

Meeting: 4/21/2022
Applicant: Joseph Staats Johnson Architecture Inc.
Owner: FSRE-Kerns Bakery LLC

Property Information

Location: 2201 Kerns Rising Way **Parcel ID** 109 A K 014
District: Kerns Bakery Individual H Landmark
Zoning: SW (South Waterfront)
Description: Art Deco, c.1931

The Kerns Bakery building is a red, wire-cut brick building. The building contains a central pavilion of three bays that is two stories in height, with flanking one-story wings. Three central entries mark the first floor of the central pavilion; they are recessed and flanked by square brick pilasters. Each of the three doors contains a full light in a wood frame, with a segmental arched transom of eighteen small panes; the doors and transoms are flanked by small paned transoms. The entries are topped by sixteen-light metal windows with metal awnings. Flanking the central entry bay are bays that contain three windows on the first and second story; with windows also of metal, composed of twelve lights with a central six-light movable section. These windows are marked by soldier courses at the top of the window and below the stone sills. Connecting the windows is an applied detail that creates the appearance of recessed brick. The entry doors are reached by a set of poured concrete steps that are flanked by oversize buttresses. Simple painted metal pipe rails traverse the center of these stairs. Applied oversize letters spell the name "Kerns Bakery" and are located in the cornice above the second-story windows. Flanking the central portion of the building are one story wings on a raised basement, also constructed of brick and matching the materials of the central pavilion. The soldier courses, sills, and brick detail are also present in the wings.

Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement

Revised design of adaptive reuse project for the existing Kerns Bakery Building. Previous proposal approved by HZC in June 2019 (6-Q-19-HZ); revisions driven by requirements of federal historic rehabilitation tax credit program. Scopes of exterior rehabilitation work completed under 6-Q-19-HZ include repair and tuckpointing to exterior brick masonry elements, repair to existing steel multi-light façade windows, restoration of historic Kerns Bakery sign, repair to existing limestone sills and coping on walls.

Façade (west elevation) work not already completed includes the restoration of existing wall sign centered over primary entry, repair and replacement of existing coping, and the installation of a new outdoor dining terrace with a horizontal metal railing, accessible via a multi-light overhead door. New internal metal-clad elevator shaft towards façade elevation.

East elevation: installation of vertical standing-seam metal siding on left half of elevation, new storefront system with metal surround on leftmost bay, new series of aluminum storefront doors. New second-story section clad in vertical standing-seam metal siding, with secondary entry below. In front of the enclosed CMU silo tower, a second-story deck with a tension cable railing is located above two overhead doors at the loading dock.

South elevation: new three-bay storefront system with a flat-roof canopy centered on elevation, including secondary Kerns Bakery signage and a new clerestory addition above, featuring a second-story aluminum storefront system. Multiple bays of garage-door style storefront systems follow, with sections clad in standing-seam metal and horizontal ribbed metal siding; some storefronts feature sloped metal canopies. Second-story deck with horizontal tension cable railing and steps extending along right side of elevation.

North elevation: new storefront systems, repair to existing CMU silo tower, repair to existing steel windows, new aluminum transom windows, and a new aluminum storefront system on the clerestory level. Adjacent to façade, CMU structure to be removed, with a brick-clad deck providing access to an upper level. New aluminum storefront system on rightmost bay below a flat-roof metal canopy adjacent to façade.

Major changes from previous submission: existing silos on the rear elevation (previously proposed to be uncovered) will remain enclosed in existing CMU silo tower. Second-story addition no longer proposed. New Kalwall skyroof and skywall on interior of building. South and east elevations retain historic garage and loading bay configurations.

Applicable Design Guidelines

Secretary of the Interior's Standards for Rehabilitating Historic Buildings.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in

the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Comments

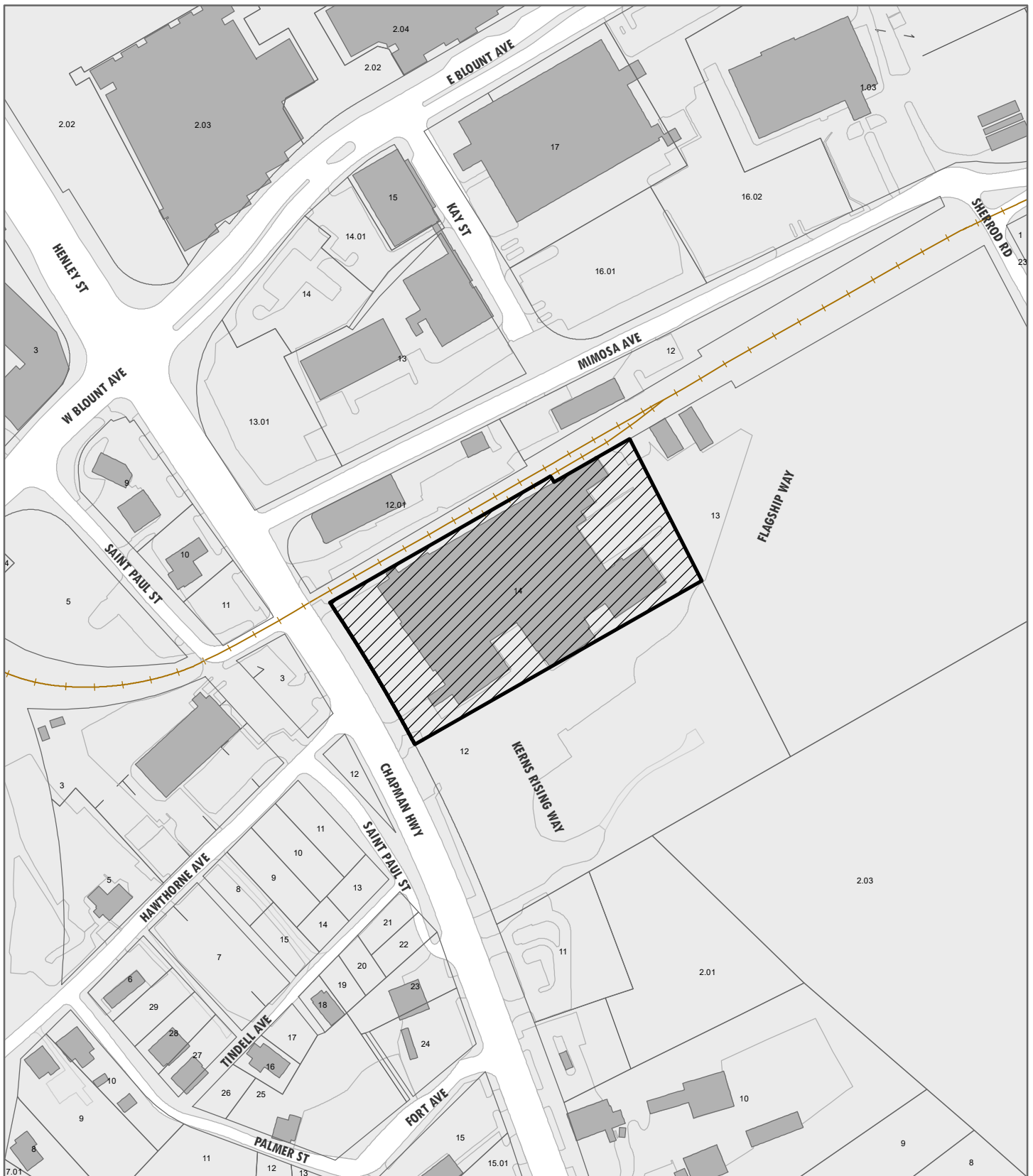
Previous exterior rehabilitation work on the property was reviewed by the HZC in June 2019 (6-Q-19-HZ). This COA will replace the previously issued COA.

Staff Findings

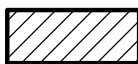
1. The Kerns Bakery building is listed individually on the National Register of Historic Places and as a local historic (H) landmark.
 2. Changes to the previous proposal are driven by the applicants' consultation with the National Park Service for federal rehabilitation tax credits. The NPS has noted the following conditions of approval for the project exterior. The applicant is to retain the CMU structure enclosing the silos, instead of exposing the silos as previously proposed, noting the CMU structure's acquired significance. The roof of the 1931 garage must remain enclosed instead of exposing the trusses and structural system (interior) and cementitious panels may not be added to the rear of the garage roof. Metal cladding may not be added to the south and east elevation unless it existed historically. The historic garage/loading bay openings must be retained in their historic configuration, and most proposed awnings were required to be removed. The initially proposed front patios and the one-story rooftop additions were also discouraged by the NPS.
 3. While these scopes of work may have been determined appropriate by the HZC and staff under the local historic overlay, the NPS adheres to the most stringent interpretation of the Secretary of the Interiors Standards for Rehabilitation for tax credit projects. Therefore, the proposed modifications proposed in the drawings dated 1.28.22/revised 3.2.22 meet the Secretary of the Interiors Standards, which are also the adopted design guidelines for the property.
 4. The applicants have submitted a revised proposal for further review and are awaiting comments from the NPS. Minor revisions may be necessary to signage, rooftop features, and other elements. Provided the revisions meet the design guidelines/SOI Standards, staff could approve additional modifications recommended by the NPS, recognizing the strict interpretation of the Standards for tax credit projects.
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Staff Recommendation

Staff recommends approval of Certificate 4-D-22-HZ as submitted, subject to one condition: 1) minor revisions required by the NPS to be submitted to staff for approval.



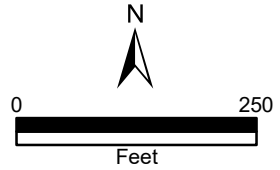
4-D-22-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



2201 Kerns Rising Way 37920
Kerns Bakery Individual H Landmark

Original Print Date: 4/5/2022
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Joseph Staats Johnson Architecture Inc.





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Joseph Staats

Applicant

3/8/22

4/21/22

4-D-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Joseph Staats

Johnson Architecture Inc.

Name

Company

2240 Sutherland Ave. Suite 105

Knoxville

TN

37919

Address

City

State

Zip

865-671-9060

jstaats@jainc.com

Phone

Email

CURRENT PROPERTY INFO

Alex Dominguez (Mallory & Evans Partners)

620 Kentucky St, Scottdale GA 30079

404-803-0411

Owner Name (if different from applicant)

Owner Address

Owner Phone

2201 Kerns Rising Way Knoxville, TN 37920 (Changed since original submission) 109AK014 (Changes since original submission)

Property Address

Parcel ID

SW-6 & H Overlay

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

3.9.22

Staff Signature

Please Print

Date

Joey Staats

Digitally signed by Joey Staats
DN: C=US, E=jstaats@jainc.com, O="Johnson
Architecture Inc.", CN=Joey Staats
Date: 2022.03.08 14:08:56-05'00'

Joey Staats

3/8/22

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: An adaptive reuse of the existing Kerns Bakery into a multi-tenant food hall concept.
The entire Kerns bakery will be renovated as part of this scope with a small second floor bar addition on the east side of the building.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:



INSTRUMENT NORTH
0 30 60
SCALE: 1" = 30'

PARKING SUMMARY

MAXIMUM VEHICLE PARKING	
66,533 SF (3 SPACES PER 1,000 SF, MAX) =	200 MAX
BAKERY - PHASE 2	
160 UNITS (2 SPACES PER UNIT, MAX) =	320 MAX
APARTMENTS - PHASE 1	
TOTAL ALLOWED ON CAMPUS =	520 SPACES
PROPOSED VEHICLE PARKING - BAKERY (PHASE 2)	
STANDARD SPACES (9.5' x 17.5') =	220
HANDICAP =	2
TOTAL =	226 SPACES
PROPOSED VEHICLE PARKING - APARTMENTS (PHASE 1)	
STANDARD SPACES (9.5' x 17.5') =	197
HANDICAP =	2
TOTAL =	204 SPACES
TOTAL CAMPUS =	430 SPACES
REQUIRED BICYCLE PARKING	
430 SPACES (1 PER 10 VEHICLE SPACES)	43
PROPOSED BICYCLE PARKING	
BICYCLE SPACES	48
NOTE:	
NO FUTURE PHASE 3 BUILDING AREA USED FOR PARKING ALLOWANCES IN THE CURRENT PLAN SUBMITTAL. PHASE 1 AND PHASE 2 PARKING COUNTS SHOWN ARE FOR THEIR OWN INDIVIDUAL ALLOWANCES.	

