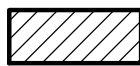


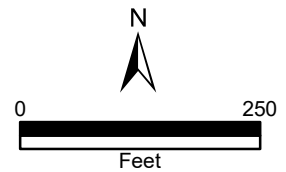
8-F-22-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1417 Grainger Ave. 37917
 Old North Knoxville H

Original Print Date: 8/5/2022
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Travis Tillman Tillman Companies, LLC





Staff Report

Knoxville Historic Zoning Commission

File Number: 8-F-22-HZ

Meeting: 8/18/2022
Applicant: Travis Tillman Tillman Companies, LLC
Owner: Travis Tillman Rebecca Price

Property Information

Location: 1417 Grainger Ave. **Parcel ID** 82 | A 025
District: Old North Knoxville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: c.1890, modified Queen Anne

Two-story, hipped roof residence with gables projecting to the front, sides, and rear, clad in asphalt shingles. Highly modified façade featuring vinyl siding, an enclosed front porch, and replacement windows. Refer to further house history provided in application for COA.

Description of Work

Level II Major Repair or Replacement

Major exterior rehabilitation of existing house. Removal of non-historic exterior elements, including vinyl siding, non-historic vinyl windows, non-historic and deteriorated wood porch and concrete steps, removal of rear elevation concrete steps and shed roof, removal of north side steps and secondary door. Removal of non-historic vinyl windows and secondary entry door on façade.

New wood lap siding, wood trim, cornerboards, and weatherboard above existing brick foundation. New asphalt shingle roof. New two-over-two, double-hung wood windows in original fenestrations. New half-round gutters.

Façade (south elevation): front porch will be reconstructed with hipped roof and centrally-located, front-gable portico; porch to be supported by 8" round wood columns; porch will feature wood tongue-and-groove flooring and a brick foundation. New front door.

Rear elevation to feature a secondary porch with a 3/12 pitch, shed roof clad in standing-seam metal, a brick masonry foundation, and a metal railing.

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

A. Roofs

1. The shape of replacement roofs or roofs on new construction shall imitate the shapes of roofs on neighboring existing houses or other houses of the same architectural style.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, bargeboards, and other unique roof features). Use some of these details in designing new buildings.
4. Materials used in roofing existing buildings or new construction shall duplicate the roofing materials originally found in the neighborhood. Asphalt or fiberglass shingles can be appropriate, as are wood, slate, standing seam

metal, or metal shingle or tile roof coverings. The color of roofing materials should be a dark green, charcoal gray, black, or dark reddish brown to simulate original roof colors.

6. Roofs that are visible from streets shall retain their original shapes. Do not introduce roof elements such as dormers to a roof shape that is original.

B. Windows

2. If replacement windows are necessary, they shall be the same overall size as the originals, with the same pane division and the same muntin depth, width, and profile. They shall be the same materials as the original windows, which were originally wood.

3. True divided lights shall be used in replacement windows with more than one pane.

5. It can be appropriate to design and install additional windows on the rear or another secondary elevation. The design must be compatible with the original design of the building.

6. Windows may not be blocked in. They must retain the full height and width of the original opening.

C. Porches

1. Historic porches on houses in Old North Knoxville should be repaired, or may replicate the original porch if documentation of its size and design can be discovered.

2. Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood post and/or columns and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.

D. Entrances

3. It may be appropriate to design or construct a new entrance if the historic one is completely missing. Any restoration shall be based on historical, pictorial, or physical documentation, if available. It shall be compatible with the historic character of the building or with adjacent buildings.

4. A replacement entrance shall not create a false historic appearance. A new entrance or porch must be compatible in size, scale, and material.

7. Secondary entrances must be compatible with the original in size, scale, and materials, but clearly secondary in importance.

E. Wood Wall Coverings

3. Replacement siding must duplicate the original. Trim and pattern shingles that must be replaced must also duplicate the original.

5. Wooden features shall be repaired by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or compatible substitute materials, when elements remain and can be copied.

6. Wood features that are important in defining the original historic character of the building shall not be removed.

7. Replace only deteriorated wood. Reconstructing in order to achieve a uniform or "improved," "new" appearance is inappropriate because of the loss of good historic materials.

8. An entire wooden feature that is too deteriorated to repair or is completely missing shall be replaced in kind. If features are replaced, the materials they are made from shall be compatible with the original in size, scale, and material. Replacement parts should be based on historical, pictorial, and physical documentation.

12. If artificial siding is present on any elevation of a building and must be removed in order to repair the building structurally, it can be replaced on the building if no more than 49% of any elevation's artificial siding is removed. If 50% of the artificial siding on any elevation is removed for repair, it cannot be replaced.

Comments

N/A

Staff Findings

1. 1417 Grainger Avenue is part of the Brownlow District, a section of Old North Knoxville east of N. Broadway which is not currently listed on (but eligible for) the National Register of Historic Places. The house may have been determined as non-contributing to the local overlay, due to alterations and condition. After holding multiple apartments, the house was condemned in 2011 and experienced a long period of vacancy and deferred maintenance.
2. The applicant has received several COAs for repair and removal of non-historic elements since 2016, including removal of the enclosed porch and extensive masonry repair and repointing on the foundation.
3. Overall, the project meets the design guidelines, as it involves the removal of non-historic siding, vinyl windows, and porch elements, and the restoration of historic materials and design features. The removal of vinyl siding and replacement with wood lap siding, cornerboards, and trim; the in-kind replacement of asphalt shingle roofing; and the use of a standing-seam metal roof on low slope sections all meet the guidelines.
4. The proposed two-over-two, double-hung wood windows are based on physical evidence, from the one remaining original window present on the house. The applicant proposes to restore original window openings on the façade and side elevations. Additional window openings proposed for the side and rear elevations are compatible with the building's original design and proportionate to the house.
5. The front porch has been heavily modified throughout the house's history; at one point, a round rotunda projected from the left half of the façade, with a full-length hipped-roof porch and a centered front-gable portico. The rotunda was removed and half of the hipped-roof porch was enclosed to provide additional interior space. Present-day restoration of the rotunda would be compromised by the c.1930 one-story, hipped roof addition on the west elevation. While the earliest porch design featured more elaborate detailing, the reconstruction of a new porch with more modest columns, and a footprint and roofline to reflect the original, meets the design guidelines. The porch materials, including tongue-and-groove wood flooring and 8" round wood columns, are appropriate for the house. If the front porch foundation is 30" above grade and requires a railing, the balustrade detail should be submitted to staff for approval and feature balusters set into the top and bottom rails.
6. The applicant has provided a draft reconstruction of the rear porch, featuring an approximately 21' by 11' porch with a 3/12, standing-seam metal roof, a wood balustrade, and an existing masonry foundation. Minor modifications to the rear porch may be necessary, which could be approved by staff. As the house is set significantly back from the front property line and backs up to First Creek, the rear elevation is not visible from the right-of-way.

