANEL
POLYSTYRENE
PORTABLE
PREFINISHED
PREFABRICATEI
PLASTIC LAMINA
PLASTIC
PLASTIC
PLASTIC
PLASTIC
PLASTIC
PLASTIC

RECESSED RECEPTACLE

REFERIENCE)
REFLECTED
REFRIGERATO
REGUIRED
RESIST(ANT)(IN
REINFORCE(D)
RESILIENT
ROOFING
ROOM
ROUGH

SCRIBE SECURITY SOLIARE FEET SINGLE SIMILAR STAINLESS STEE STANDARD STEEL STOREFRONT

STRUCTURAL SURFACE SYS SUSPENDED

TRANSPARENT TREATED TONGUE AND GROOT TYPICAL

UNDERLAYMENT UNLESS NOTED OTHERWISE

P
PTN
PEDTR
PBD
PNL
POLYST
PORT
PREFIN
PREFAB
PLAM
PLAS
PLSTC
PLYWD
PRTECN

R RDR RECES RECPT REF REFL REFR REQD RESIS REINF RESIL RFG RM RO

S SCR SECUR SF SGL SHORG SIM SST STD STL STRFR

STRUCT SURF SYSTEM(S) SUSP

T THK TLT TRAF TRANS TRTD T&G TYP

1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WO 2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.

 SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION OR INSTALLATION. 5. COORDINATE WORK WITH THE OWNER.

6. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATIO.

7. COORDINATE TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS

8. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

9. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

10. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN, IN CASE OF CONFLICT, CONSULT THE ARCHITECT 11. PARTITIONS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.

12. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS

14. EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SOLVARE FEET. THE NET CLEAR HEIGHT SHALL NOT BE LESS THAN 24 MOVIES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 24 MOVIES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 MOVIES.

20 COORDINATE TRUSS REARING LOCATIONS WITH TRUSS MANUFACTURER PRIOR TO WALL ERECTION

HISTORIC REVIEW

Project Information HYDE RESIDENCE AARON HYDE

KNOXVILLE, TN 37917

Code Information

Type of Const.: Type V-B

Occupancy Class: R-3

Fire Protection Systems:

Smoke Alarm CO Alarm

Drawing Information No. Description 22078 Issue Date 08.01.22 EMG Drawn Rv Checked By DML Scale

G000

COVER



LUTTRELL STREET NEW POOL DECK

1" = 20'-0"

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HISTORIC REVIEW

Project Information HYDE RESIDENCE

AARON HYDE

Drawing Set

1214 LUTTRELL STREET, KNOXVILLE, TN 37917

Code Information

Type of Const.: Type V-B

Occupancy Class: R-3

Fire Protection Systems:

Smoke Alarm CO Alarm

FLOOR PLAN NOTES ALL DIMENSIONS ARE TO FACE OF STUD UNLESS
NOTED OTHERWISE. "CLEAR" DISTANCE DENOTES
CLEAR BETWEEN FINISH WALLS.

- INTERIOR WALLS TO BE 2x4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. WALL BOARD EACH SIDE. TYPICAL UNLESS NOTED OTHERWISE.
- 3. 1-HIR FIRE RATED WALL. 5/8° FIRE RATED TYPE 'X'
 GYPSUM BOARD EACH SIDE OF 2:44 STUDS AT 1-4°
 O.C. PROVIDE 5/8 FIRE RATED TYPE 'X' GYPSUM AT
 BOTTOM OF FLOOR JOISTS AT GARAGE BASEMENT &
 MAIN LEVELS
- COORDINATE TRUSS BEARING LOCATIONS WITH TRUSS MFG. PRIOR TO WALL ERECTION.
- FLOOR DRAIN. SLOPE 1-1/2" TO DRAIN FROM PERIMETER OF GARAGE.
- 8. STARS TO HAVE -O'CLEAR WIDTH, STAIR HANDRALS SHALL BE 30' ABOVE TREAD NOSING, 4" MAXMUM SPACE BETWEEN RAILING BALUSTERS. STAIR RISERS TO BE 7.34" MAX. WITH TREADS AT 10' MIN.
- OF THE STATE OF TH

Revisions				
No.	Description Date		Date	
Project Number			22078	
Issue Date		08.01.22		
Drawn By		EMG		
Checked By		DML		
Scale As in		ndicate		
SITE PLAN				