NOTES:

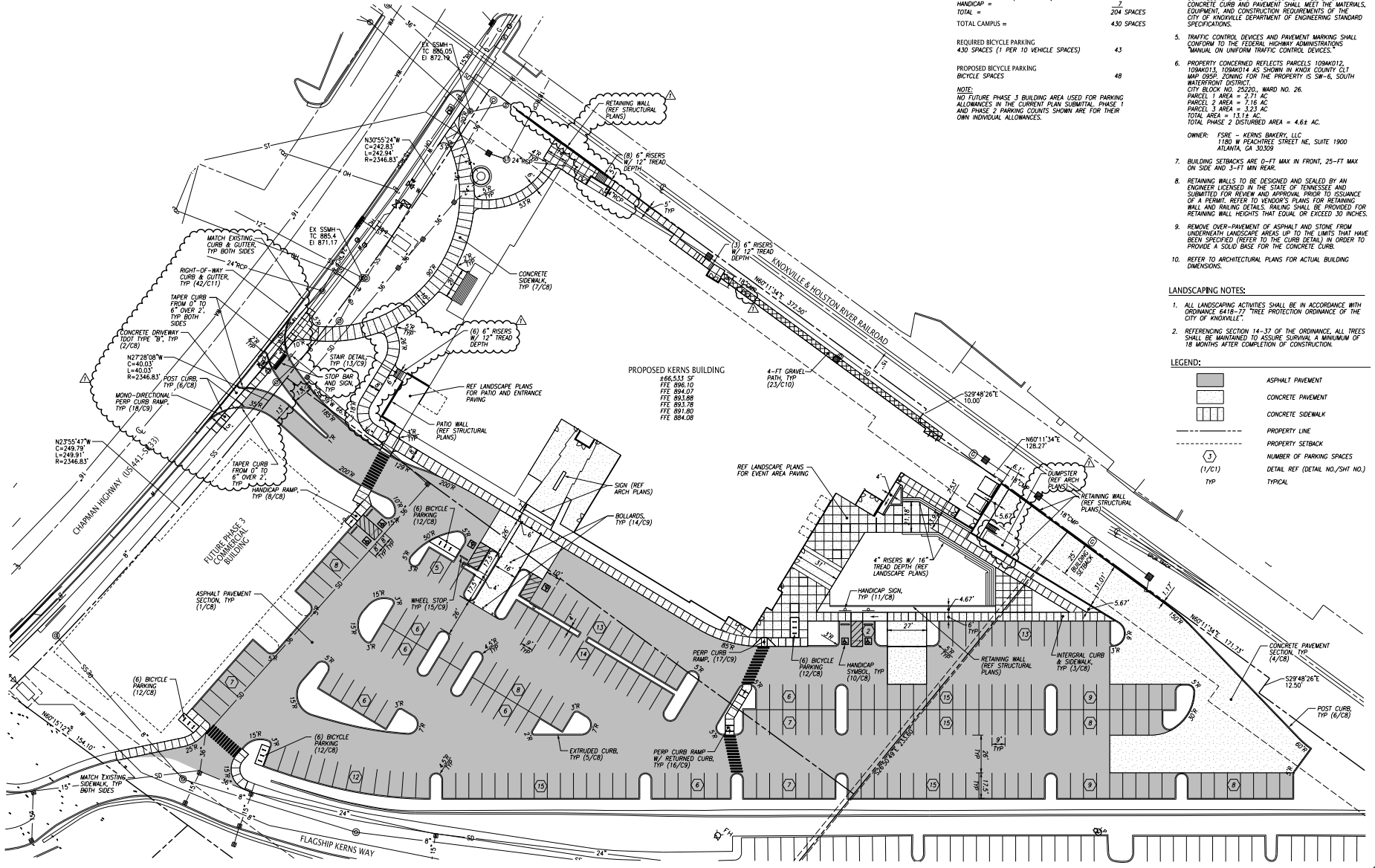
1. THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM PROFESSIONAL LAND SYSTEMS DATED FEBRUARY 12, 2019. CITY OF KNOXVILLE CONTROL, NAVD 88.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
3. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
4. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6. PROPERTY CONCERNED REFLECTS PARCELS 10940012, 10940013, 10940014 AS SHOWN IN ANOK COUNTY CLT MAP 09SP, ZONING FOR THE PROPERTY IS SW-6, SOUTH WATERFRONT DISTRICT. CITY BLOCK NO. 25220, WARD NO. 26. PARCEL 1 AREA = 2.71 AC. PARCEL 2 AREA = 7.16 AC. PARCEL 3 AREA = 3.23 AC. TOTAL AREA = 13.18 AC. TOTAL PHASE 2 DISTURBED AREA = 4.66 AC. OWNER: FSRE - KERNS BAKERY, LLC 1180 W PEACHTREE STREET, NE, SUITE 1900 ATLANTA, GA 30309
7. BUILDING SETBACKS ARE 0-FT MAX IN FRONT, 25-FT MAX ON SIDE AND 3-FT MIN REAR.
8. RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS FOR RETAINING WALL AND RAILING DETAILS. RAILING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
9. REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERPAATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED HEREIN TO THE CURB DETAIL IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURB.
10. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.

LANDSCAPING NOTES:

1. ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH ORDINANCE 6418-77 TREE PROTECTION ORDINANCE OF THE CITY OF KNOXVILLE.
2. REFERRING SECTION 14-37 OF THE ORDINANCE, ALL TREES SHALL BE MAINTAINED TO ASSURE SURVIVAL. A MINIMUM OF 18 MONTHS AFTER COMPLETION OF CONSTRUCTION.

LEGEND:

	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PROPERTY LINE
	PROPERTY SETBACK
	NUMBER OF PARKING SPACES
	DETAIL REF. (DETAIL NO./SHT NO.) TYPICAL



FULGHUM
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10330 HAHREN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com



KERNS DEVELOPMENT
PHASE 2 - KERNS BUILDING
2110 CHAPMAN HIGHWAY
KNOXVILLE, TENNESSEE 37920

FSRE - KERNS BAKERY, LLC
1180 W PEACHTREE STREET, SUITE 1900
ATLANTA, GA 30309
CONTACT: BRANTLEY BASINGER
TELEPHONE NO.: 804.334.6903
EMAIL: BRANTLEY.BASINGER@FOURFOURSCORE.COM

LAYOUT AND PAVING PLAN

PROJECT NO.	636.001	SHEET	C2
DATE	01/28/22	SCALE	1"=30'
ISSUED BY	AMC	REVISION/ISSUE	
DESIGNED BY	AMC		
DRAWN BY	HNU		
PROJECT	636.001	SHEET	C2
DATE	01/28/22	SCALE	1"=30'
ISSUED FOR CONSTRUCTION			
NO.			

FSR - 1/28/22 11:56 AM (MST) 1000110202.dwg
Plot Date: 02/02/22

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KERNS DEVELOPMENT
PHASE 2 - KERNS BUILDING
2110 CHAPMAN HIGHWAY
KNOXVILLE, TENNESSEE 37920

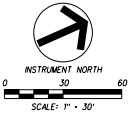
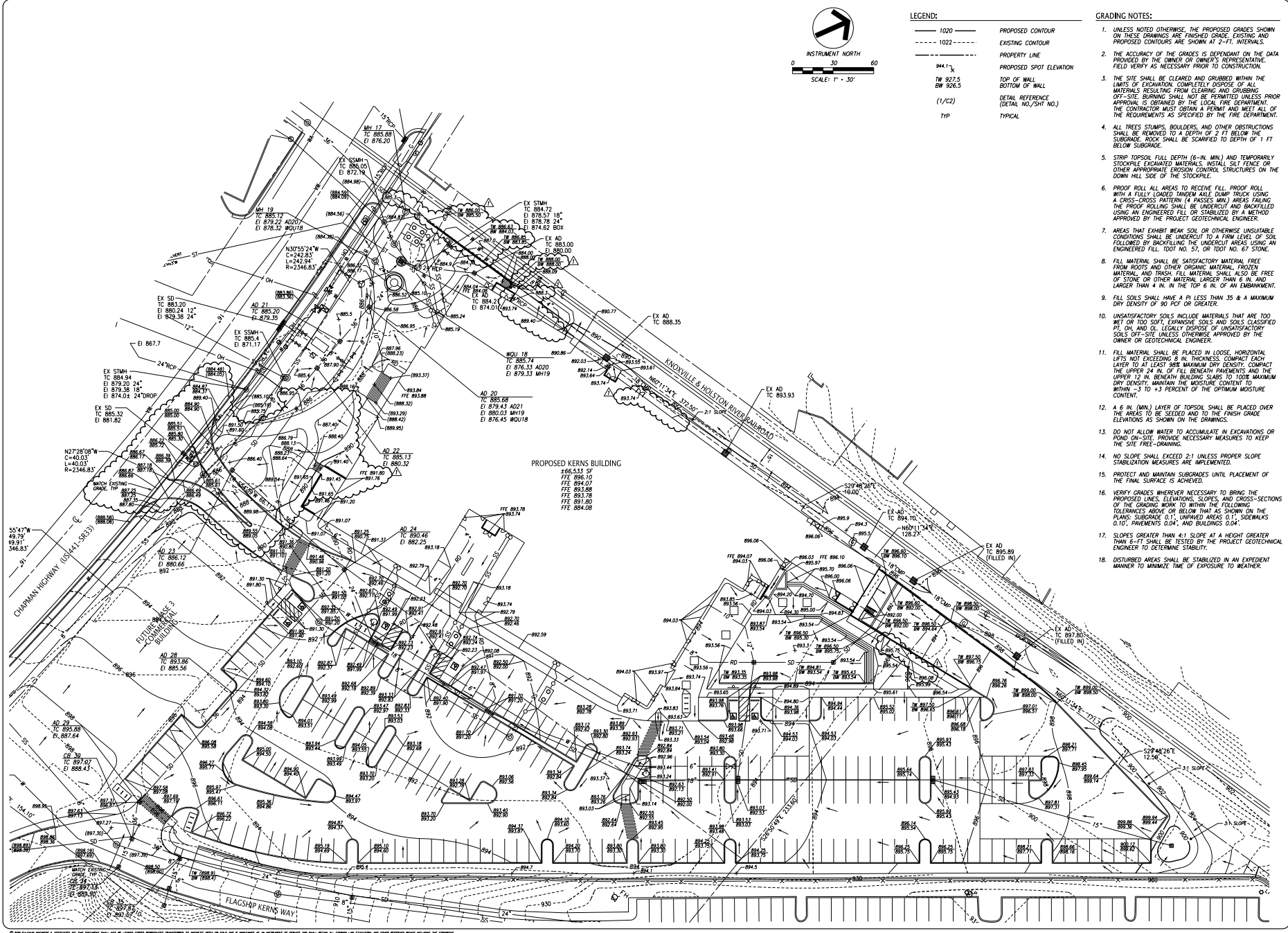
ESRE - KERNS BAKERY, LLC
1180 W PACIFIC AVENUE SUITE 1900
ATLANTA, GA 30309
CONTACT: BRANTLEY BASINGER
TELEPHONE NO.: 904.334.6903
EMAIL: BRANTLEY.BASINGER@FOURFIVEFOUR.COM

GRADING PLAN

NO. 1	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22
NO. 2	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22
NO. 3	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22
NO. 4	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22
NO. 5	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22
NO. 6	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22
NO. 7	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22
NO. 8	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22
NO. 9	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22
NO. 10	ISSUED FOR CONSTRUCTION	01/28/22	01/28/22

Project: 636.001
Date: 01/28/22
Scale: 1"=30'

C3



- LEGEND:**
- 1020 ——— PROPOSED CONTOUR
 - 1022 - - - - - EXISTING CONTOUR
 - PROPERTY LINE
 - 944.1 x PROPOSED SPOT ELEVATION
 - TM 927.5 TOP OF WALL
 - BW 306.5 BOTTOM OF WALL
 - (1/C2) DETAIL REFERENCE (DETAIL NO./SHT NO.)
 - Typ TYPICAL