Staff Recommendation

Staff recommends approval of Certificate 8-F-22-HZ, subject to the following conditions: 1) final front door selection, and design of front porch balustrade, if necessary, to be submitted to staff for approval; 2) minor modifications to rear porch design may be approved by staff.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Travis Tillman

Applicant

8/1/22

8-18-22

8-F-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Travis Tillman

Tillman Companies, LLC

Name

Company

1417 Grainger Ave

Knoxville

TN

37917

Address

City

State

Zip

865-470-4164

travis@tillmancompanies.com

Phone

Email

CURRENT PROPERTY INFO

Rebecca Price & Travis Tillman

1415 Grainger Ave, Knoxville, TN 37917

865-470-4164

Owner Name (if different from applicant)

Owner Address

Owner Phone

1417 Grainger Ave, Knoxville, TN 37917

082IA025

Property Address

Parcel ID

Old North Knoxville

RN-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

8.1.22

Staff Signature

Please Print

Date

Travis Tillman

Travis Tillman

8/1/22

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: reconstruction of exterior: porches, roofs, siding, windows, doors, trim, masonry

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
100.00		
FEE 2:		
		100.00
FEE 3:		

A House Renovation

For Travis Tillman + Becky Price
At 1417 Grainger Avenue
Knoxville TN 37917

Historic Zoning Commission
Application for Level 3 COA

Design Synopsis

The presented design illustrates how contemporary construction techniques applied to historic artifacts can enable another 150 years of vibrant life for a historic house.

Project Goals

- Revitalize a historic home for a sustainable future
- Preserve the property's story, as best we can
- Contribute positively to a rich historic context
- Tread lightly on a riparian zone

Work Area





Trolley + Broadway bridge at First Creek, early 20th century



Advertisement for Herman Schenk, Jr. & Co. Electricians



Grainger Ave street image, early 20th century

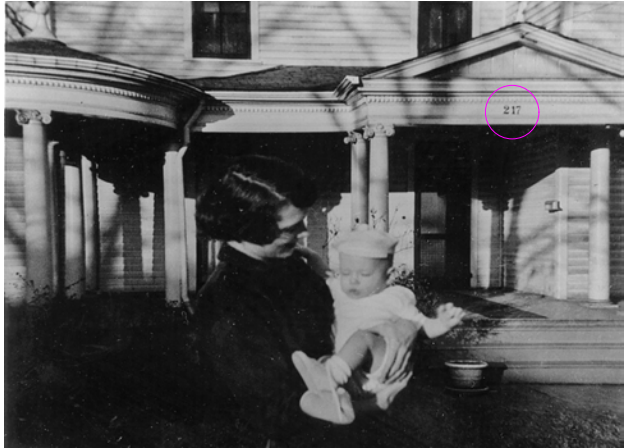
Project Narrative

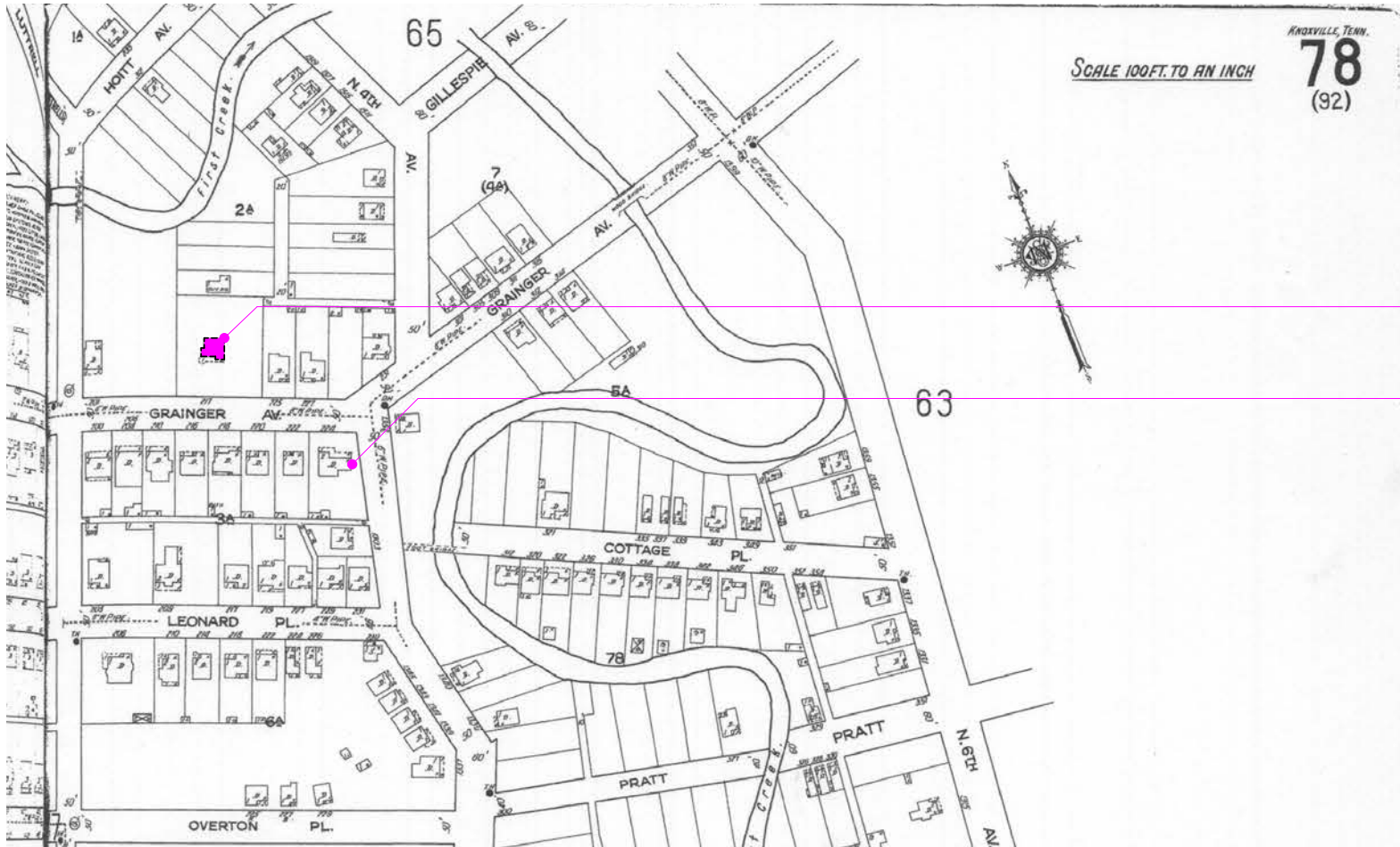
The home at 1417 Grainger Avenue was built at some point in the late 1800s. With street numbering changes in 1900 and 1951, and a number of early occupants, tracing the exact construction date is difficult. However, the historic number of houses on Grainger between Broad Street and Luttrell Street indicates that the home likely existed in 1891. The earliest city record, published in 1900, lists Charles W. Irby as 217 Grainger's first occupant. Pre-1900 records show 5 different occupants between Irby and the Schenk family. Herman Schenk served as the first chief of the City of Knoxville Fire Department when it became a paid position in 1885, and was city electrician in 1900. Katherine C. Schenk (relation unknown) is listed as the occupant up until 1960, at which point the house became vacant for 2 years before being divided into apartments. The last time any unit was occupied prior to current renovation was 2011, when it was condemned.