CONCRETE REINFORCING

A. REINFORCING MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE

NING: ACI SP-86 DETAILING MANUAL ACI 315 'DETAILS AND DETAILING OF CONCRETE REINFORCEMENT' ACI 318 'BUILDING CODE RECOUREMENTS FOR STRUCTURAL CONCRETE' CRSI 'MANUAL OF STANDARD PRACTICE'

B. MATERIALS: BARS: ASTM A817 OR A708, GRADE 60. WELDED WIRE FABRIC WWF: ASTM A185.

C. PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER OVER REINFORCING: NOT EXPOSED 1 1/2" EXPOSED TO WEATHER 2" CAST AGAINST EARTH 3"

D. BARS DESIGNED TO BE CONTINUOUS OR REQUIRED TO BE SPLICED SHALL BE LAPPED AS FOLLOWS: CONCRTE REINFORCEMENT:CLASS "B" TENSION LAP MASONRY REINFORCEMENT:48 BAR DIAMETERS

E. WWF SHALL BE IN MATS; ROLLS WILL NOT BE ACCEPTED. MATS SHALL LAP (2) MESHES,

F. AT CORNERS AND OPENINGS IN CONCRETE SLAB, PROVIDE TWO (2) #4 X 4" - 0" DIAGONAL BARS AT EACH CORNER.

A. CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO LOCAL LAWS AND CODES, AS WELL

AS WILL AS THE LATEST ESTITUDE OF THE PILLUDING REFERENCES.

AS 30 SECRETALIZATION OF RESTRICTION OF RESTRICTIO

FOCINGS 1,000 PS NOT RECOD 0.45 INT. CONC. 1,000 PS NOT RECOD 0.45 COL MRESPEES 4,000 PS NOT RECOD 0.45 EXT. SITE CONC. 4,000 PS 1,156 MN 0.45

C. ADMIXTURES: ONLY AS APPROVED BY ARCHITECT

D. CONCRETE SPECIFIED AS AIR ENTRAINED SHALL CONFORM TO ASTM C260.

E. DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE ACI 315. REBAR: ASTM A 615, GRADE 60. WELDED WIRE MESH: ASTM A 185 FIBERMESH: 1 LB/CY MIN.

F. CONCRETE MIX DESIGN AND PLACEMENT SHALL CONFORM TO ACI 301 AND ACI 318. G. TESTING OF CONCRETE SHALL BE PER ACI 301. MINIMUM ONE STRENGTH TEST FOR EACH 100 CUBIC YARD, EACH DAY, FOR EACH MIXTURE DESIGN.

H. EMBEDDED STRUCTURAL STEEL SHALL BE ASTM A36, UNLESS NOTED OTHERWISE. I. ANCHOR BOLTS AT COLUMN BASE PLATES TO BE ASTM F1554 GRADE 36 HEADED OR THREADED ROD, UNLESS NOTED OTHERWISE (U.N.O.). "J" BOLTS WILL NOT BE ALLOWED.

J. FORMWORK FOR NON-STRUCTURAL CONCRETE MAY BE REMOVED AS SOON AS CONCRETE HAS HARDENED ENOUGH TO RESIST DAMAGE FROM THE FORMWORK REMOVAL

K. FORMWORK AND SHORING USED TO SUPPORT STRUCTURAL CONCRETE MAY BE REMOVED AS SOON AS CONCRETE HAS 70% OF ITS 28 DAY DESIGN OR AFTER 3 CUMULATIVE DAYS AT OR ADDRESS OF DESIGNED AS THE STRUCTURE. L DESIGN OF FORMWORK AND SHORING USED TO SUPPORT STRUCTURAL CONCRETE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

M. "S.C.J." INDICATES EITHER A CONTRACTION JOINT OR A CONSTRUCTION JOINT.

N. PLACE GRADE SLAB CONTRACTION JOINTS AS SHOWN ON THE PLAN. SAWOUT CONTRACTION JOINTS MUST BE CUT AS SOON AS THE CONCRETE IS HARD ENOUGH SO THAT THE BLADE DOES NOT DISLODGE AGGREGATE OR RAVEL THE EDGES. DELAYING THE SAWOUT MAY RESULT IN RANDOM GRACKING.

O. CURE CONCRETE TO PREVENT WATER LOSS THAT MAY LEAD TO CRACKING, CURING SHALL BE PERFORMED IN ACCORDANCE WITH ACI 301 AND A308. SEALER SHALL BE CLEAR, WATERBORNE, MEMBRANE FORMING CURING COMPOUND, ASTM C 309, TYPE 1, CLASS B WITH 309, SOLDIGE.