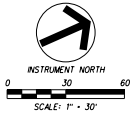
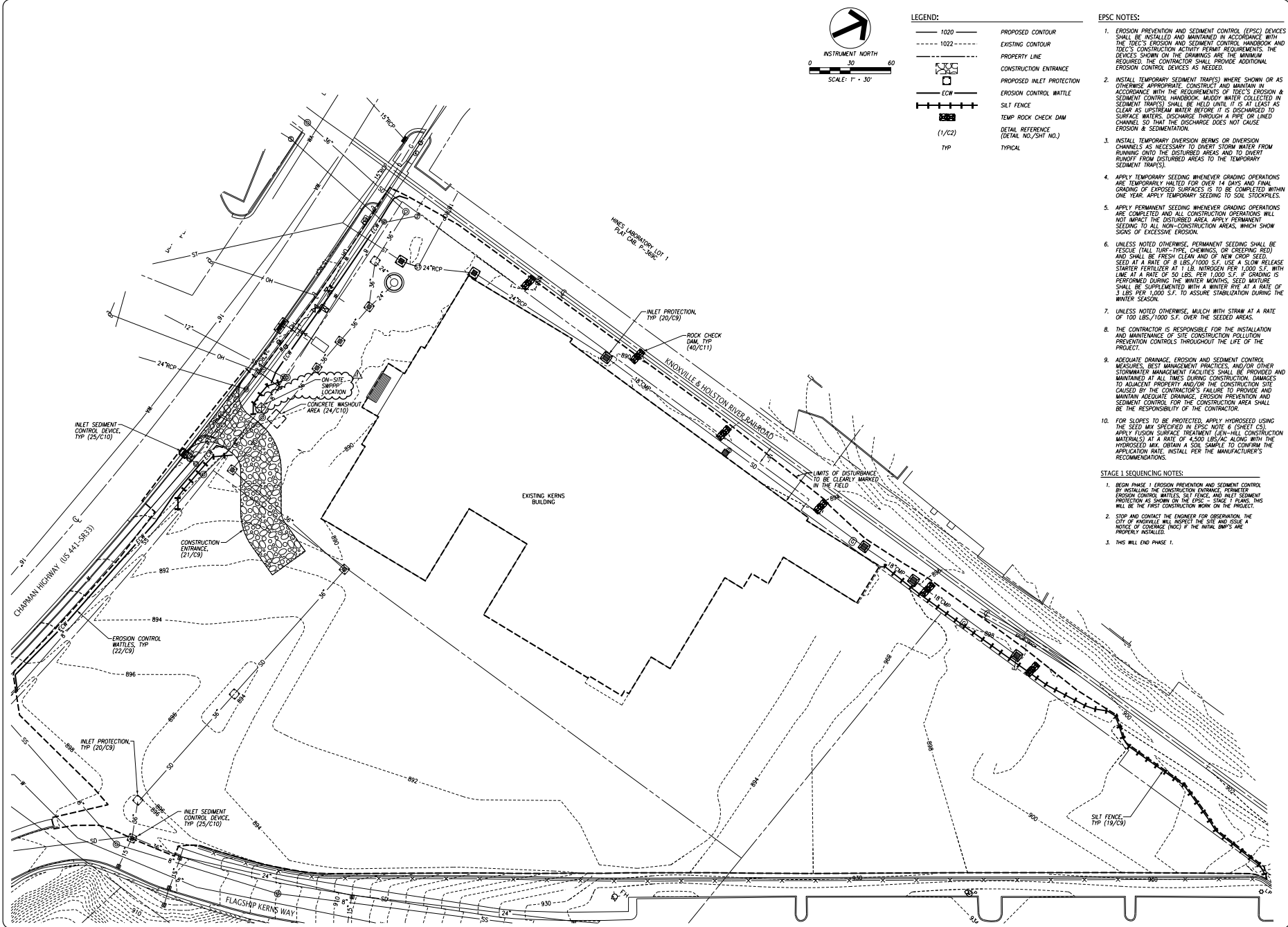
- GRADING NOTES:**
1. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2'-FT. INTERVALS.
 2. THE ACCURACY OF THE GRADES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
 3. THE SITE SHALL BE CLEARED AND GRABBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRABBING. OFF-SITE BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
 4. ALL TREES STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 3 FT BELOW THE SURROUND. ROCK SHALL BE SCARIFIED TO DEPTH OF 1 FT BELOW SURGRADE.
 5. STRIP TOPSOIL FULL DEPTH (6-IN. MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
 6. PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK USING A CROSS-CROSS PATTERN (4 PASSES MIN.) AREAS FAILING THE PROOF ROLLING SHALL BE UNDERCUT AND BACKFILLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
 7. AREAS THAT EXHIBIT WEAR SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOWED BY BACKFILLING THE UNDERCUT AREAS USING AN ENGINEERED FILL TOOT NO. 57, OR TOOT NO. 67 STONE.
 8. FILL MATERIAL SHALL BE SATISFACTORY MATERIAL FREE FROM ROOTS AND OTHER ORGANIC MATERIAL. FROZEN MATERIAL AND TRASH FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
 9. FILL SOILS SHALL HAVE A PI LESS THAN 35 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
 10. UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO SOFT. EXPANSIVE SOILS AND SOILS CLASSIFIED PI, OH, AND OL LEGALLY DISPOSE OF UNSATISFACTORY SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
 11. FILL MATERIAL SHALL BE PLACED IN LOOSE HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS. COMPACT EACH LAYER TO AT LEAST 98% MAXIMUM DRY DENSITY. COMPACT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN -3 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
 12. A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
 13. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
 14. NO SLOPE SHALL EXCEED 2:1 UNLESS PROPER SLOPE STABILIZATION MEASURES ARE IMPLEMENTED.
 15. PROTECT AND MAINTAIN SURGRADES UNTIL PLACEMENT OF THE FINAL SURFACE IS ACHIEVED.
 16. VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED DIMS, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SURGRADES 0.1', UNPAVED AREAS 0.1', SIDEWALKS 0.10', PAVEMENTS 0.04', AND BUILDINGS 0.04'.
 17. SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 6'-FT SHALL BE TESTED BY THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE STABILITY.
 18. DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDITIOUS MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

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Aut. Print: 01/28/2022

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FILE NUMBER: 15-0000-0001 (MDS) 150001-0004.dwg
 DATE: 01/28/22

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- LEGEND:**
- 1020 ——— PROPOSED CONTOUR
 - 1022 - - - - - EXISTING CONTOUR
 - PROPERTY LINE
 - CONSTRUCTION ENTRANCE
 - PROPOSED INLET PROTECTION
 - EROSION CONTROL MATT
 - SILT FENCE
 - TEMP ROCK CHECK DAM
 - DETAIL REFERENCE (DETAIL NO./SHT NO.)
 - TYP TYPICAL

- EPSC NOTES:**
1. EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE DEC'S EROSION AND SEDIMENT CONTROL HANDBOOK AND DEC'S CONSTRUCTION ACTIVITY PERMIT REQUIREMENTS. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.
 2. INSTALL TEMPORARY SEDIMENT TRAPS WHERE SHOWN OR AS OTHERWISE APPROPRIATE. CONSTRUCT AND MAINTAIN IN ACCORDANCE WITH THE REQUIREMENTS OF DEC'S EROSION & SEDIMENT CONTROL HANDBOOK. MUDDY WATER COLLECTED IN SEDIMENT TRAPS SHALL BE HELD UNTIL IT IS AT LEAST AS CLEAR AS UPSTREAM WATER BEFORE IT IS DISCHARGED TO SURFACE WATERS. DISCHARGE THROUGH A PIPE OR LINED CHANNEL SO THAT THE DISCHARGE DOES NOT CAUSE EROSION & SEDIMENTATION.
 3. INSTALL TEMPORARY DIVERSION BERMS OR DIVERSION CHANNELS AS NECESSARY TO DIVERT STORM WATER FROM RUNNING ONTO THE DISTURBED AREAS AND TO DIVERT RUNOFF FROM DISTURBED AREAS TO THE TEMPORARY SEDIMENT TRAPS.
 4. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
 5. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS, WHICH SHOW SIGNS OF EXCESSIVE EROSION.
 6. UNLESS NOTED OTHERWISE, PERMANENT SEEDING SHALL BE FESCUE (TALL TURF-TYPE, CHERMIS, OR CREEPING RED) AND SHALL BE FRESH CLEAN AND OF NEW CROP SEED. SEED AT A RATE OF 8 LBS./1000 S.F. USE A SLOW RELEASE STARTER FERTILIZER AT 1 LB. NITROGEN PER 1,000 S.F. WITH LIME AT A RATE OF 50 LBS. PER 1,000 S.F. IF GRADING IS PERFORMED DURING THE WINTER MONTHS, SEED MIXTURE SHALL BE SUPPLEMENTED WITH A WINTER RYE AT A RATE OF 3 LBS. PER 1,000 S.F. TO ASSURE STABILIZATION DURING THE WINTER SEASON.
 7. UNLESS NOTED OTHERWISE, MULCH WITH STRAW AT A RATE OF 100 LBS./1000 S.F. OVER THE SEEDED AREA.
 8. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF SITE CONSTRUCTION POLLUTION PREVENTION CONTROLS THROUGHOUT THE LIFE OF THE PROJECT.
 9. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE, EROSION PREVENTION AND SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 10. STEEP SLOPES TO BE PROTECTED AGAINST HYDROSEED USING THE SEED MIX SPECIFIED IN EPSC NOTE 6 (SHEET C5). APPLY FUSION SURFACE TREATMENT (LEW-HILL CONSTRUCTION MATERIALS) AT A RATE OF 4,500 LBS./AC ALONG WITH THE HYDROSEED MIX. OBTAIN A SOIL SAMPLE TO CONFIRM THE APPLICATION RATE. INSTALL PER THE MANUFACTURER'S RECOMMENDATIONS.

- STAGE 1 SEQUENCING NOTES:**
1. BEGIN PHASE 1 EROSION PREVENTION AND SEDIMENT CONTROL BY INSTALLING THE CONSTRUCTION ENTRANCE, PERIMETER EROSION CONTROL MATS, SILT FENCE, AND INLET SEDIMENT PROTECTION AS SHOWN ON THE EPSC - STAGE 1 PLANS. THIS WILL BE THE FIRST CONSTRUCTION WORK ON THE PROJECT.
 2. STOP AND CONTACT THE ENGINEER FOR OBSERVATION. THE CITY OF KNOXVILLE WILL INSPECT THE SITE AND ISSUE A NOTICE OF CORRECTIVE ACTION IF THE INITIAL BMP'S ARE PROPERLY INSTALLED.
 3. THIS WILL END PHASE 1.

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EPSC PLAN - STAGE 1

PROJ. NO.	ISSUED BY	DATE	REVISION/ISSUE
15-0000-0001	AMC	03/02/22	
	AMC	07/28/22	

Project: 636.001
 Date: 01/28/22
 Scale: 1"=30'

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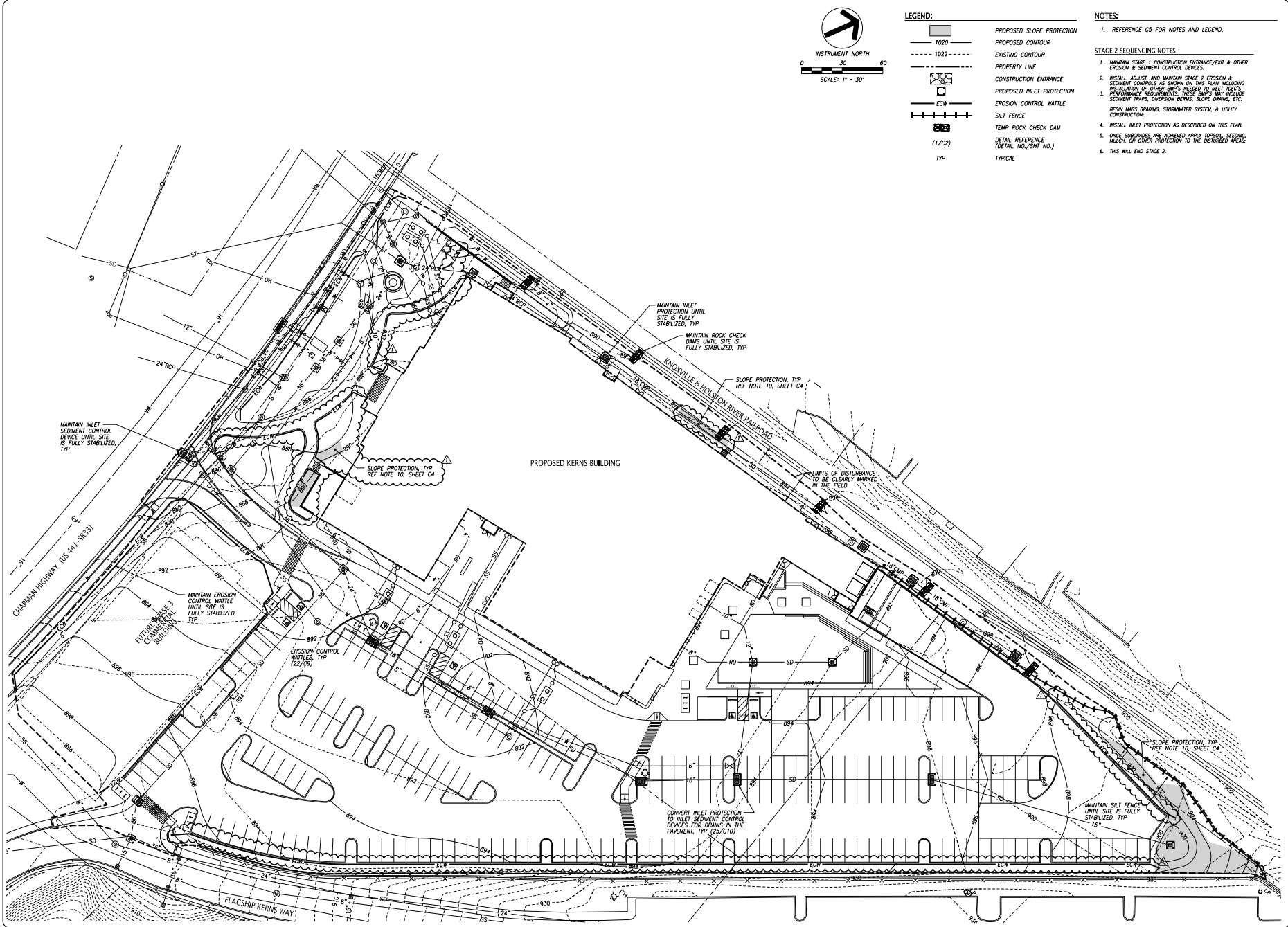


PROJ. NO.	ISSUED BY	DATE
NO.	Revision/Issue	
1	AMC	03/20/22
2	AMC	07/28/22
3	AMC	07/28/22
4	AMC	07/28/22
5	AMC	07/28/22
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Project	Sheet
636.001	C5
Date	01/28/22
Scale	1"=30'

- LEGEND:**
- 1020 PROPOSED SLOPE PROTECTION
 - 1022 PROPOSED CONTOUR
 - EXISTING CONTOUR
 - PROPERTY LINE
 - CONSTRUCTION ENTRANCE
 - PROPOSED INLET PROTECTION
 - EROSION CONTROL MAT/LE
 - SILT FENCE
 - TEMP. ROCK CHECK DAM
 - (1/C2) DETAIL REFERENCE (DETAIL NO./SHT. NO.)
 - TYP TYPICAL

- NOTES:**
1. REFERENCE CS FOR NOTES AND LEGEND.
 2. STAGE 2 SEQUENCING NOTES:
 1. MAINTAIN STAGE 1 CONSTRUCTION ENTRANCE/EXIT & OTHER EROSION & SEDIMENT CONTROL DEVICES.
 2. INSTALL, ADJUST, AND MAINTAIN STAGE 2 EROSION & SEDIMENT CONTROL DEVICES ON THIS PLAN INCLUDING MODIFICATION OF OTHER BMP'S NECESSARY TO MEET BEST PRACTICES PERFORMANCE REQUIREMENTS. THESE BMP'S MAY INCLUDE SEDIMENT TRAPS, DIVERSION BENCHES, SLOPE GRASS, ETC.
 3. BEGIN MAINTAINING STORMWATER SYSTEM & UTILITY CONSTRUCTION.
 4. INSTALL INLET PROTECTION AS DESCRIBED ON THIS PLAN.
 5. ONCE SUBGRADES ARE ACHIEVED APPLY TOPSOIL, SEEDING, MULCH, OR OTHER PROTECTION TO THE DISTURBED AREAS.
 6. THIS WILL END STAGE 2.