In 1951, 217 Grainger Avenue was renumbered to 1417 Grainger Avenue. Given the address, these were taken prior to 1951.

Original rotunda, prior to addition

Secondary, secured entrance to an apartment added in the 1940s (speculative)

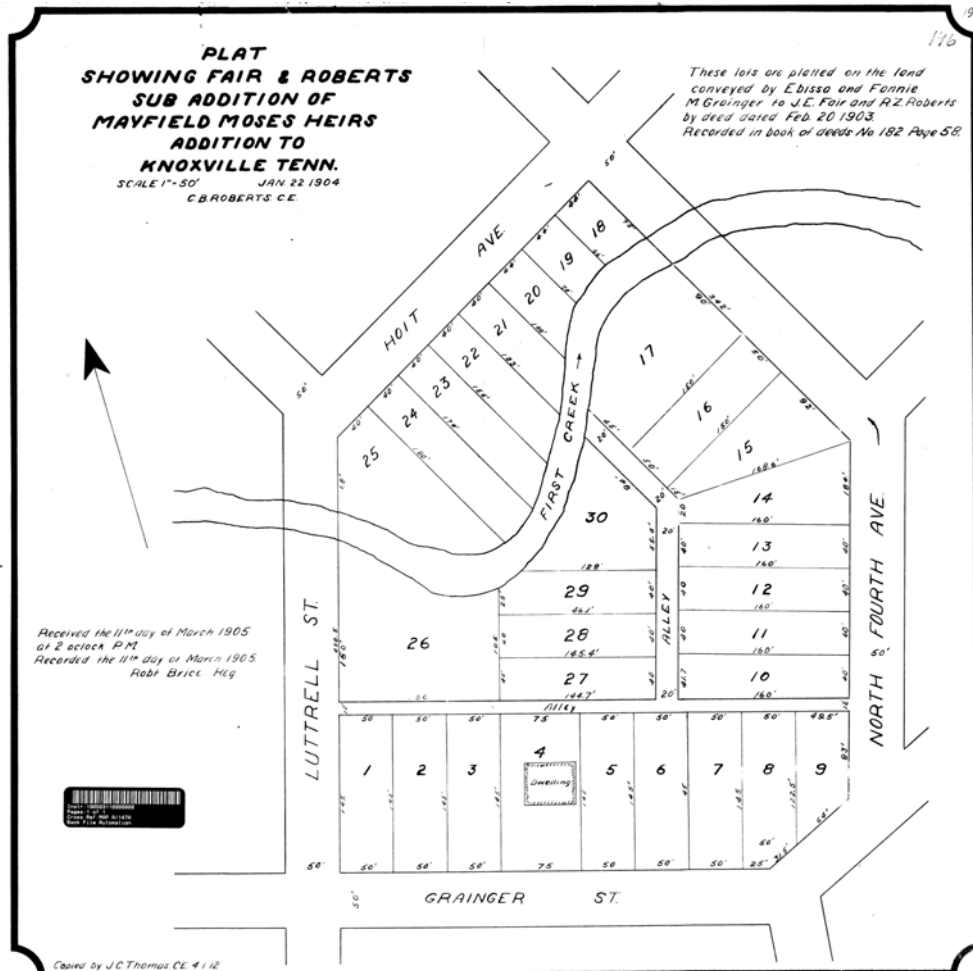




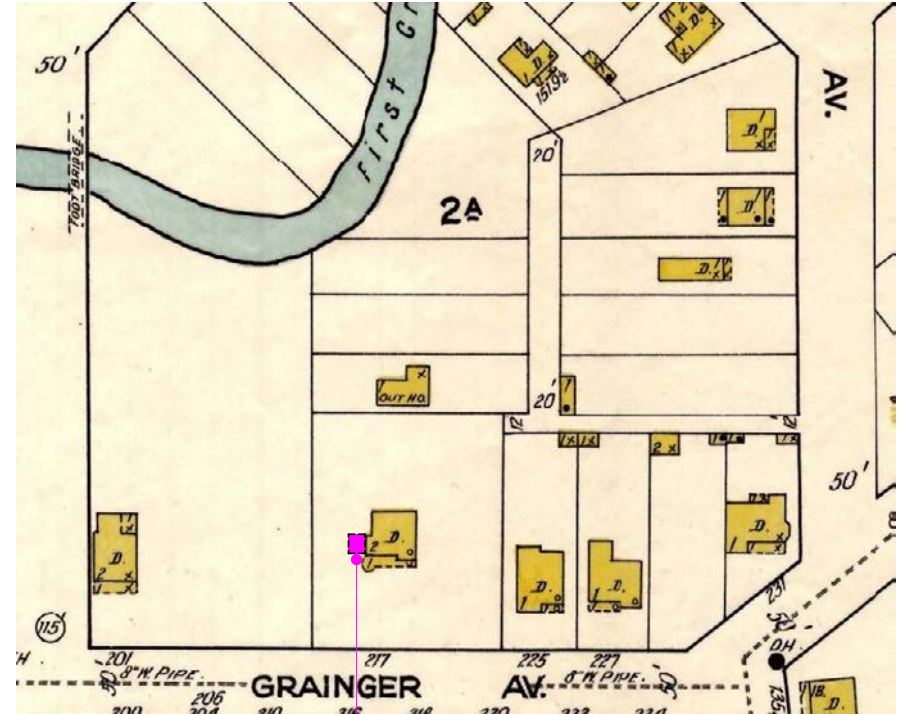
1417 Grainger

Rose Mortuary
(contemporary to 1417 Grainger)