P. FINISH SHALL BE SMOOTH TROWEL FINISH, U.N.O. EXTERIOR SLABS TO RECEIVE LIGHT BROOM FINISH.

POLISHED CONCRETE FINISHING

A PREPARE MOCKUP TEST PATCHES AT LOCATION SELECTED BY OWNER FOR REVIEW AND APPROVAL BEFORE BEGINNING WIREK

B. POLISH LEVEL: LEVEL 2, LOW SHEEN, 400 GRIT.

C. STAIN: LOW VOC; COEFFICIANT OF FRICTION > 0.60 DRY; ABRASION RESISTANCE GREATER THAN 50%, NO WATER VAPOR TRANSMISSION, UN STABLE WITH NO YELLOWING, COLOR AS SELECTED BY OWNER FROM MANUFACTURER'S FULL RANGE.

D. PENETRATING HARDENER: LOW VOC; ABRASION RESISTANCE GREATER THAN 50%; "HIGH TRACTION RANGE"; NO WATER VAPOR TRANSMISSION; UV STABLE WITH NO YELLOWING. E. PROTECTIVE TREATMENT: LOW VOC; COEFFICIANT OF FRICTION > 0.60 DRY; STAIN RESISTANT; UVSTABLE WITH NO YELLOWING.

A. MORTAR: PORTLAND CEMENT TYPE 'S', 1,800 PSI MIN. ASTM C 150, TYPE I OR II. HYDRATED LIME ASTM C 207 COLOR: AS SELECTED BY ARCHITECT, SAND, MATHRAI

B. GROUT: 2,000 PSI MIN.; AGGREGATE: ASTM C 404

MASONRY ACCESSORIES

A. REINFORCING BAR

1. REBAR: ASTIM A 615, GRADE 60

2. CONFORM TO ACI 315, "MANUAL OF STANDARD PRACTICE"

3. LAP SPILCE: 48 BAR DIAMETERS MIN; DEVELOPMENT SHALL BE 36 BAR DIAMETERS, LIN.O.

B. HORIZONTAL JOINT REINFORCING: LADDER-TYPE WITH 9GA. RODS. SPACE 16 INCHES O.C. VERT, U.N.O.

D. ACCESSORIES:
CONTROL JOINTS: PREFORMED RUBBER.
EXPANSION JOINTS: BACKER ROD WITH SEALANT.
WEEP HOLES: MORTAR NET, COLOR TO MATCH MORTAR

WOOD AND PLASTIC

A. FRAMING AND BLOCKING: NO. 2 KD, SOUTHERN YELLOW PINE. TREATED WOOD WHEN IN CONTACT WITH MASONRY, CONCRETE, OR STEEL, MOISTURE CONTENT NOT TO EXCEED 19%

B. PLYWOOD OR OSB WALL SHEATHING: EXTERIOR OR EXPOSURE 1, SPAN RATING NOT LESS THAN 240. MIN: 1/2" THICKNESS

C. PLYWOOD OR OSB ROOF SHEATHING: EXTERIOR OR EXPOSURE 1, SPAN RATING NOT LESS THAN 240, MIN. THICKNESS 1/2*

A. WOOD TRUSSES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE'S TRUSS "NATIONAL DESIGN STANDARDS FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION" AND THE GOOD STREED AND AND BUT DISCO

B. WOOD TRUSSES TO BE DESIGNED BY A REGISTERED ENGINEER IN THE STATE OF TN.

C. ALL RECOMMENDATIONS FOR BRACING, QUALITY CONTROL, AND DESIGN OF TRUSSES SHALL BE PER THE TRUSS PLATE INSTITUTE SPECIFICATIONS.

D. PROVIDE SPECIAL DESIGNED TRUSSES FOR CORNERS, GIRDERS, HEADERS, ETC.

E ROOF TRUSSES TO SE DESIGNED FOR FOLLOWING LONG (B.N.ESS NOTED OTHERWISE)

B DEAD LOAD FOR CHORD

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1299

1290

1290

1200

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120 11PSF 20 PSF + WEIGHT OF MECH EQUIP.

F. FLOOR TRUSSES TO BE DESIGNED FOR FOLLOWING LOADS (UNLESS NOTED OTHERWISE):
A LIVE LOAD TOP CHORD 40PSF

B. DEAD LOAD TOP CHORD
C. DEAD LOAD BOTTOM CHORD
D. LIVE LOAD TOP CHORD FOR PUBLIC SPACES

G. ALL LUMBER TO BE A MINIMUM SIZE OF 2 \times 4 #2 SOUTHERN PINE, KILN DRIED, FOR TOP AND BOTTOM CHORDS AND #3 SOUTHERN PINE, KILN DRIED, FOR WEBS.