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STORM DRAINAGE PLAN

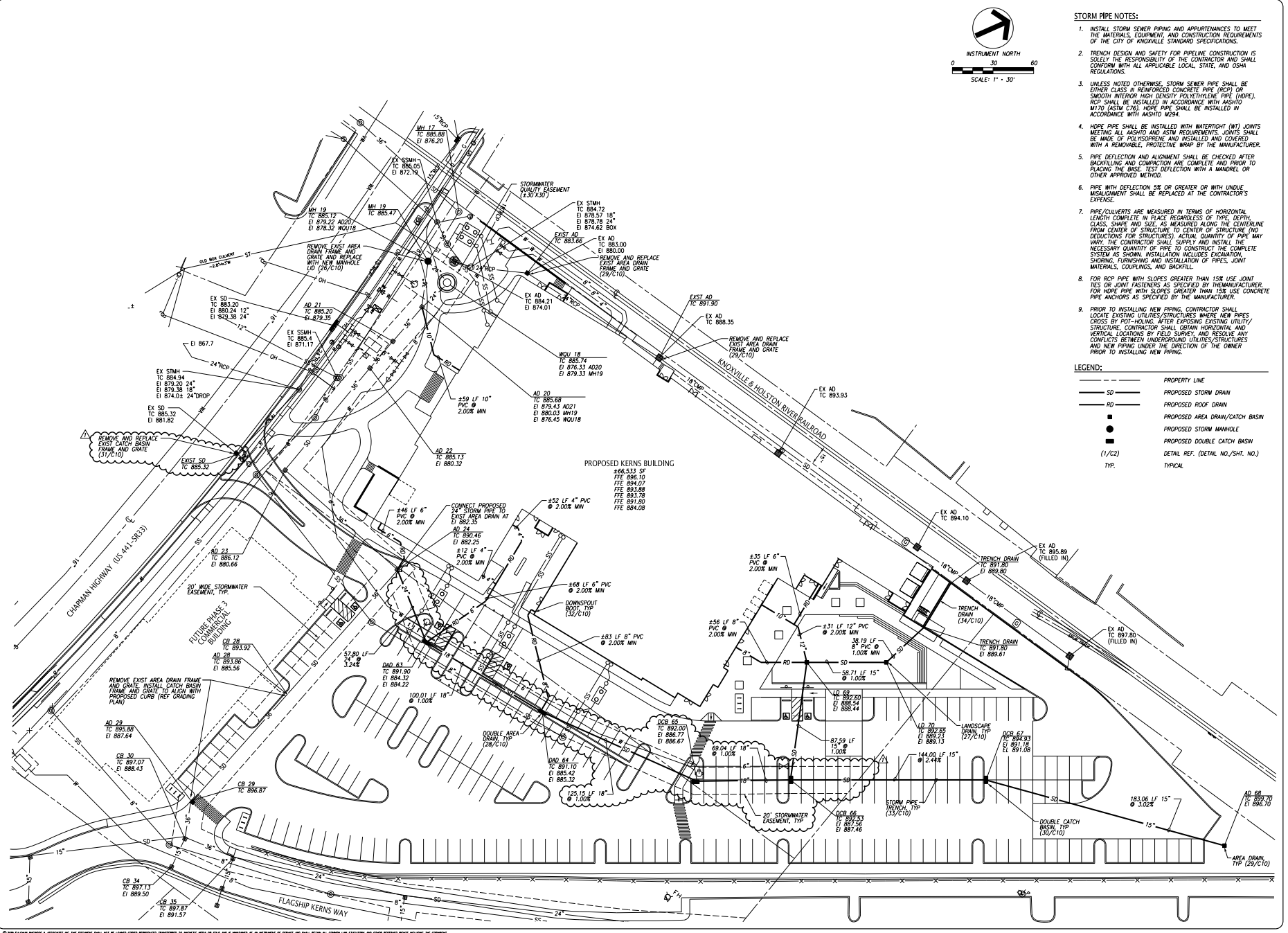
NO.	REVISION/ISSUE	DATE
03/02/22		03/02/22
07/28/22		07/28/22

Project: 636.001
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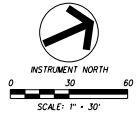
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- STORM PIPE NOTES:**
1. INSTALL STORM SEWER PIPING AND APPURTENANCES TO MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
 2. TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
 3. UNLESS NOTED OTHERWISE, STORM SEWER PIPE SHALL BE EITHER CLASS III REINFORCED CONCRETE PIPE (RCP) OR SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE PIPE (HDPE). RCP SHALL BE INSTALLED IN ACCORDANCE WITH AASHTO M10 (ASTM C29). HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH AASHTO M294.
 4. HDPE PIPE SHALL BE INSTALLED WITH WATERLOG (WT) JOINTS MEETING ALL AASHTO AND ASTM REQUIREMENTS. JOINTS SHALL BE MADE OF POLYISOPRENE AND INSTALLED AND COVERED WITH A REMOVABLE, PROTECTIVE WRAP BY THE MANUFACTURER.
 5. PIPE DEFLECTION AND ALIGNMENT SHALL BE CHECKED AFTER BACKFILLING AND COMPLETION ARE COMPLETE AND PRIOR TO PLACING THE BASE. TEST DEFLECTION WITH A MANDREL OR OTHER APPROVED METHOD.
 6. PIPE WITH DEFLECTION 5% OR GREATER OR WITH UNLAME MISALIGNMENT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 7. PIPE/CULVERTS ARE MEASURED IN TERMS OF HORIZONTAL LENGTH COMPLETE IN PLACE REGARDLESS OF TYPE, DEPTH, CLASS, SHAPE AND SIZE, AS MEASURED ALONG THE CENTERLINE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE (NO DEDUCTIONS FOR STRUCTURES). ACTUAL QUANTITY OF PIPE MAY VARY. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE NECESSARY QUANTITY OF PIPE TO CONSTRUCT THE COMPLETE SYSTEM AS SHOWN. INSTALLATION INCLUDES EXCAVATION, SHORING, FURNISHING AND INSTALLATION OF PIPES, JOINT MATERIALS, COUPLINGS, AND BACKFILL.
 8. FOR RCP PIPE WITH SLOPES GREATER THAN 1% USE JOINT TEST OR JOINT FASTENERS AS SPECIFIED BY THE MANUFACTURER. FOR HDPE PIPE WITH SLOPES GREATER THAN 1% USE CONCRETE PIPE ANCHORS AS SPECIFIED BY THE MANUFACTURER.
 9. PRIOR TO INSTALLING NEW PIPING, CONTRACTOR SHALL LOCATE EXISTING UTILITIES/STRUCTURES WHERE NEW PIPES CROSS BY POT-HOLING. AFTER EXPOSING EXISTING UTILITY/STRUCTURES, CONTRACTOR SHALL OBTAIN HORIZONTAL AND VERTICAL LOCATIONS BY FIELD SURVEY, AND RESOLVE ANY CONFLICTS BETWEEN UNDERGROUND UTILITIES/STRUCTURES AND NEW PIPING UNDER THE DIRECTION OF THE OWNER PRIOR TO INSTALLING NEW PIPING.

- LEGEND:**
- PROPERTY LINE
 - SD PROPOSED STORM DRAIN
 - PROPOSED ROOF DRAIN
 - PROPOSED AREA DRAIN/CATCH BASIN
 - PROPOSED STORM MANHOLE
 - PROPOSED DOUBLE CATCH BASIN
 - (1/2) DETAIL REF. (DETAIL NO./SHT. NO.)
 - TYP. TYPICAL



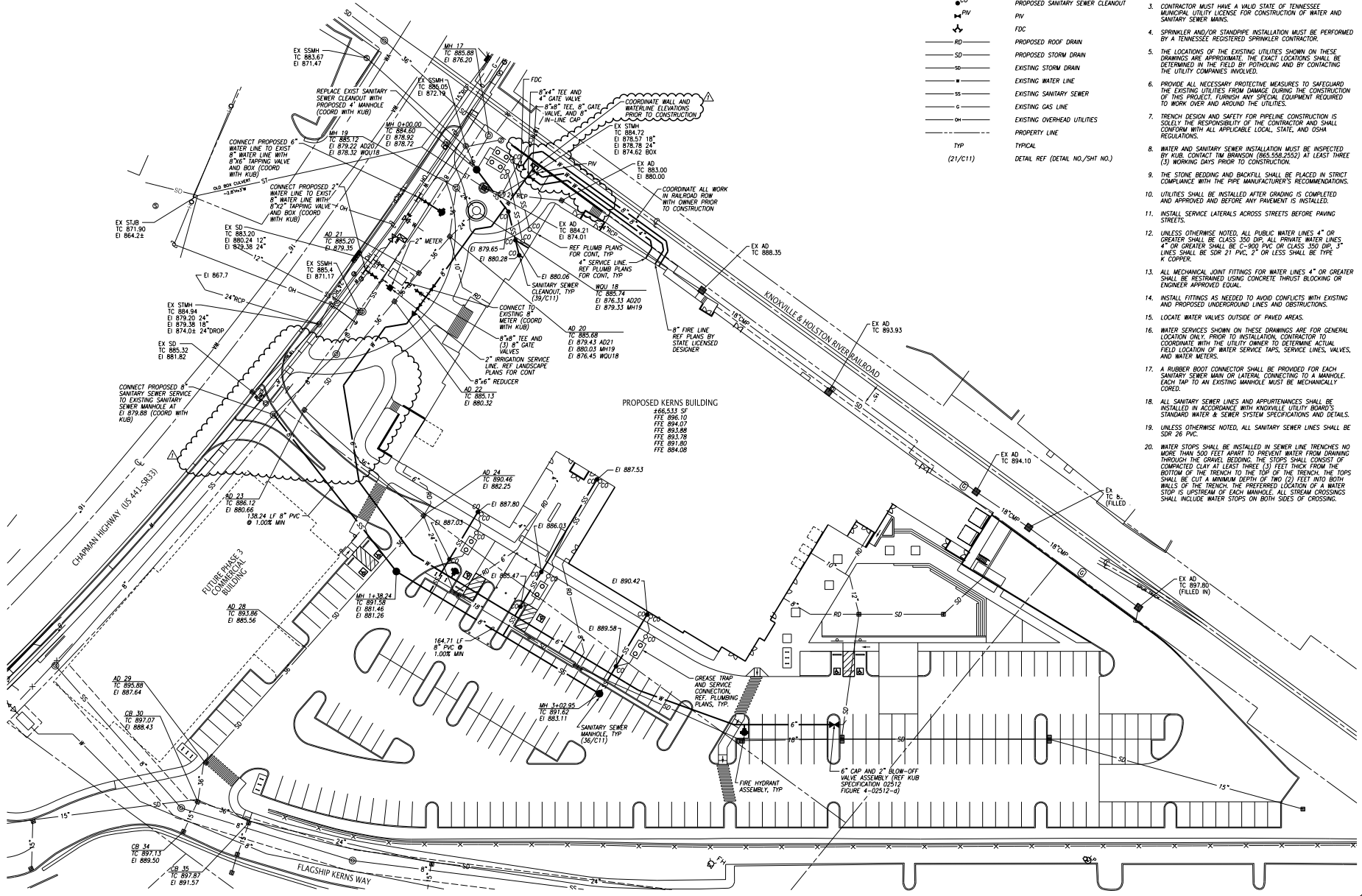
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LEGEND:

—W—	PROPOSED WATER LINE
—SW—	PROPOSED WATER VALVE
—FH—	PROPOSED FIRE HYDRANT ASSEMBLY
—SS—	PROPOSED SANITARY SEWER
—SC—	PROPOSED SANITARY SEWER MANHOLE
—CO—	PROPOSED SANITARY SEWER CLEANOUT
—PIV—	PROPOSED SANITARY SEWER PIV
—FDC—	PROPOSED FIRE HYDRANT CLEANOUT
—RD—	PROPOSED ROOF DRAIN
—SD—	PROPOSED STORM DRAIN
—SD—	EXISTING STORM DRAIN
—SD—	EXISTING WATER LINE
—SS—	EXISTING SANITARY SEWER
—G—	EXISTING GAS LINE
—OH—	EXISTING OVERHEAD UTILITIES
—	PROPERTY LINE
—	TYPICAL
(21/C11)	DETAIL REF (DETAIL NO./SHT NO.)