Sandborn Maps, 1917



Plat, 1904



Sanborn Maps, 1917

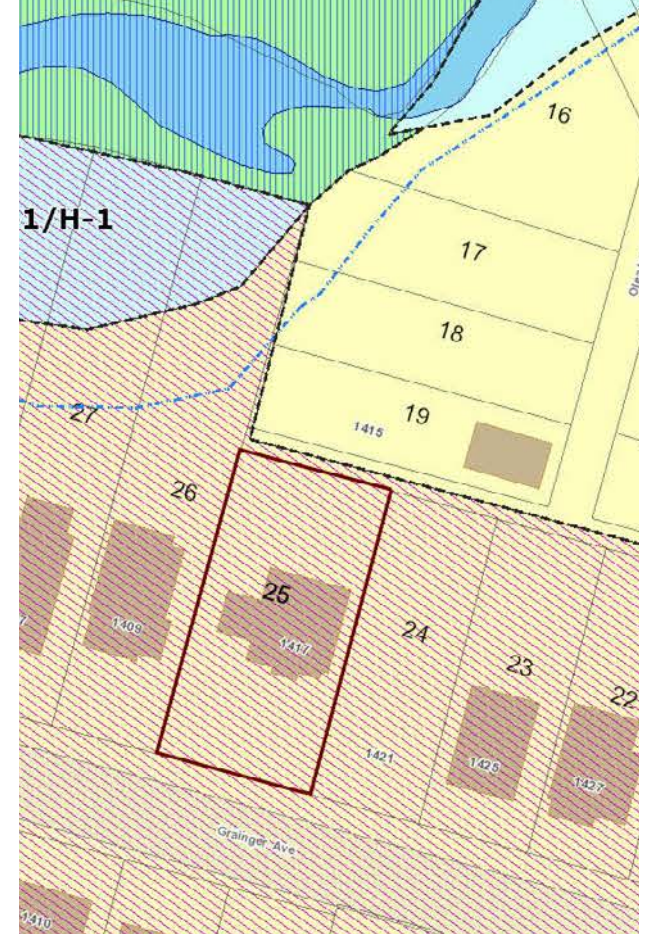
1930's Addition



Topo



FEMA



Zoning



1319 Grainger



1430 Grainger

Remove second front entry door

Revert to original window

Replace with wood double hung windows in original opening

Remove steps and door

Remove non-original front porch and concrete steps



SouthWest Elevation



NorthWest Elevation