H. ALTHOUGH WEB LAYOUT MAY BE SHOWN ON PLANS, IT IS RESPONSIBILITY OF TRUSS DESIGNER TO MODIFY AS REQUIRED FOR DESIGN PURPOSES.

K. MAXIMUM SPACING OF ROOF TRUSSES TO BE 24" ON CENTER.

L. THE VERTICALS OF GABLE END TRUSSES SHALL BE AT 16" O.C. AND DESIGNED FOR OUT-OF-PLANE WIND LOADS PER DESIGN LOADS IN GENERAL NOTES.

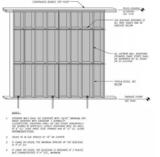
M. CONTRACTOR AND SUPPLIER TO PROVIDE ALL LABOR AND MATERIALS TO COMPLETE TRUSS PORTION OF PROJECT

N. ALL ROOF TRUSSES SHALL BE BRACED DURING AND AFTER ERECTION IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE STANDARDS BICS-B1, 82 AND 83, 2012 EDITION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDION TEMPORARY BRACING OF THE TRUSS SYSTEM UNITING NETWORKEY BRACING AS REQUIRCE BY THE TRI. DESIGN DRAWMORS SHALL BE PROVIDED AS PART OF THE TRUSS PORTION OF THE CONTRACT BY A DESIGN SERVICE SUC AS A LYMEN PERMISS. THE PROVIDED HE PERMISS PROVIDED HE PROMISED THE PROVIDED HE PR

O. AS A MINIMUM, PERMANENT 2/4 DIAGONAL BRACING SHALL BE NAILED TO THE TOP SIDE OF THE ROOF TRUSS BOTTOM CHORDS AND BOTTOM SIDE OF THE TRUSS TOP CHORDS AT EACH END OF THE BUILDING AND AT 20 FOOT INTERVALS. ATTACH BRACING TO CHORDS IN JOIN (2) 164 / 3 1/2 COMMON NAILS.

P. WOOD TRUSSES SHALL NOT BE CUT, NOTCHED, OR BORED.











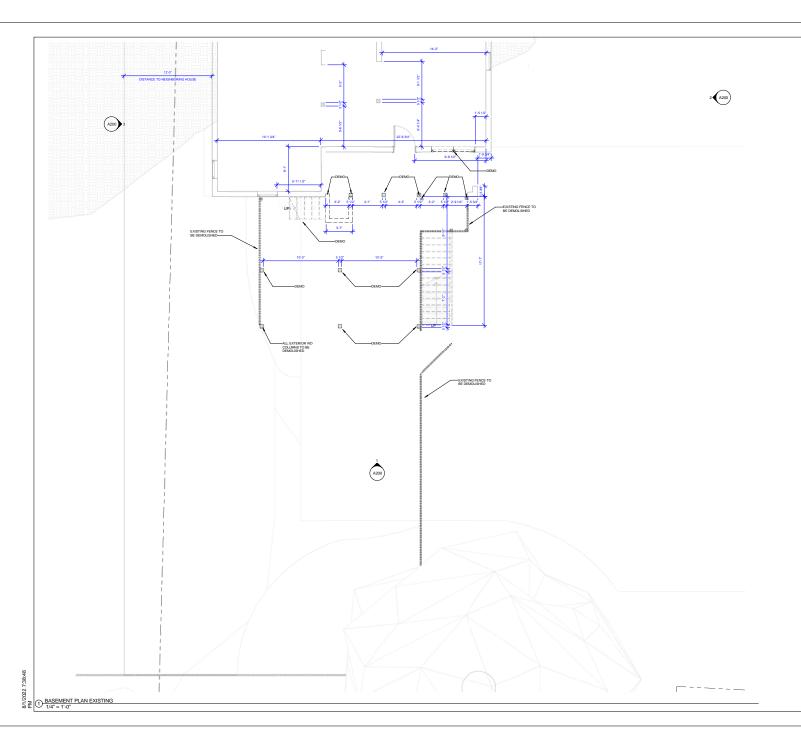
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HISTORIC REVIEW Project Information HYDE RESIDENCE AARON HYDE KNOXVILLE, TN 37917 Code Information Type of Const.: Type V-B Occupancy Class: R-3 Fire Protection Systems: Smoke Alarm CO Alarm