- UTILITY NOTES:**
1. LOCATE EXISTING UTILITIES. CALL THE TENNESSEE ONE CALL SYSTEM, AT 1-800-351-1111.
 2. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS TO NOTIFY THEM OF WORK IN THE AREA AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITIES. NOTIFICATION SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
 3. CONTRACTOR MUST HAVE A VALID STATE OF TENNESSEE MUNICIPAL UTILITY LICENSE FOR CONSTRUCTION OF WATER AND SANITARY SEWER MAINS.
 4. SPRINKLER AND/OR STANDPIPE INSTALLATION MUST BE PERFORMED BY A TENNESSEE REGISTERED SPRINKLER CONTRACTOR.
 5. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BY POtholing AND BY CONTACTING THE UTILITY COMPANIES INVOLVED.
 6. PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. FURNISH ANY SPECIAL EQUIPMENT REQUIRED TO WORK OVER AND AROUND THE UTILITIES.
 7. TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND FEMA REGULATIONS.
 8. WATER AND SANITARY SEWER INSTALLATION MUST BE INSPECTED BY KUB. CONTACT TIM BRADSHAW (865-588-5552) AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION.
 9. THE STONE BEDDING AND BACKFILL SHALL BE PLACED IN STRICT COMPLIANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS.
 10. UTILITIES SHALL BE INSTALLED AFTER GRADING IS COMPLETED AND APPROVED BEFORE ANY PAVEMENT IS INSTALLED.
 11. INSTALL SERVICE LATERALS ACROSS STREETS BEFORE PAVING STREETS.
 12. UNLESS OTHERWISE NOTED, ALL PUBLIC WATER LINES 4" OR GREATER SHALL BE CLASS 350 DIP. ALL PRIVATE WATER LINES 4" OR GREATER SHALL BE C-900 PVC OR CLASS 350 DIP. 3" LINES SHALL BE SDR 21 PVC, 2" OR LESS SHALL BE TYPE K COPPER.
 13. ALL MECHANICAL JOINT FITTINGS FOR WATER LINES 4" OR GREATER SHALL BE RESTRAINED USING CONCRETE THRUST BLOCKING OR ENGINEER APPROVED EQUAL.
 14. INSTALL FITTINGS AS NEEDED TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UNDERGROUND LINES AND OBSTRUCTIONS.
 15. LOCATE WATER VALVES OUTSIDE OF PAVED AREAS.
 16. WATER SERVICES SHOWN ON THESE DRAWINGS ARE FOR GENERAL LOCATION ONLY. PRIOR TO INSTALLATION, CONTRACTOR TO COORDINATE WITH THE UTILITY OWNER TO DETERMINE ACTUAL FIELD LOCATION OF WATER SERVICE TAPS, SERVICE LINES, VALVES, AND WATER METERS.
 17. A RUBBER BOOT CONNECTOR SHALL BE PROVIDED FOR EACH SANITARY SEWER MAIN OR LATERAL CONNECTING TO A MANHOLE. EACH TAP TO AN EXISTING MANHOLE MUST BE MECHANICALLY COURED.
 18. ALL SANITARY SEWER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH KNOXVILLE UTILITY BOARD'S STANDARD WATER & SEWER SYSTEM SPECIFICATIONS AND DETAILS.
 19. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER LINES SHALL BE SDR 26 PVC.
 20. WATER STOPS SHALL BE INSTALLED IN SEWER LINE TRENCHES NO MORE THAN 500 FEET APART TO PREVENT WATER FROM DRAINING THROUGH THE GROUND BEHIND. THE STOPS SHALL CONSIST OF COMPACTED CLAY AT LEAST THREE (3) FEET THICK FROM THE BOTTOM OF THE TRENCH TO THE TOP OF THE TRENCH. THE TOPS SHALL BE CUT A MINIMUM DEPTH OF TWO (2) FEET INTO BOTH WALLS OF THE TRENCH. THE PREFERRED LOCATION OF A WATER STOP IS UPSTREAM OF EACH MANHOLE. ALL STREAM CROSSINGS SHALL INCLUDE WATER STOPS ON BOTH SIDES OF CROSSING.



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UTILITIES PLAN

DESIGNED BY	HNU	DATE	
CHECKED BY	AMC	DATE	03/02/22
ISSUED FOR CONSTRUCTION		DATE	01/28/22
NO.		REVISION/ISSUE	

Project: 636.001
 Date: 01/28/22
 Scale: 1"=30'

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Full Name: J. FULGHUM (MIDWEST) ASSOCIATES, INC.
 Full Name: 02/20/22

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GENERAL NOTES:

- EXISTING CONDITIONS ARE COMPILED FROM A SURVEY TITLED "636001\layout\20190220" ISSUED BY FULGHUM, MACINDO, & ASSOCIATES, INC. ON FEBRUARY 20, 2019 TO THE DESIGN TEAM.
- THE CONTRACTOR SHALL VERIFY SITE INFORMATION, INCLUDING PROPERTY LINES, LIMITS OF WORK, EASEMENTS, BUILDINGS, ROADWAY CURB AND/OR GUTTERS, UTILITIES, DUCT BANKS, AND OTHER INFORMATION THAT MAY AFFECT THE SCOPE OF WORK INCLUDED ON THESE DRAWINGS. MORE SPECIFIC UTILITY INFORMATION IS INDICATED ON THE CIVIL ENGINEER DRAWINGS. CONTRACTOR SHALL REPORT ANY DISCREPANCY BETWEEN ACTUAL FIELD CONDITIONS AND WHAT IS SHOWN ON THE DRAWINGS TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED
- WHERE PLANS AND/OR SPECIFICATIONS ARE FOUND TO BE IN CONFLICT, OR WHERE VARIOUS ITEMS OF WORK ARE SEEN TO BE IN CONFLICT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE FOR DIRECTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE EFFORTS OF HIS WORK WITH ALL TRADES THAT MAY COINCIDE WITH THE WORK IN THE LANDSCAPE DRAWINGS, AS APPLICABLE.
- ADVISE CONSTRUCTION AND OPERATIONS WITH THE PROJECT'S DESIGN CONSULTANTS FOR WORK INDICATED HEREIN. INFORM THE OWNER'S REPRESENTATIVE ON THE PREFERRED CONSTRUCTION SCHEDULE PRIOR TO THE WORK BEING PERFORMED. ADJUST CONSTRUCTION SCHEDULE ACCORDINGLY BASED ON A MUTUALLY-AGREABLE TIMETABLE. NOTIFY THE OWNER'S REPRESENTATIVE IF CHANGE TO CONSTRUCTION SCHEDULE IS REQUIRED DUE TO DIFFERENCES IN ACTUAL CONSTRUCTION PROGRESS. INCLUDE THE PROJECT'S DESIGN CONSULTANTS AT PRE-INSTALLATION MEETINGS COVERING PORTIONS OF THE WORK THAT ARE RELATED. NOTIFY THE OWNER'S REPRESENTATIVE IF CHANGES TO CONSTRUCTION SCHEDULE ARE REQUIRED DUE TO DIFFERENCES IN ACTUAL CONSTRUCTION PROGRESS.
- LIMIT OF WORK LINE IS NOTED ON DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE. ANY AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL MEET LINE AND GRADE OF EXISTING CONDITIONS AT LIMIT OF WORK LINE.
- THE CONTRACTOR SHALL ESTABLISH PERMANENT BENCH MARKS. MAINTAIN ALL ESTABLISHED BOUNDRIES AND BENCH MARKS AND REPLACE AS DIRECTED ANY WHICH ARE DESTROYED OR DISTURBED.
- THE CONTRACTOR SHALL EMPLOY SPECIAL CARE IN SCHEDULING CONSTRUCTION SO AS TO MAINTAIN EXISTING VEHICULAR TRAFFIC PATTERNS, AND MINIMIZE DISRUPTION TO SURROUNDING PEDESTRIAN TRAFFIC. CONTRACTOR SHALL EMPLOY SPECIAL CARE TO PROTECT SAFETY OF PEDESTRIANS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE.
- LIMIT USE OF PREMISES TO WORK IN AREAS AS INDICATED. DO NOT DISTURB PORTIONS OF THE SITE BEYOND AREAS IN WHICH WORK IS INDICATED. KEEP DRIVEWAYS AND ENTRANCES SERVING PREMISES CLEAR AND AVAILABLE TO THE OWNER AND EMERGENCY VEHICLES AT ALL TIMES. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE USE OF DRIVEWAYS AND ENTRANCES.
- ALL REFUSE, DEBRIS, AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF DEBRIS ONTO PUBLIC ROADS OR ABUTTING PROPERTY. ANY DEBRIS ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY THE CONTRACTOR.
- CONTRACTOR SHALL REMOVE LITTER AND DEBRIS FROM THE PROJECT SITE AS REQUIRED TO KEEP SITE IN AN ORDERLY FASHION. DUST CONTROL MEASURES SHALL BE EXERCISED.
- CARE SHALL BE TAKEN TO PRESERVE AND FULLY PROTECT THE INTEGRITY OF WATERPROOF MEMBRANE SYSTEMS WHERE THEY OCCUR ON SITE, AS APPLICABLE. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO WATERPROOFING AT NO COST TO OWNER.
- ALL ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON "AS-BUILT DRAWINGS," AS SPECIFIED.

LAYOUT NOTES:

- DIMENSIONS AS NOTED ARE TAKEN PERPENDICULAR TO FACE OF BUILDING OR WALL, BACK OF CURB, OR OTHER FIXED SITE IMPROVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED. DIMENSIONS TO CENTERLINES ARE AS INDICATED. WHERE DIMENSIONS ARE INDICATED AS "EQUAL", REFERENCED ITEMS SHALL BE SPACED EQUALLY, AS MEASURED TO THEIR RESPECTIVE CENTERLINES. INSTALL INTERSECTING ELEMENTS AT 90-DEGREES TO EACH OTHER UNLESS OTHERWISE NOTED. ALL LINES OF PAVING AND/OR FENCING SHALL BE PARALLEL UNLESS OTHERWISE NOTED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON THE DRAWINGS. DIMENSIONS TAKEN TO CENTERLINE OF BUILDING COLUMN SHALL MEAN THE FIRST ROW OF COLUMNS CLOSEST TO THE FACE OF THE BUILDING. SEE CIVIL SURVEY DRAWINGS FOR CORRESPONDING COLUMN LINES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. WHERE INDICATED, NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS; DO NOT SCALE FROM REDUCED DRAWINGS.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL SITE FURNISHINGS, LIGHT POLE FOOTINGS, AND PLANTERS IN THE FIELD WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR SHALL STAKE ALL PATHS AND SIDEWALKS IN THE FIELD FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ANY ROADWAY DIMENSIONS AND CENTERLINE SHOWN WITHIN LANDSCAPE DRAWINGS ARE FOR LAYOUT COORDINATION ONLY, VERIFY ROADWAY LAYOUT INFORMATION WITH CIVIL ENGINEER'S DRAWINGS PRIOR TO INSTALLATION.
- HOLD TOP ELEVATIONS OF WALLS, FENCES, ETC. LEVEL UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE FIELD-CONSTRUCTED MOCKUP SAMPLES FOR EACH PAVING TYPE AND WALL TYPE AS INDICATED ON THE DRAWINGS FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR EACH RESPECTIVE FIELD-CONSTRUCTED MOCKUP SAMPLE.

MATERIAL NOTES:

- STORAGE AREAS FOR THE GENERAL CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AND /OR CONSTRUCTION STAGING AREA AND SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL REVIEW IRRIGATION PLANS FOR SLEEVE LOCATIONS TO BE SET UNDER PAVING AND OTHER LOCATIONS PRIOR TO CONSTRUCTION OF PAVING.
- WHERE SLEEVING UNDER PAVING IS REQUIRED FOR SITE LIGHTS AND/OR UTILITIES, REFER TO RELEVANT CIVIL AND UTILITY DRAWINGS. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZING OF SLEEVES WITH THE PROJECT ENGINEER PRIOR TO INSTALLATION.
- PROVIDE EXPANSION JOINTS AT ALL CURBS, WALLS, STEPS, LIGHT POLE BASES, PULL BOXES, MANHOLES, TRAFFIC CONTROLLER BOXES AND AS SHOWN ON PLAN.
- CONCRETE SLABS AND RAMP OR STEP FOOTINGS SHALL BE DOWELED INTO ABUTTING WALLS, FOUNDATIONS, AND FOOTINGS USING SLEEVED SMOOTH REINFORCEMENT BARS OF THE SAME SIZE AND SPACING UNLESS OTHERWISE NOTED.

PLANTING NOTES:

- THE LOCATION OF ALL TREES SHALL BE STAKED AND VERIFIED IN THE FIELD WITH THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. DUE TO THE PREVALENCE OF SUB-SURFACE UTILITIES TREE LOCATIONS MAY SHIFT. NO TREE SHALL BE PLANTED WITHOUT THE EXPLICIT APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED WITHIN THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANSI Z-601).
- ALL PLANTS SHALL BE CONTAINER GROWN OR BALLED & BURLAP UNLESS OTHERWISE NOTED ON PLANT SCHEDULE.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR THE PROVISION OF SUFFICIENT PLANT QUANTITIES TO MEET THE SPECIFIED PLANT SPACING REQUIREMENTS FOR EACH PLANT BED SHOWN IN THE PLANS.
- ALL NEW TREES AND SPECIMEN SHRUBS SHALL BE TAGGED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO PREVIOUS GRADE. SEE TREE PLANTING DETAIL.
- STAKE LOCATION OF ALL PROPOSED TREES, PLANTS, & METAL BED EDGES FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING.
- ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED, PRUNED AND FERTILIZED PER THE SPECIFICATIONS.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION OPERATIONS INSIDE & OUTSIDE THE LIMIT-OF-WORK SHALL RECEIVE FOUR INCHES OF TOPSOIL AND SOD AS SPECIFIED.
- ALL PLANT BEDS ARE TO RECEIVE HARDWOOD BARK MULCH AS SPECIFIED.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, AND ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- PREPARE ALL PLANT BEDS WITH PLANTING SOIL TO A MINIMUM DEPTH MATCHING THE DETAILS SHOWN HEREIN. PLANTING SOIL SHALL BE CONTINUOUS THROUGHOUT ENTIRE PLANT BED.