Remove + replace vinyl windows with wood windows throughout

Remove siding to existing opening, replace with wood double hung windows

Remove steps and door

Remove exterior plumbing chase

Remove concrete step + landing



NorthEast Elevation



SouthEast Elevation

Remove temporary trash chute (File 5-B-16-HZ), replace with wood windows



2011



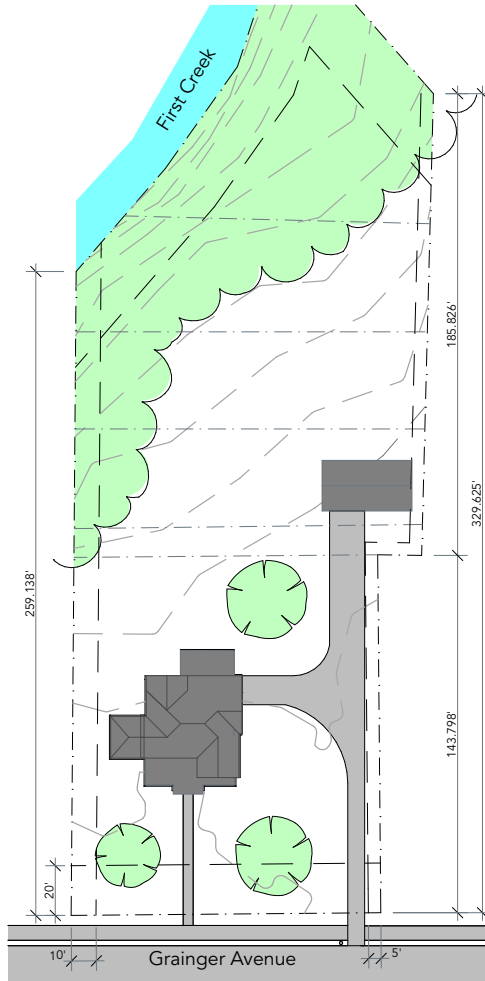
2015



2019

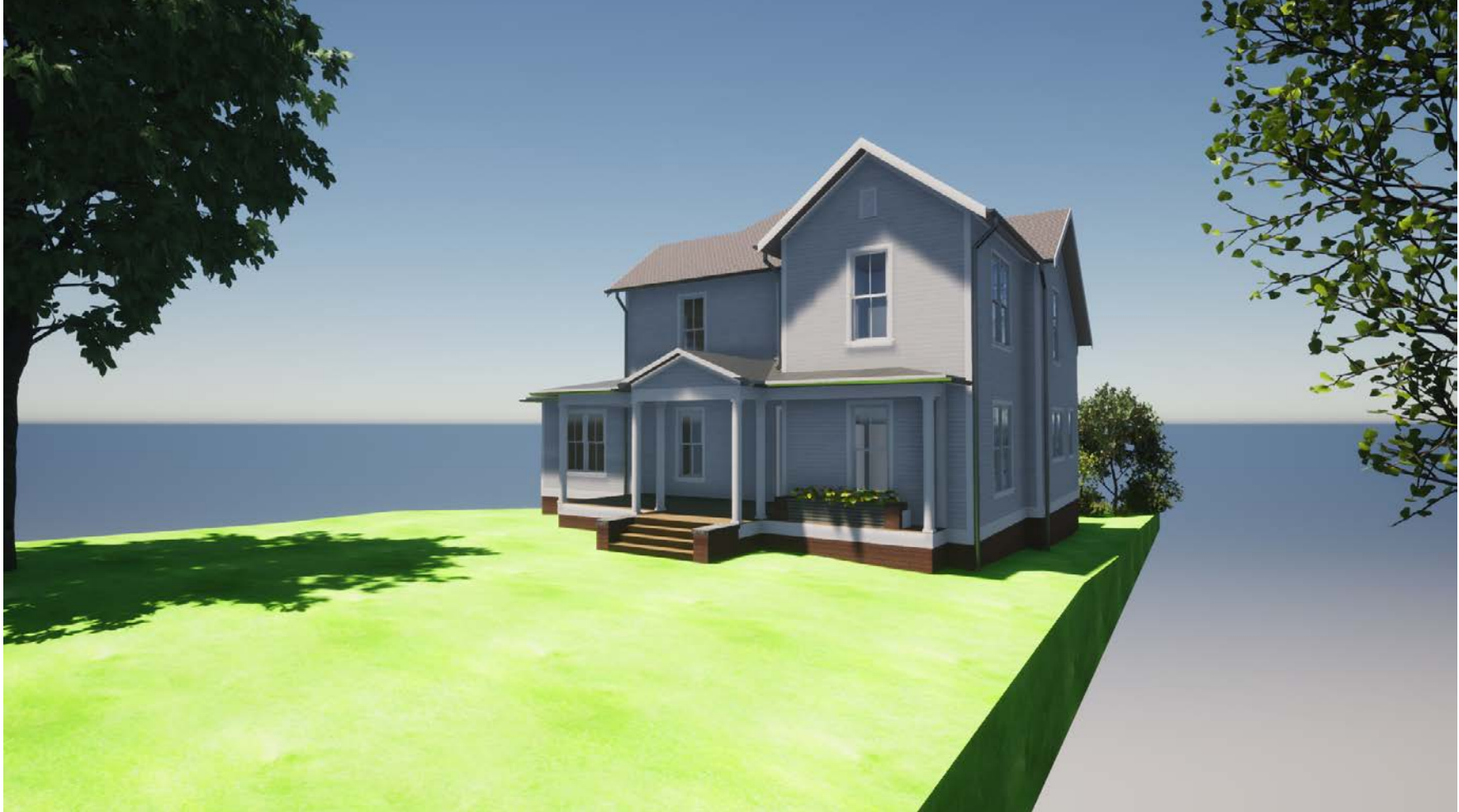


2023