Drawing Set

No. Description Date Project Number 22078 Issue Date 08.01.22 Drawn By EMG Checked By DML Scale As indicated SPECIFICATIONS & FRAMING DETAILS

Drawing Information



FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. 'CLEAR' DISTANCE DENOTES CLEAR BETWEEN FINISH WALLS.
- INTERIOR WALLS TO BE 2x4 WD. STUDS ® 16° O.C. W/ 1/2° GYP. WALL BOARD EACH SIDE. TYPICAL UNLESS NOTED OTHERWISE.
- 1-HR FIRE RATED WALL. 5/8" FIRE RATED TYPE 'X'
 GYPSUM BOARD EACH SIDE OF 2x4 STUDS AT 1-4"
 O.C. PROVIDE 5/8 FIRE RATED TYPE 'X' GYPSUM AT
 BOTTOM OF FLOOR JOISTS AT GARAGE BASEMENT &
 MAIN LEVELS
- COORDINATE TRUSS BEARING LOCATIONS WITH TRUSS MFG. PRIOR TO WALL ERECTION.
- FLOOR DRAIN. SLOPE 1-1/2" TO DRAIN FROM PERIMETER OF GARAGE.
- STAIRS TO HAVE 3'-0' CLEAR WIDTH, STAIR
 HANDRAILS SHALL BE 36' ABOVE TREAD NOSING, 4'
 MAXIMUM SPACE BETWEEN RAILING BALLISTERS.
 STAIR RISERS TO BE 7 3/4' MAX, WITH TREADS AT 10'
 MIN.
- MIN.

 1. EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING SEATH HAVE A NET CLEAR OPENING OF NOT LESS THAN 3.7 SOURRE FEET. THE NET CLEAR ROTE HAVE A NET CLEAR WIDTH SHALL NOT BE LESS THAN 28 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 28 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 29 INCHES THAN 29 INCHES THAN 29 INCHEST HAVE DO NOT BE LESS THAN 29 INCHEST THAN 29 INCHEST HAVE DO NOT BE LESS THAN 29 INCHEST TH



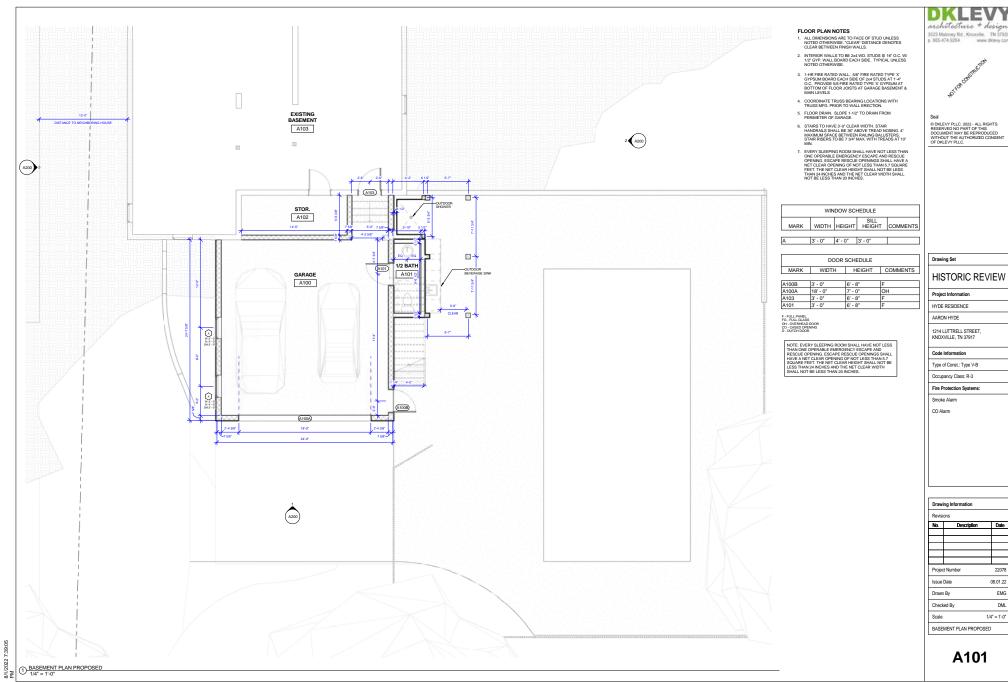


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Drawing Set		
HISTORIC REVIEW		
Project Information		
HYDE RESIDENCE		
AARON HYDE		
1214 LUTTRELL STREET, KNOXVILLE, TN 37917		
Code Information		
Type of Const.: Type V-B		
Occupancy Class: R-3		
Fire Protection Systems:		
Smoke Alarm		
CO Alarm		