IRRIGATION NOTES:

- IRRIGATION CONTROLLER: RAIN BIRD MODEL ESP-LXD
- SYSTEM WIRING: 2-WIRE TECHNOLOGY WITH ALL VALVES, SOLENOIDS, AND DECODERS COMPATIBLE WITH THE RAIN BIRD ESP-LXD CONTROLLER
- WIRE METER: A SEPARATE WATER METER MEETING KNOXVILLE UTILITY BOARD SMART METER REQUIREMENTS
- MAINLINE AND LATERAL WATER LINES: SCHEDULE 40 PVC PIPE. CLASS 200 PVC PIPE IS NOT ACCEPTABLE. IN AREAS WHERE TRADITIONAL SLEEVING IS NOT FEASIBLE AND PIPING IS PLACED UNDER PAVED AREAS TO SERVE AS A MAIN OR LATERAL WATER LINE, SCHEDULE 80 PVC PIPE SHALL BE USED
- FLOW SENSING DEVICE: INSTALLED DOWNSTREAM FROM BACKFLOW DEVICE AND UPSTREAM FROM NEAREST ZONE VALVE OR SYSTEM LOOP. THE FLOW SENSOR IS TO BE COMPATIBLE WITH SYSTEM CONTROLLER
- MAINLINE ISOLATION BALL VALVES: BALL VALVE OF LINE SIZE INSTALLED AT LEAST EVERY 200 FEET FOR SYSTEMS WITH A MAINLINE OF 500 FEET OR GREATER. BASED ON MAINLINE COMPLEXITY, CONSIDERATION SHALL BE GIVEN TO SYSTEMS LESS THAN 500 FEET IN LENGTH
- ZONE ISOLATION BALL VALVES: BALL VALVE OF LINE SIZE INSTALLED UP STREAM OF EACH SOLENOID ZONE VALVE
- QUICK COUPLING VALVES: INSTALLED EVERY 150-200 LINEAR FEET ALONG THE SYSTEM MAINLINE. ALL QUICK COUPLING VALVES ARE TO BE OF BRASS CONSTRUCTION WITH RUBBER COVER AND ENCLOSED IN A 10" ROUND VALVE BOX WITH LOCKABLE COVER. SECURE QUICK COUPLER BY MOUNTING ON A 1" LASCO BRASS INSERT SNAP-LOCK SWING JOINT WITH STABILIZER ELBOW. PROVIDE A MATCHING VALVE KEY AND SWIVEL ADAPTER PER LOCATION. THE QUICK COUPLER IS TO BE SET AT SUCH HEIGHT THAT THE VALVE BOX WILL NOT INTERFERE WITH THE OPERATION OF THE VALVE KEY.

LAYOUT LEGEND

	LIMIT OF WORK
	PROPERTY LINE
	CENTERLINE (CL)
	ALIGN

MATERIALS LEGEND

	LIMIT OF WORK	
	EXPANSION JOINT	2a (12.0)
	CONC. PAVEMENT	1 (12.0)
	CURB	SEE CIVIL DWG
	SEAT WALL	SEE CIVIL DWG
	SPECIALTY CONCRETE PAVEMENT	7 (12.0)
	UNIT PAVERS	4 (12.0)
	CONC. STEPS & HANDRAILS	1 (12.1) 2 (12.1)
	BOLLARDS	2 (12.2)
	PLANTER	5 (12.1)
	BIKE RACKS	1 (12.2)
	BENCHES	3 (12.2)
	LITTER & RECYCLING RECEPTACLE	4 (12.2)

PLANTING LEGEND

	LIMIT OF WORK		
	DECIDUOUS TREE	2 (12.3)	
	COLUMNAR DECIDUOUS TREE	2 (12.3)	
	ORNAMENTAL TREE	2 (12.3)	
	EVERGREEN TREE	2 (12.3)	
	SHRUBS	5 (12.3)	
	GROUNDCOVER/ PERENNIALS, TYP.	6 (12.3)	
	SODDED LAWN	7 (12.3)	8 (12.3)
	METAL BED EDGE	1 (12.4)	
	STRUCTURAL CELLS	5 (12.4)	

ABBREVIATIONS:

ADJ.	ADJACENT (LAYOUT)
ALIGN	ALIGN
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
CIP or C.I.P.	CAST-IN-PLACE (CONCRETE)
CIVIL or C.E.	CIVIL ENGINEER
CL	CENTERLINE (LAYOUT)
CONC.	CONCRETE
DIA.	DIAMETER (LAYOUT)
ELEV.	ELEVATION
EJ	EXPANSION JOINT (CONCRETE)
EQ.	EQUAL (LAYOUT)
FG or F.G.	FINISHED GRADE (PLANTING)
FS or F.S.	FINISHED SURFACE (PAVING)
HP or H.F.	HIGH POINT (GRADIENT)
LA or L.A.	LANDSCAPE ARCHITECT
LOW or L.O.W.	LIMIT OF WORK
LP	LOW POINT (GRADIENT)
MAX.	MAXIMUM
MIN.	MINIMUM
NIC or N.I.C.	NOT IN CONTRACT
NTS or N.T.S.	NOT TO SCALE
OC or O.C.	ON-CENTER (LAYOUT)
OD or O.D.	OUTSIDE DIAMETER (LAYOUT)
PA or P.A.	PLANTING AREA
PERF.	PERFORATED
POB or P.O.B.	POINT OF BEGINNING (LAYOUT)
PL	PROPERTY LINE
R	RADIUS (LAYOUT)
REF.	REFERENCE OR REFER TO
REINF.	REINFORCEMENT
S.E.	STRUCTURAL ENGINEER
SPECS	CONTRACT SPECIFICATIONS
S/S	STAINLESS STEEL
TBD	TO BE DETERMINED
TC	TOP OF CURB (ELEVATION)
TG	TOP OF GRATE (ELEVATION)
TS	TOP OF STEP (ELEVATION)
TOSS	TOP OF STRUCTURAL SLAB
TW	TOP OF WALL (ELEVATION)
TYP.	TYPICAL
W/ or W.	WITH



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NOTES AND LEGENDS

Revision #	Description	Date
1	CON Comment	03/02/20

DATE: 01/28/2022
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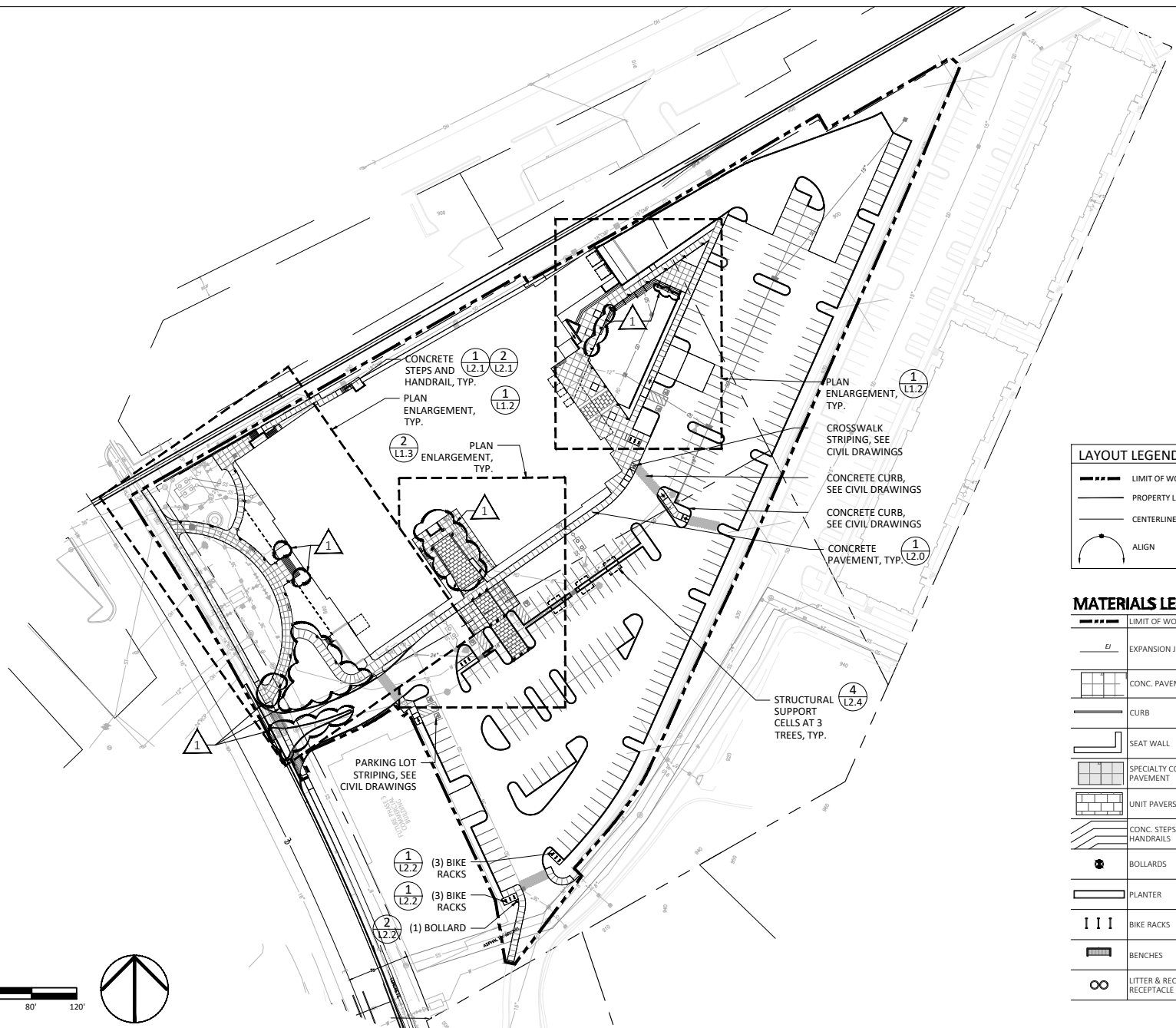
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LAYOUT
AND
MATERIALS
PLAN

REVISIONS
Revision # Description Date
#1 COK Comment 01/02/20.

DATE: 01/28/2022
PROJECT NO:

L1.0



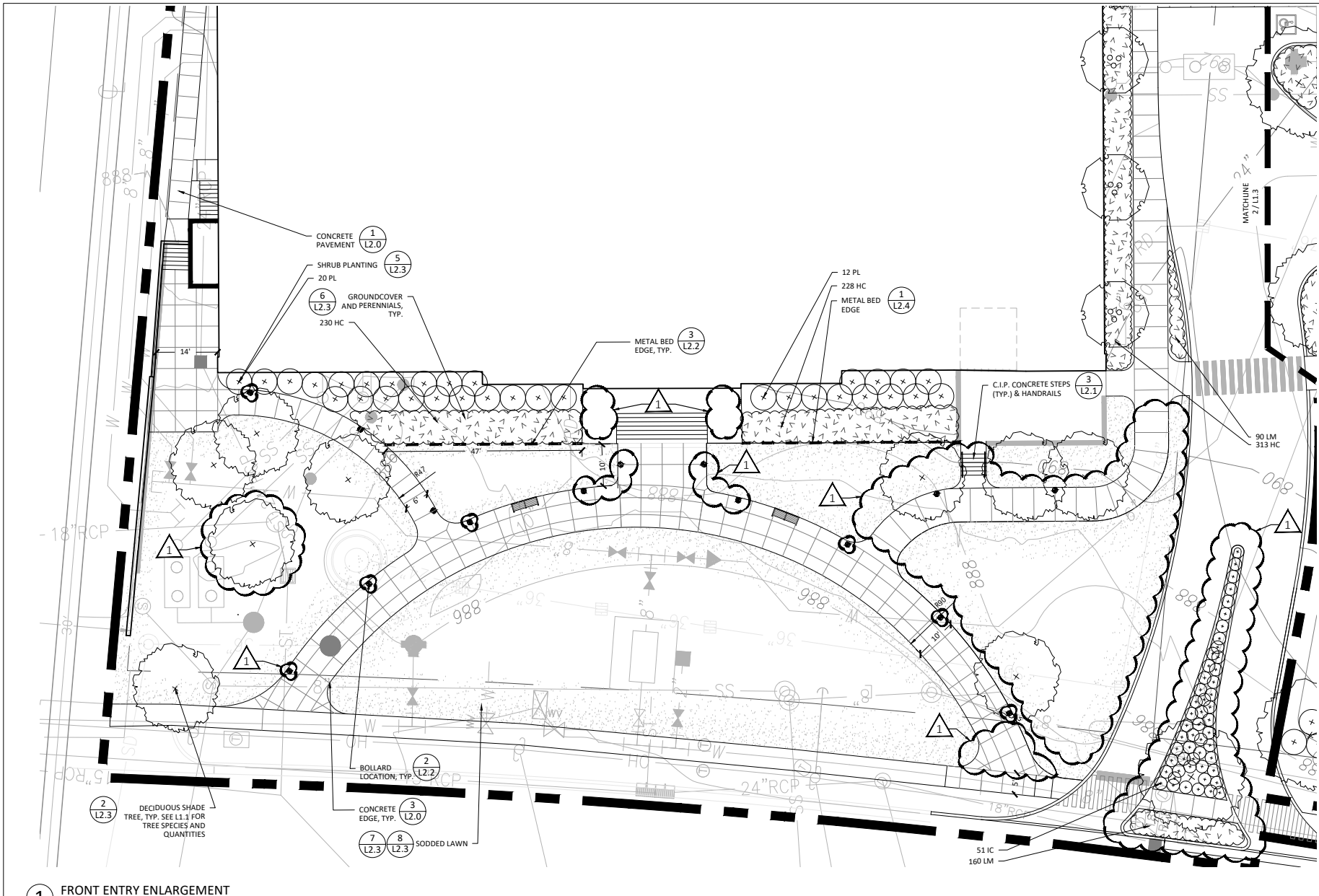
LAYOUT LEGEND

	LIMIT OF WORK
	PROPERTY LINE
	CENTERLINE (CL)
	ALIGN

MATERIALS LEGEND

	LIMIT OF WORK	(29) (L2.0)
	EXPANSION JOINT	(29) (L2.0)
	CONC. PAVEMENT	(1) (L2.0)
	CURB	SEE CIVIL DWG
	SEAT WALL	SEE CIVIL DWG
	SPECIALTY CONCRETE PAVEMENT	(1) (L2.0)
	UNIT PAVERS	(4) (L2.0)
	CONC. STEPS & HANDRAILS	(1) (L2.1) (2) (L2.1)
	BOLLARDS	(2) (L2.2)
	PLANTER	(5) (L2.1)
	BIKE RACKS	(1) (L2.2)
	BENCHES	(3) (L2.2)
	LITTER & RECYCLING RECEPTACLE	(4) (L2.2)