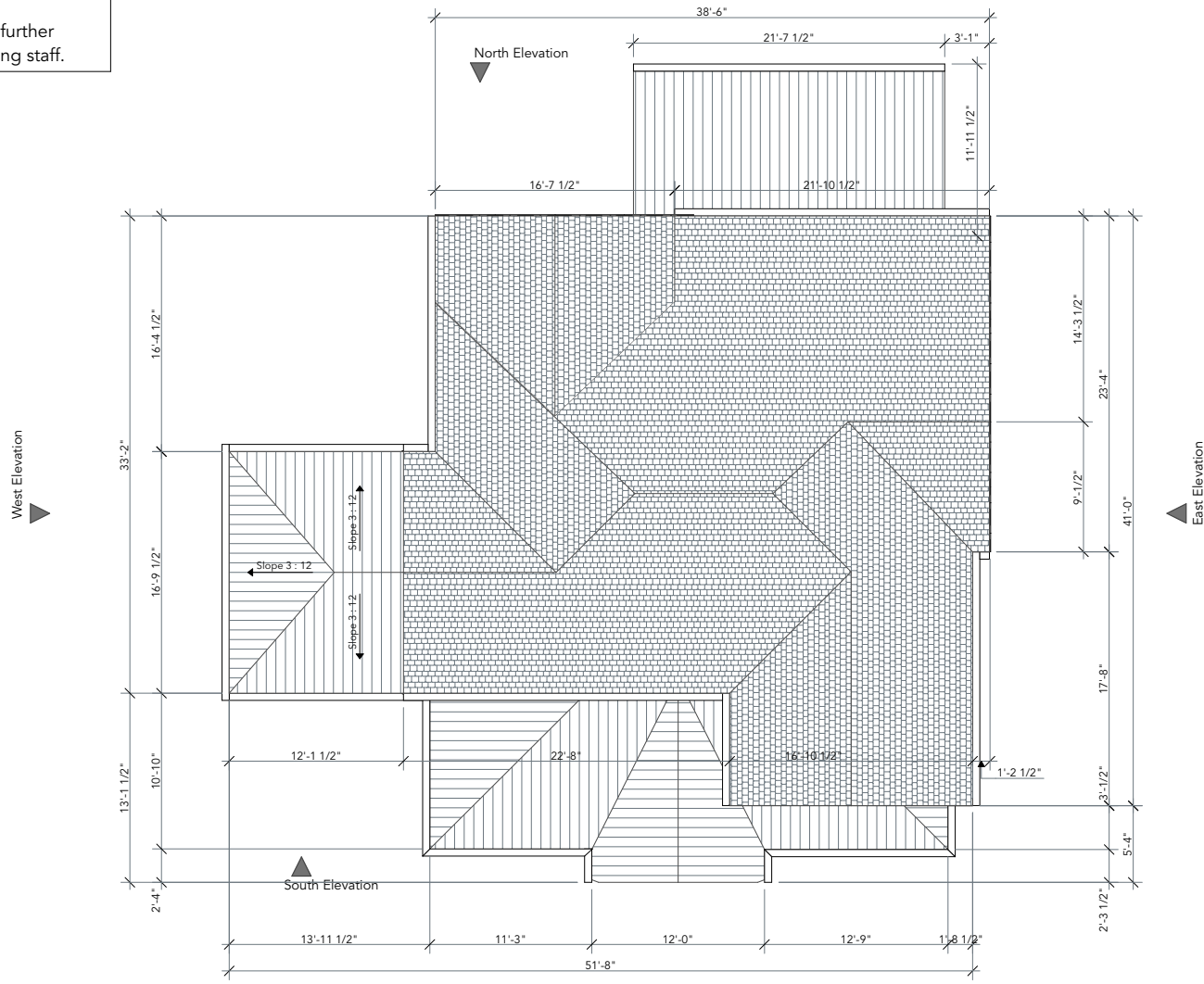


Note:
Site, landscape, and driveway plan to be developed at a later date.

Site Plan
Scale : 1" = 50'



Note
 Rear porch and north elevation to be further developed, in conjunction with Planning staff.



Roof Plan
 Scale : 1/8" = 1'-0"



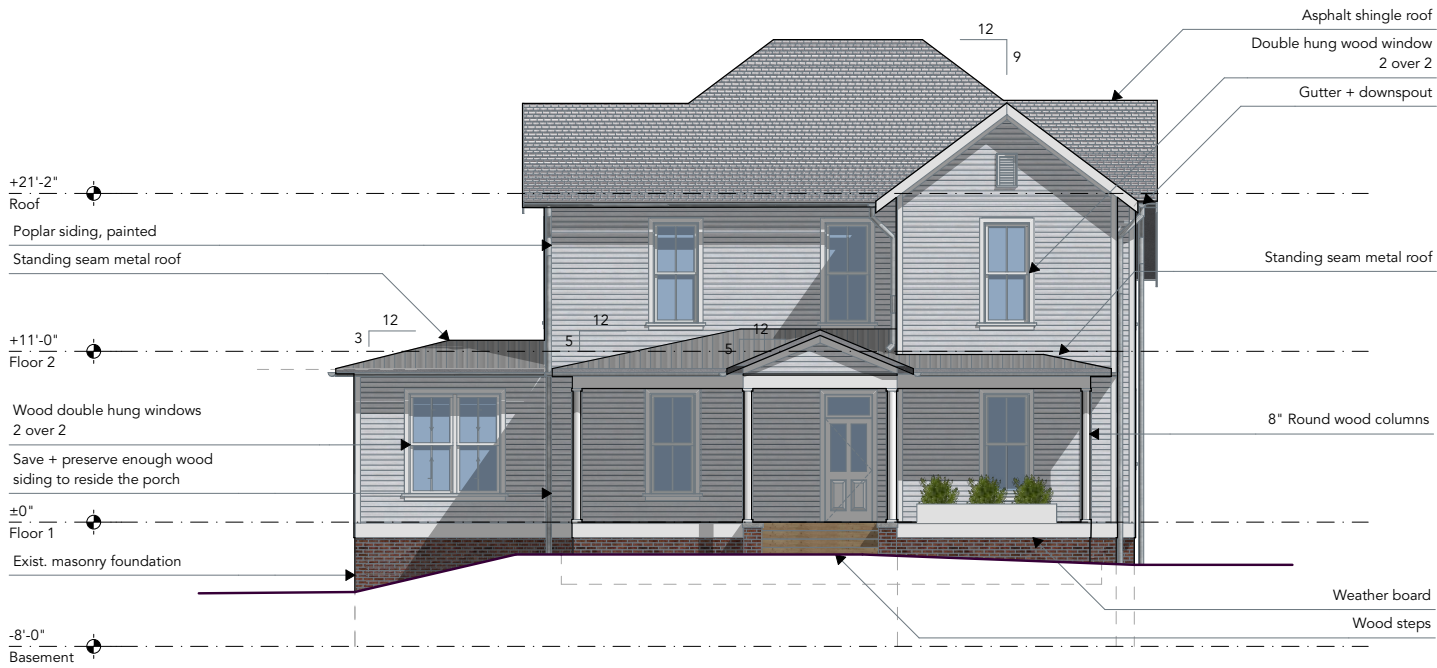
forrest@forkdesign.us

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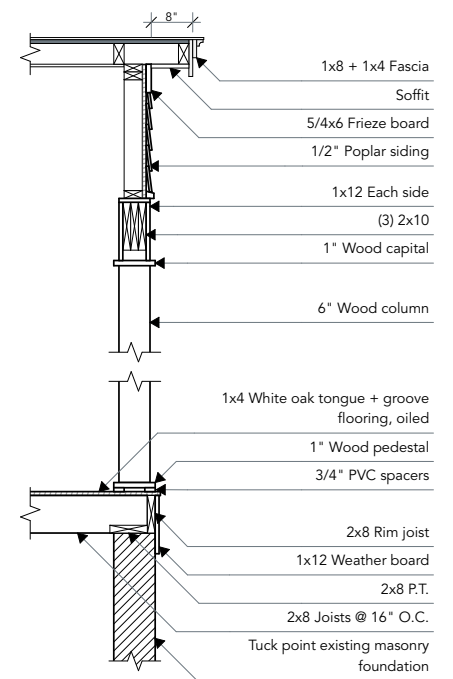
HZC 11
 Plans