Drawing Information Revisions			
No.	Description		Date
		_	
Issue Date 08. Drawn By Checked By			22078
		08.01.22	
			EMG
		DML	
		1/4	" = 1'-0"
		G	



architecture + design 3523 Maloney Rd., Knoxville, TN 37920 p. 865.474 9264 www.dklevy.com



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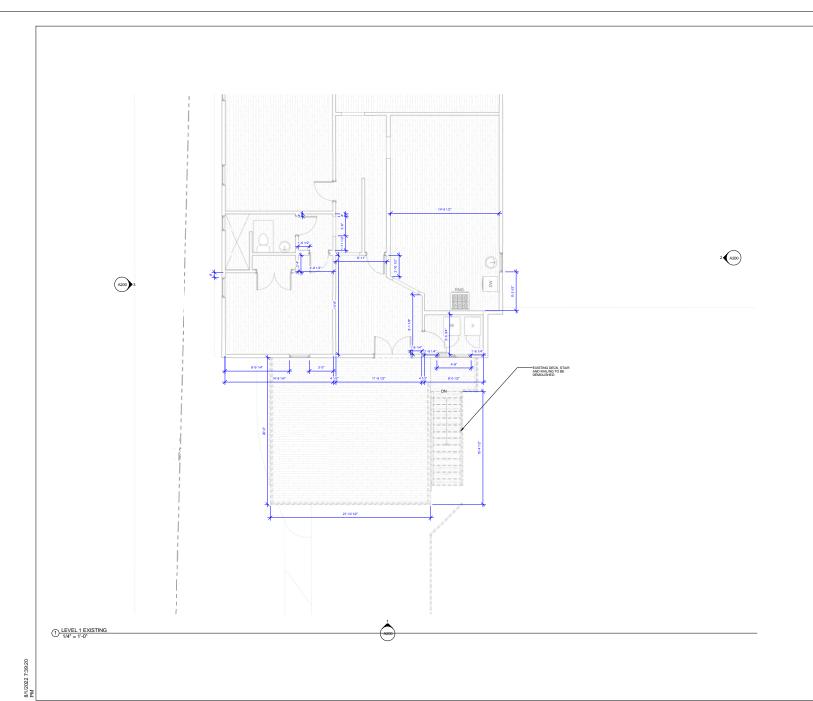
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	П
Project Information	
HYDE RESIDENCE	
AARON HYDE	
1214 LUTTRELL STREET, KNOXVILLE, TN 37917	

Occupancy Class: R-3 Fire Protection Systems:

Smoke Alarm

Drawing Information No. Description Date Project Number 22078 Issue Date 08.01.22 Drawn By EMG Checked By DML 1/4" = 1'-0" Scale



FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. 'CLEAR' DISTANCE DENOTES CLEAR BETWEEN FINISH WALLS.
- INTERIOR WALLS TO BE 2x4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. WALL BOARD EACH SIDE. TYPICAL UNLESS NOTED OTHERWISE.
- 1-HR FIRE RATED WALL. 5/8" FIRE RATED TYPE X'
 GYPSUM BOARD EACH SIDE OF 2x4 STUDS AT 1'-4"
 O.C. PROVIDE 5/8 FIRE RATED TYPE X' GYPSUM AT
 BOTTOM OF FLOOR JOISTS AT GARAGE BASEMENT &
 MAIN LEVELS
- COORDINATE TRUSS BEARING LOCATIONS WITH TRUSS MFG. PRIOR TO WALL ERECTION.
 FLOOR DRAIN. SLOPE 1-1/2* TO DRAIN FROM PERIMETER OF GARAGE.
- 6. STAIRS TO HAVE 3-0* CLEAR WIDTH. STAIR HANDRAILS SHALL BE 36* ABOVE TREAD NOSING. 4* MAXIMUM SPACE BETWEEN RAILING BALLSTERS. STAIR RISERS TO BE 7:3/4* MAX. WITH TREADS AT 10* MIN.
- EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. SECAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 3.7 SOURARE FEET. THE NET CLEAR RESCHIST SHALL NOT BE LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 NOTES.