1 FRONT ENTRY ENLARGEMENT
1"=10'



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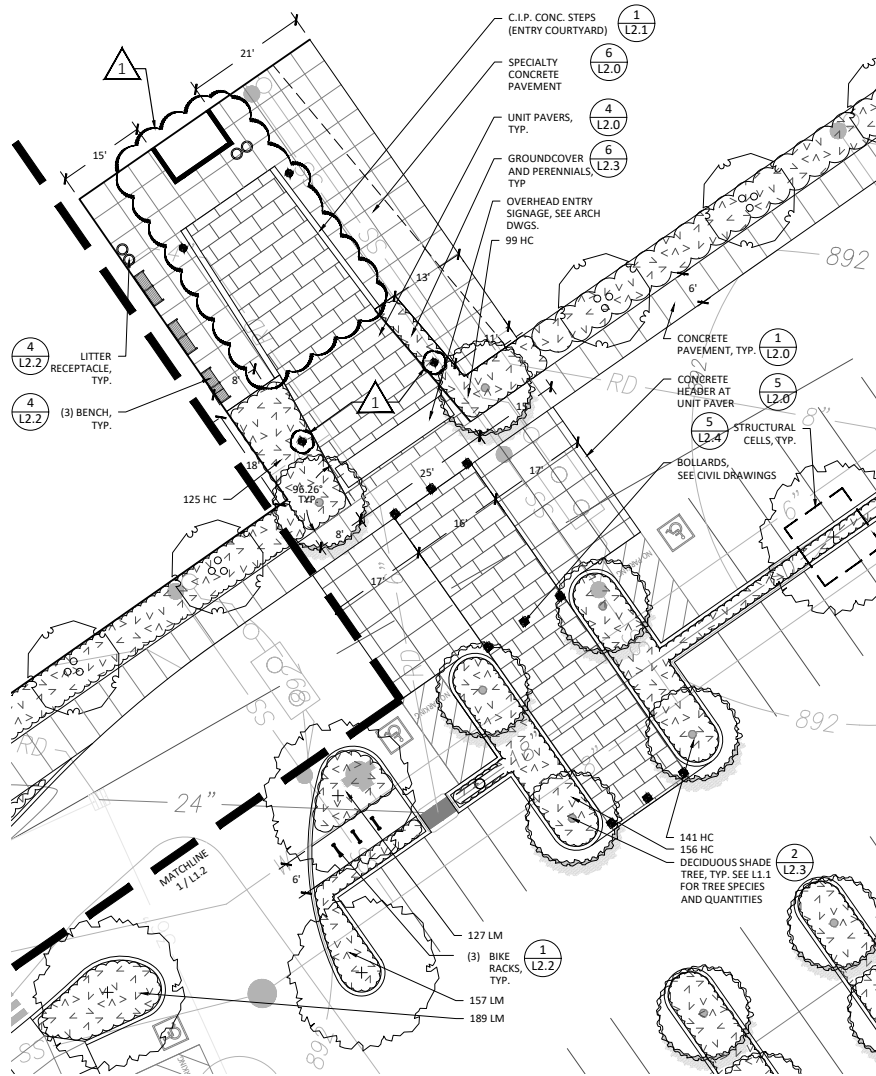
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PLAN
ENLARGEMENT

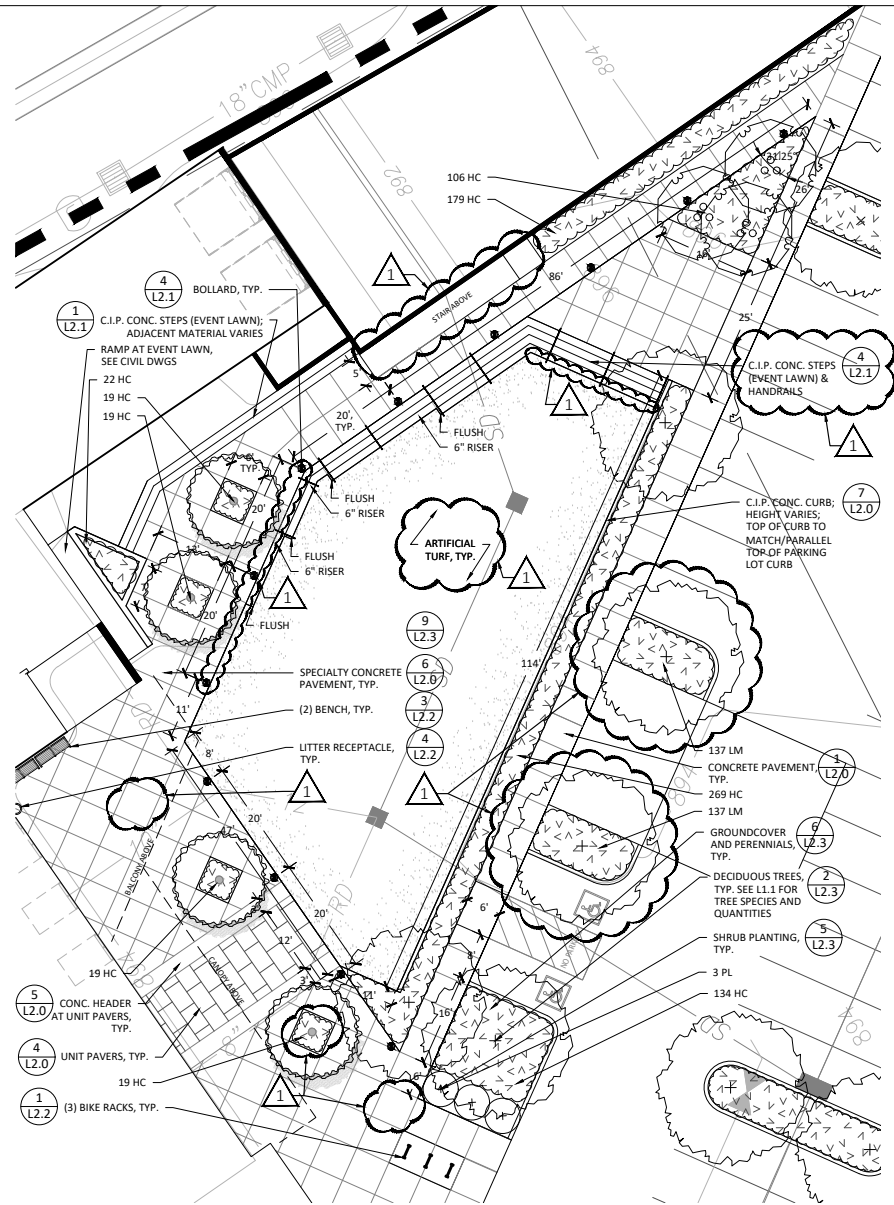
REVISIONS		
Revision #	Description	Date
01	COK Comment	03/02/20

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2 ENTRY COURTYARD ENLARGEMENT
1"=10'



1 EVENT LAWN ENLARGEMENT
1"=10'



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PLAN
ENLARGEMENT

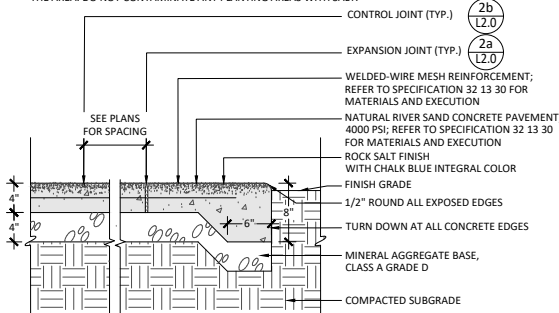
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Revision #	Description	Date
1	COK Comment	01/02/20

DATE: 01/28/2022
PROJECT NO:

L1.3

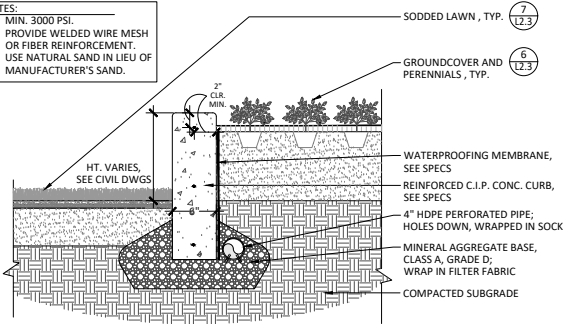
CONCRETE NOTES:

- SPECIALTY CONCRETE SAND SHALL BE FILTERED, TAN, NATURAL RIVER SAND CONFORMING TO ASTM C33.
- SPECIALTY CONCRETE SHALL HAVE A ROCK SALT FINISH. USE ONLY ROCK SALT BETWEEN 3/8" & 1/2" EVAPORATION RETARDER IS ALLOWED IF NEEDED. IN CONC. PLASTIC STAGE DISPERSE ROCK SALT EVENLY OVER CONCRETE AT A RATE OF 10 LBS. PER 150 SF. CAREFULLY FLOAT THE ROCK SALT TO DEPRESS IT INTO CONCRETE. AVOID COVERING ROCK SALT. AFTER SEVEN TO TEN DAYS, THOROUGHLY WASH ANY REMAINING SALT FROM THE AREA. DO NOT CONTAMINATE ANY PLANTING AREAS WITH SALT.



6 SPECIALTY CONCRETE PAVEMENT
N.T.S.

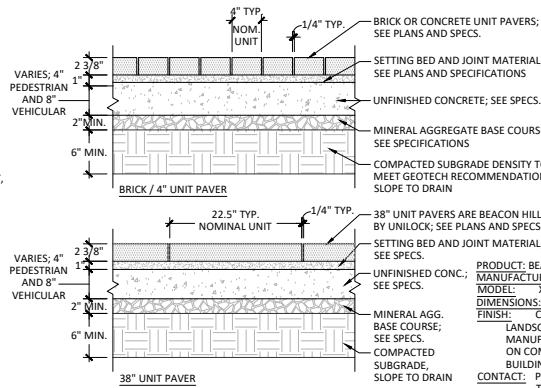
- NOTES:**
- MIN. 3000 PSI.
 - PROVIDE WELDED WIRE MESH OR FIBER REINFORCEMENT.
 - USE NATURAL SAND IN LIEU OF MANUFACTURER'S SAND.



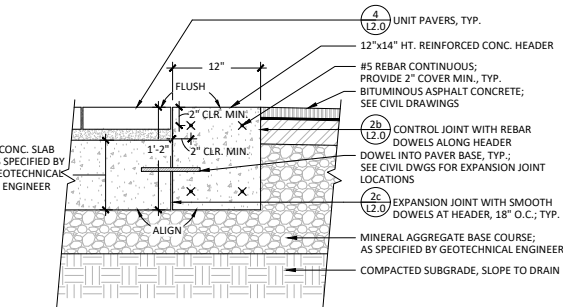
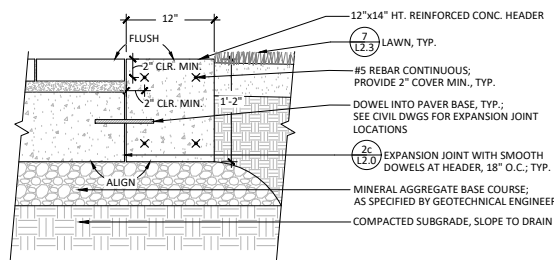
7 C.I.P. CONCRETE CURB
N.T.S.

PAVER NOTES:

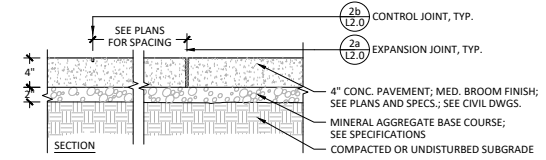
- COLOR AND FINISH TO BE DETERMINED. LANDSCAPE ARCHITECT SHALL SELECT COLOR AND FINISH FROM THE MANUFACTURER'S STANDARD OPTIONS BASED ON COMPLEMENTARY AESTHETICS WITH BUILDING AND SITE.



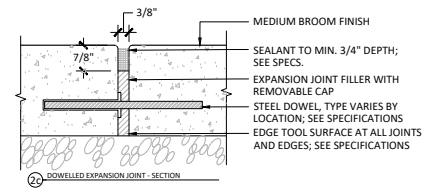
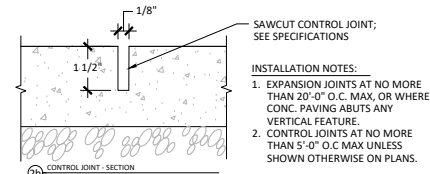
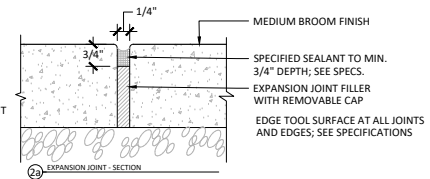
4 UNIT PAVERS
N.T.S.



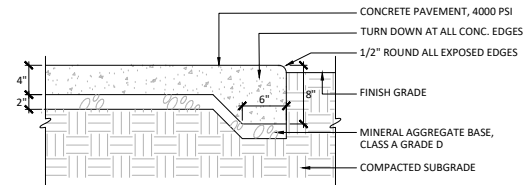
5 CONCRETE HEADER AT UNIT PAVES
N.T.S.