Project Number 2103 : For Historic Zoning Commission

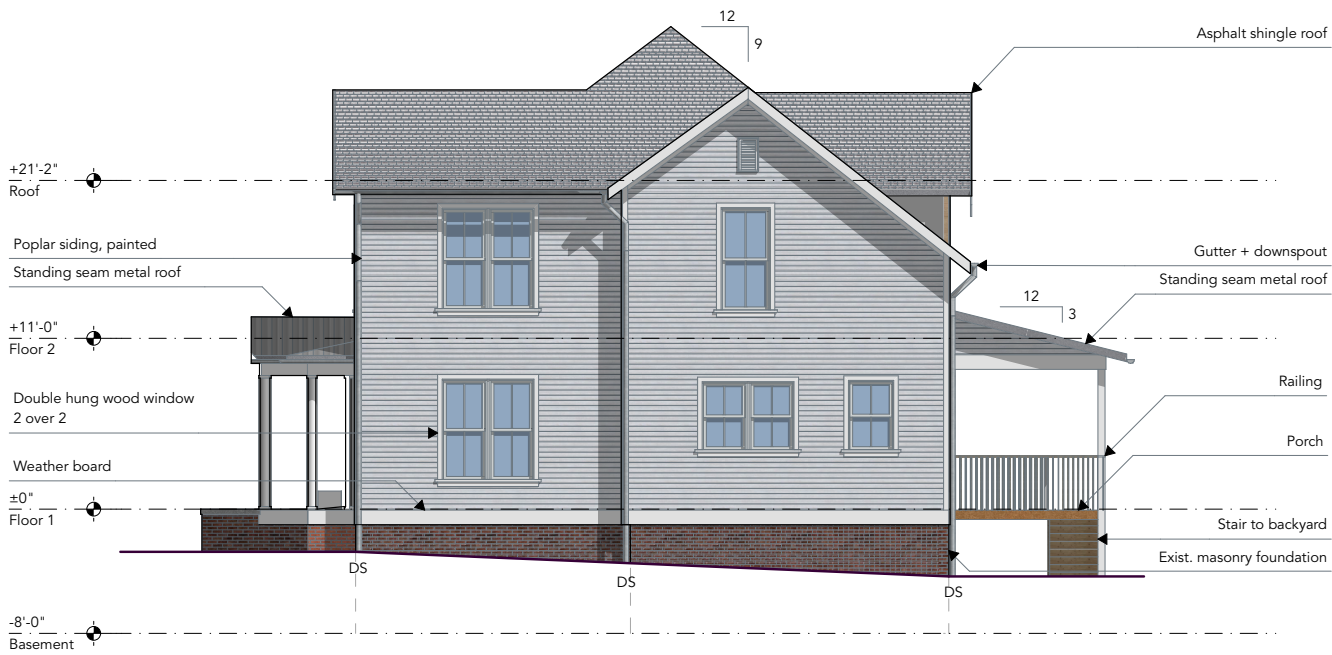
2022.07.28



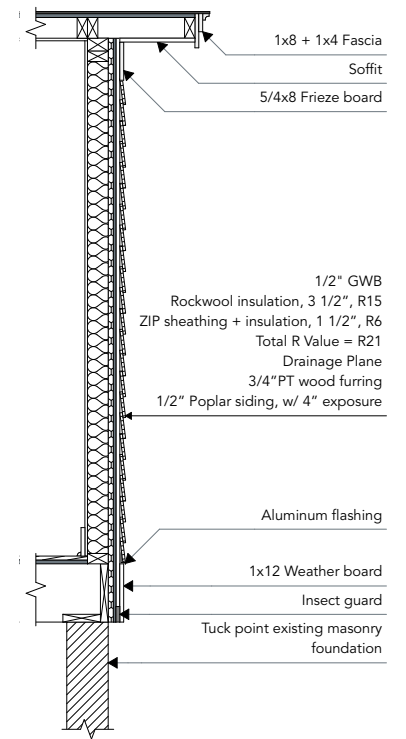
South Elevation
Scale : 1/8" = 1'-0"



Porch Section
Scale : 1/2" = 1'-0"