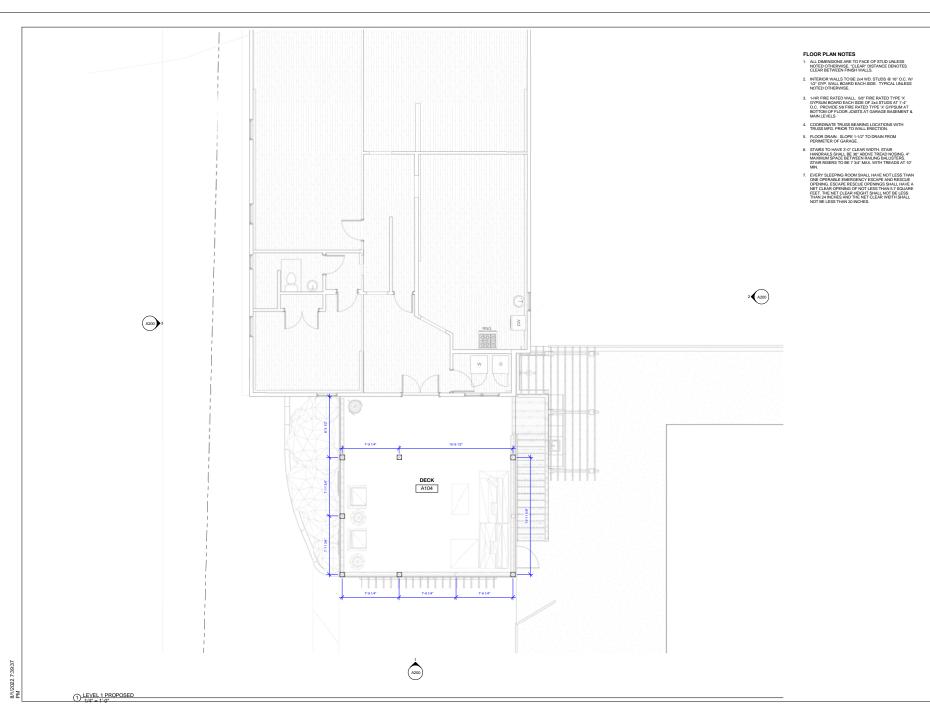


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Drawing Set

Revis	ions	
No.	Description	Date
		-
Proje	t Number	22078
Issue Date		08.01.22
Drawn By		EMO
Checked By		DMI
Scale 1/4" =		1/4" = 1'-0
LEVEL 1 EXISTING		



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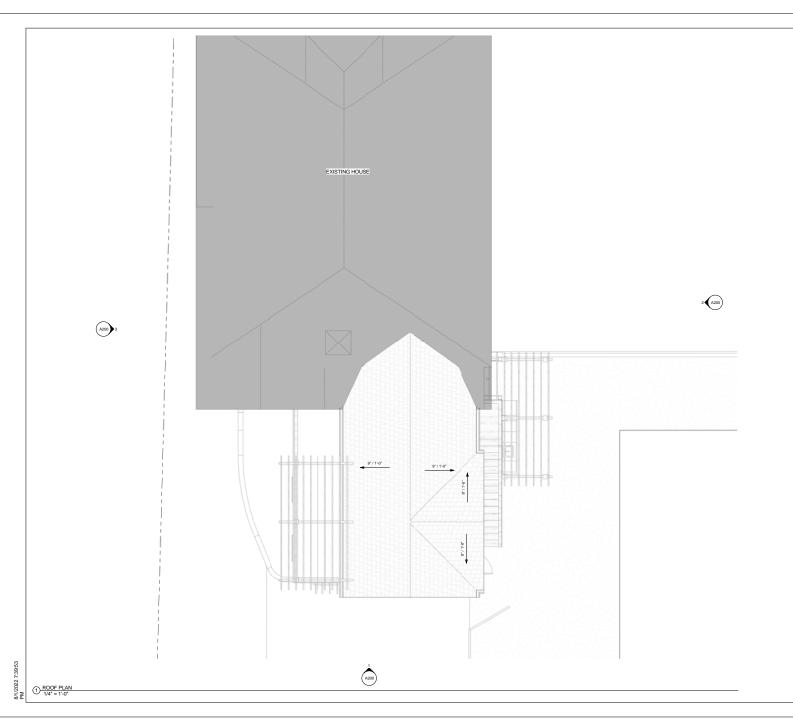
Drawing Set

Seal

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HISTORIC REVIEW			
Project Information			
HYDE RESIDENCE			
AARON HYDE			
1214 LUTTRELL STREET, KNOXVILLE, TN 37917			
Code Information			
Type of Const.: Type V-B			
Occupancy Class: R-3			
Fire Protection Systems:			
Smoke Alarm			
CO Alarm			

Revisions				
No.	Description		Date	
-				
Project Number Issue Date Drawn By Checked By Scale			2207	
			08.01.2	
			EMC	
			DM	
		1/4	F" = 1'-C	
LEVEL 1 PROPOSED				



ROOF PLAN NOTES

- SEE ROOF PLAN FOR ROOFING MATERIAL TYPE.
 COLOR OF ROOFING MATERIAL SELECTED BY OWNER.
- 2. PROVED HIP & RIDGE VENTING (TYP. NOT SHOWN)
- PROVIDE 9' GUTTER (TYP.) (GUTTERS AND DOWNSPOUTS NOT SHOWN ON ROOF PLAN OR ELEVATIONS).
 GUTTERS AND DOWNSPOUT FINISH SELECTED BY OWNER.

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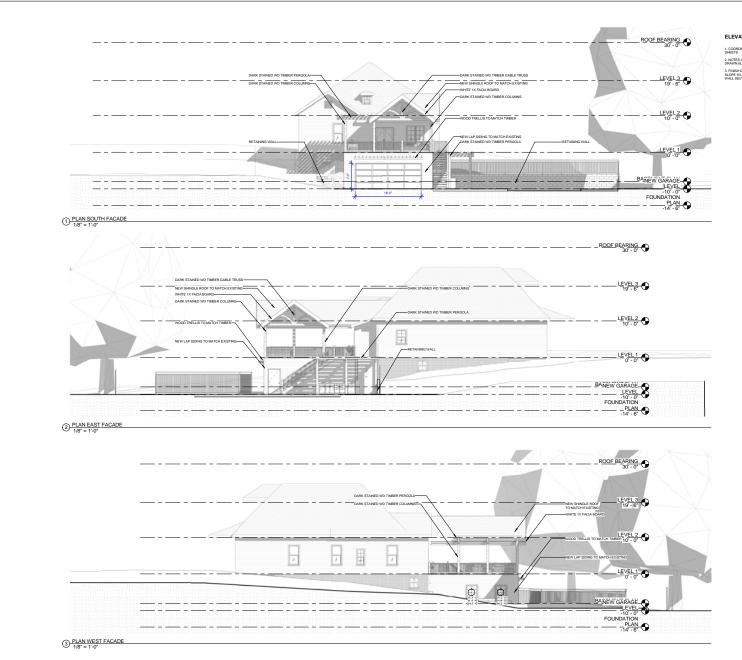


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Drawing Set
HISTORIC REVIEW
Project Information
HYDE RESIDENCE
AARON HYDE
1214 LUTTRELL STREET, KNOXVILLE, TN 37917
Code Information
Type of Const.: Type V-B
Occupancy Class: R-3
Fire Protection Systems:
Smoke Alarm
CO Alarm

Drawin	g Information		
Revisio	ns		
No.	Description		Date
_			
Project	Number		22078
Issue D	ate		08.01.22
Drawn B	Ву		EMG
Checke	d By		DML
Scale		1/4	" = 1'-0"
ROOF	PLAN PROPOSED		





2. NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.

3. FINISH GRADE TO BE MIN. 6" BELOW TOP OF FOUNDATION WALL AND SLOPE 5% MIN. WITHIN THE FIRST 10' FROM FOUNDATION. SEE TYPICAL WALL SECTIONS.





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Drawing Set
HISTORIC REVIEW
Project Information
HYDE RESIDENCE
AARON HYDE
1214 LUTTRELL STREET, KNOXVILLE, TN 37917
Code Information
Type of Const.: Type V-B
Occupancy Class: R-3
Fire Protection Systems:
Smoke Alarm
CO Alarm

Revisions			
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Project I	Number		2207
Issue Da	ate		08.01.2
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HISTORIC REVIEW		
	- 1	

HYDE RESIDENCE AARON HYDE

Drawing Set

1214 LUTTRELL STREET, KNOXVILLE, TN 37917

Code Information

Type of Const.: Type V-B

Occupancy Class: R-3 Fire Protection Systems:

Smoke Alarm CO Alarm

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No.	Description		Date
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HISTORIC REVIEW
Project Information

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Drawing Set

1214 LUTTRELL STREET, KNOXVILLE, TN 37917

Code Information

Type of Const.: Type V-B

Occupancy Class: R-3 Fire Protection Systems:

Smoke Alarm CO Alarm

Drawin	g Information		
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No.	Description	4	Date
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Project	Number		22078
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