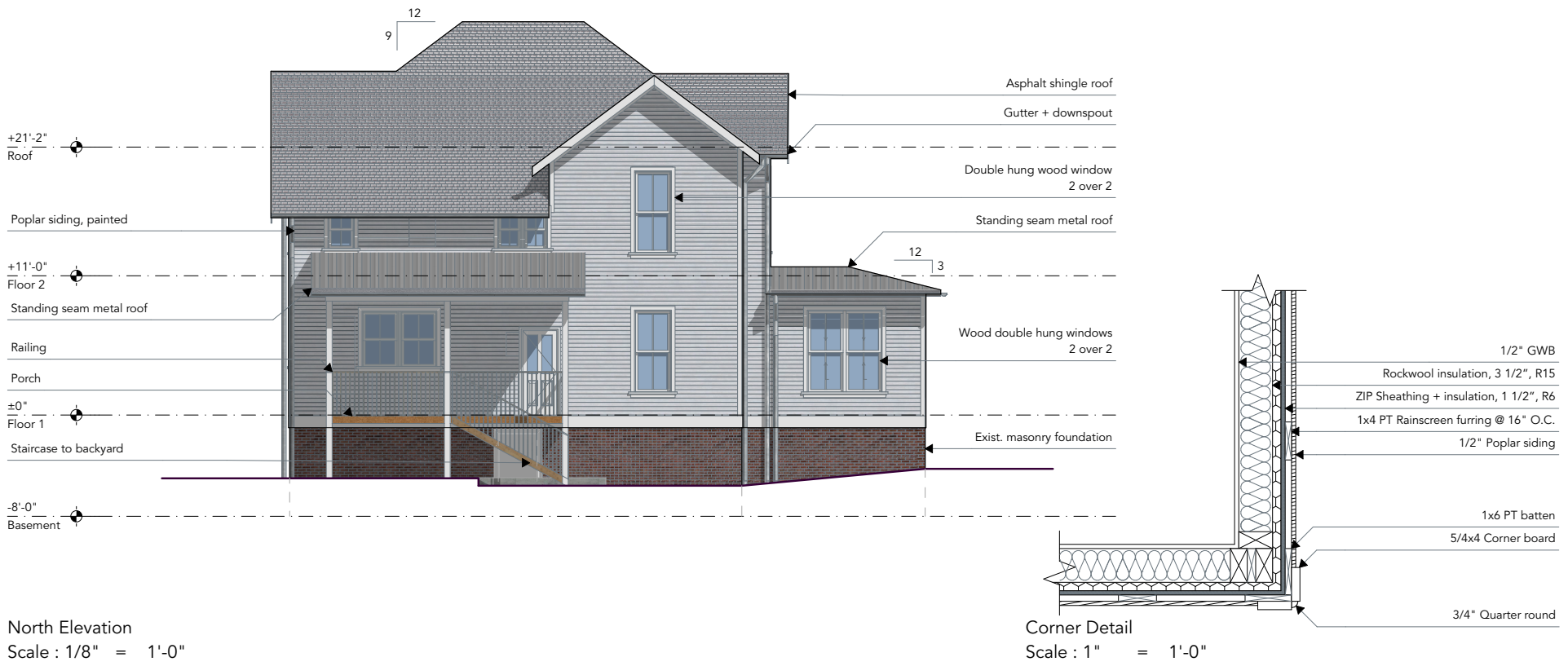


East Elevation
Scale : 1/8" = 1'-0"



Wall Section @ Gable
Scale : 1/2" = 1'-0"

Note
Rear porch and north elevation to be further developed, in conjunction with Planning staff.



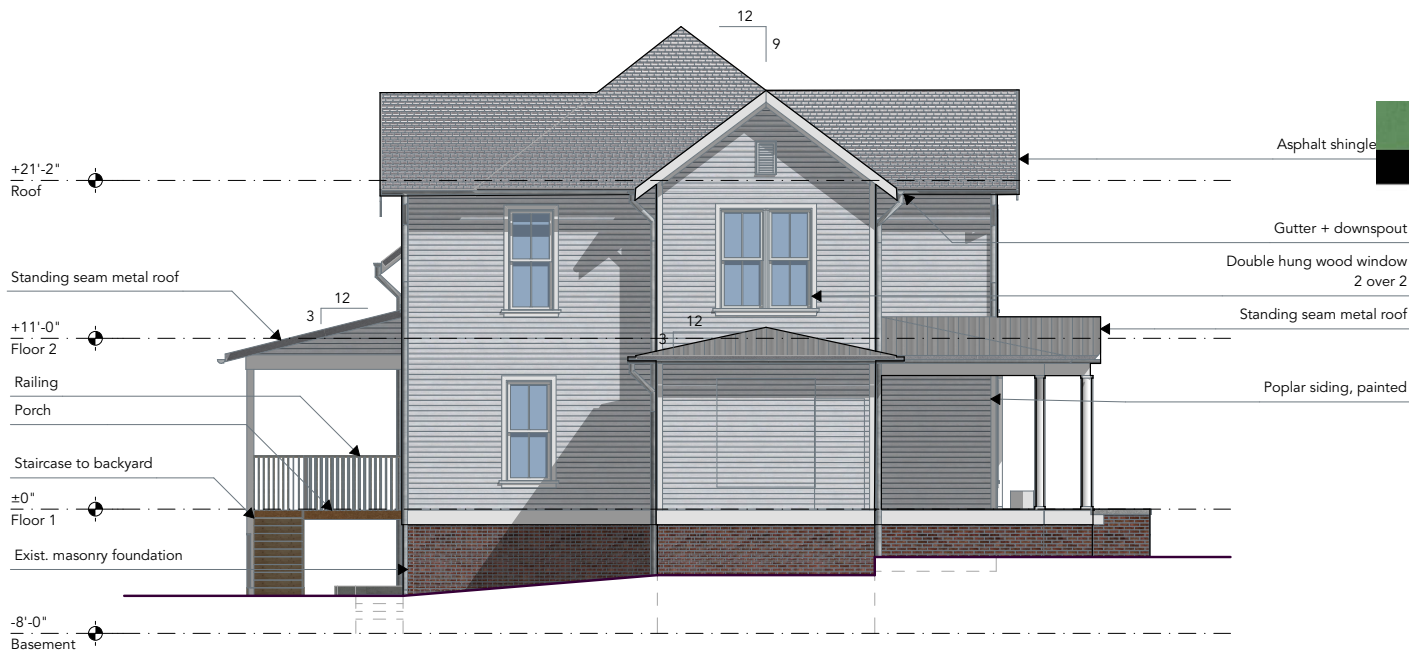
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HZC 14
Elevations

forrest@forkdesign.us

Project Number 2103 : For Historic Zoning Commission

2022.07.28



West Elevation
 Scale : 1/8" = 1'-0"

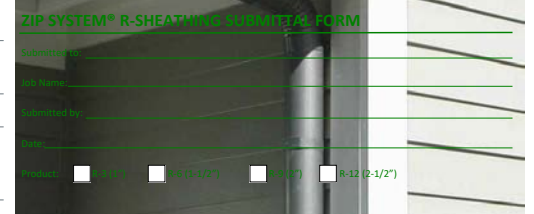
Asphalt shingles

Gutter + downspout

Double hung wood window
 2 over 2

Standing seam metal roof

Poplar siding, painted



Half-Round Gutter + Downspout



Zip Sheathing System

Huber Engineered Woods LLC
 10925 David Taylor Drive, Suite 300, Charlotte, NC 28262
 800-933-9220 | huberwood.com
 Technical Service Hotline: 800.933.9220 ext. 2716



forrest@forkdesign.us

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Project Number 2103 : For Historic Zoning Commission

HZC 15
 Elevations

2022.07.28