1 CONCRETE PAVEMENT
N.T.S.



2 CONCRETE JOINTS
N.T.S.



3 CONCRETE EDGE
N.T.S.



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A NEW RETAIL DESTINATION FOR:
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SITE DETAILS

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Revision #	Description	Date
1	COI Comment	03/02/2020

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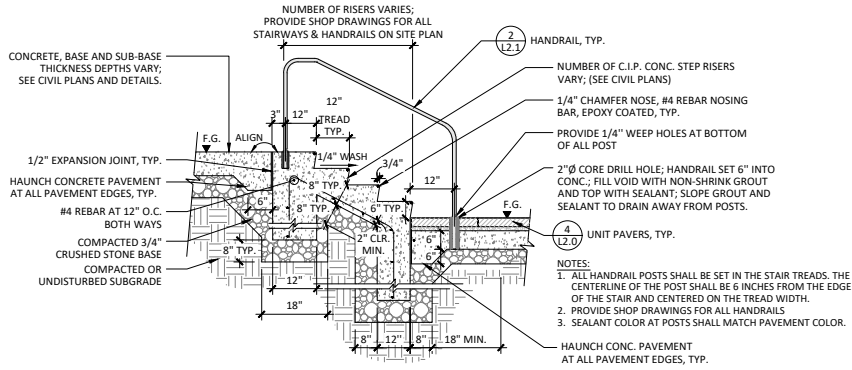
A NEW RETAIL DESTINATION FOR:
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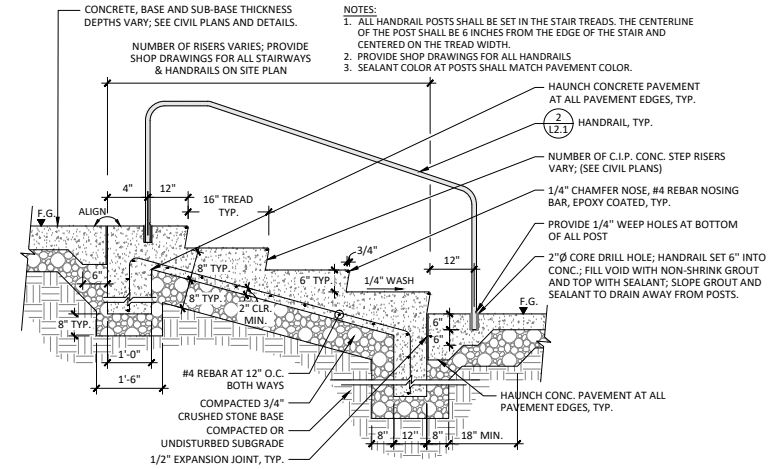
Revision #	Description	Date
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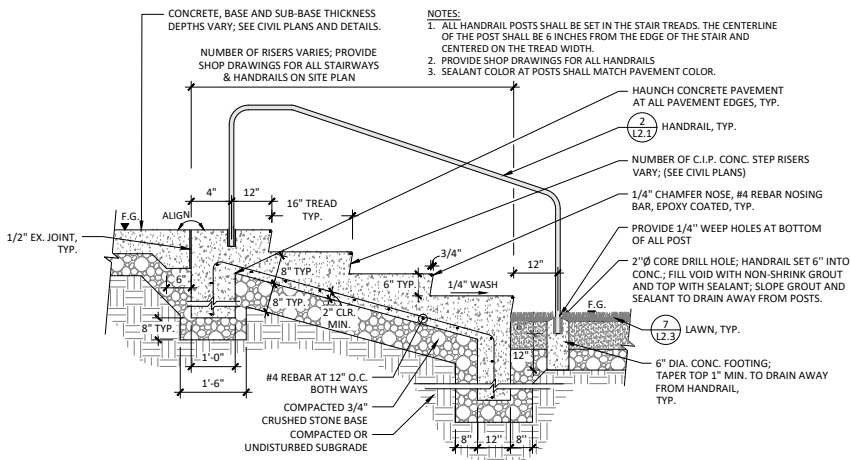
L2.1



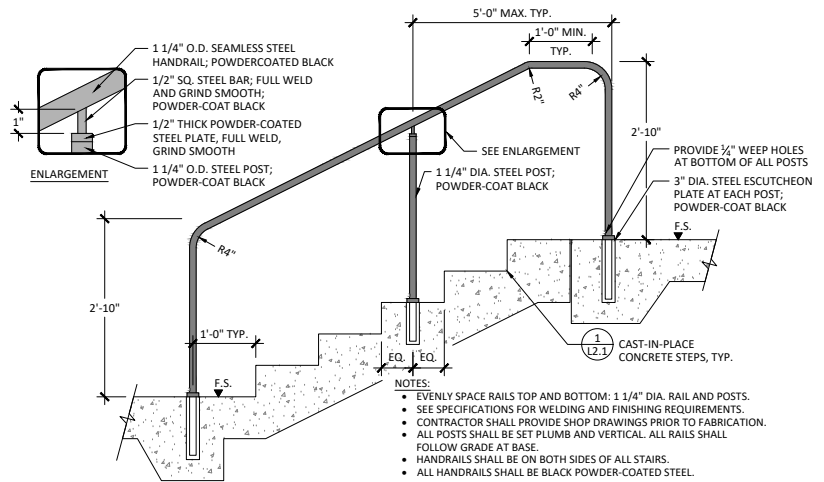
3 C.I.P. CONCRETE STEPS (TYP.)
N.T.S.



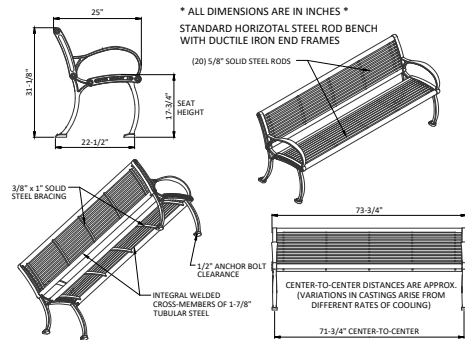
1 C.I.P. CONCRETE STEPS (ENTRY COURTYARD)
N.T.S.



4 C.I.P. CONCRETE STEPS (EVENT LAWN)
N.T.S.



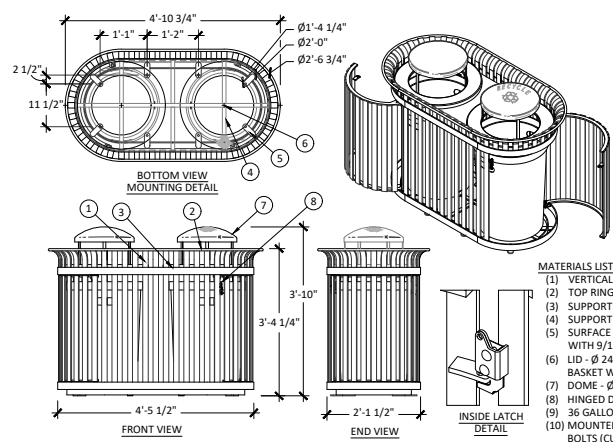
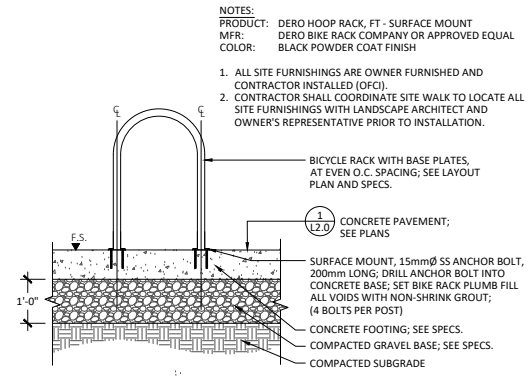
2 HANDRAIL
N.T.S.



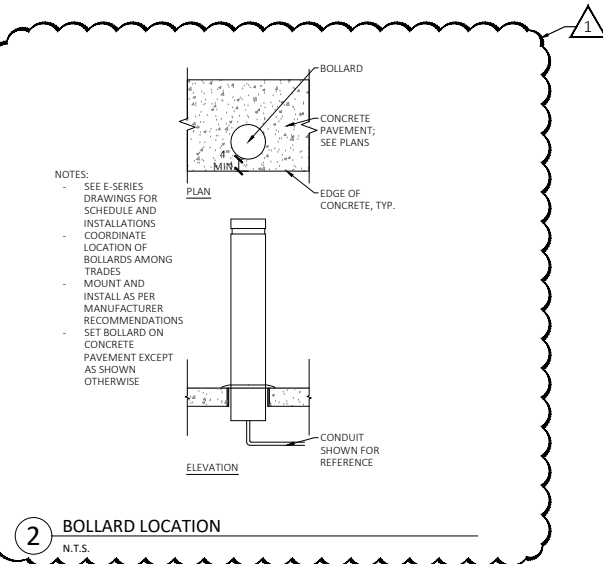
- AVAILABLE OPTIONS:**
- POWDER COATING
 - 12 STANDARD COLORS & CUSTOM COLORS (INCLUDING THE RAL RANGE)
 - INTERMEDIATE & CENTER ARMRESTS
 - 4', 6', & 8' OPTIONAL ARMRESTS
- LENGTHS:**
- 4-FOOT STANDARD
 - 6-FOOT STANDARD (LENGTH SHOWN)
 - 8-FOOT STANDARD
- NOTES:**
- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 - ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 - IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 - ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
 - FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
 - ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 - THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED.

3 BENCH
N.T.S.

1 BIKE RACK
N.T.S.



4 LITTER RECEPTACLE
N.T.S.



2 BOLLARD LOCATION
N.T.S.



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SITE DETAILS

REVISIONS

Revision #	Description	Date
01	COI Comment	03/02/20

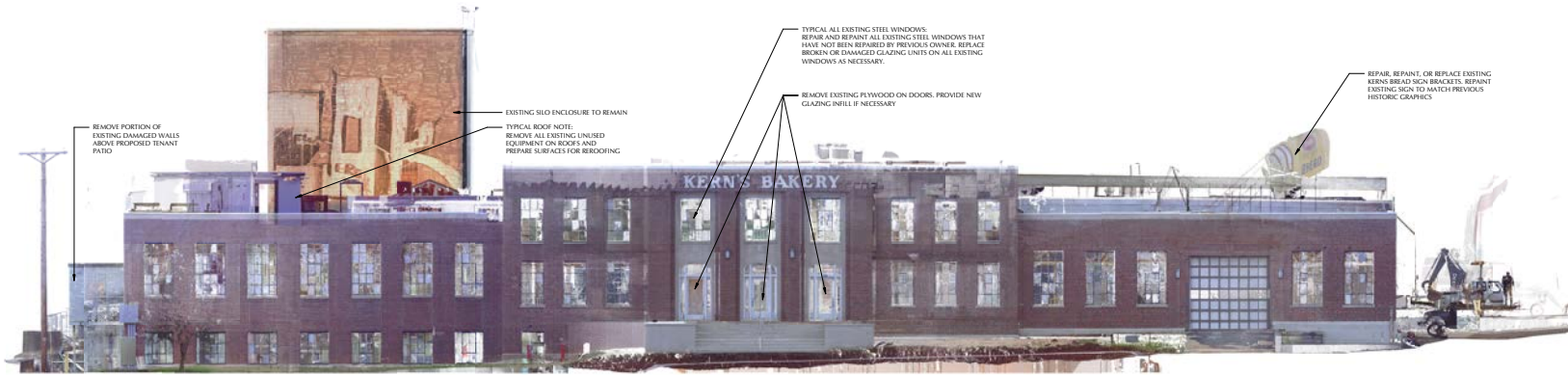
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L2.2

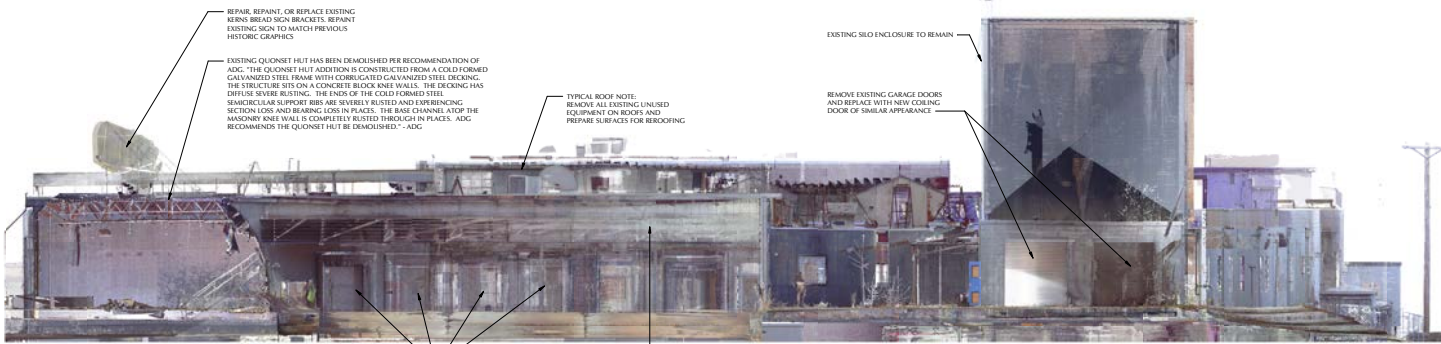


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1 WEST BUILDING ELEVATION - EXISTING
AD3.1 1/8" = 1'-0"



2 EAST BUILDING ELEVATION - EXISTING
AD3.1 1/8" = 1'-0"

A New Retail Destination For:
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BUILDING
ELEVATIONS -
EXISTING

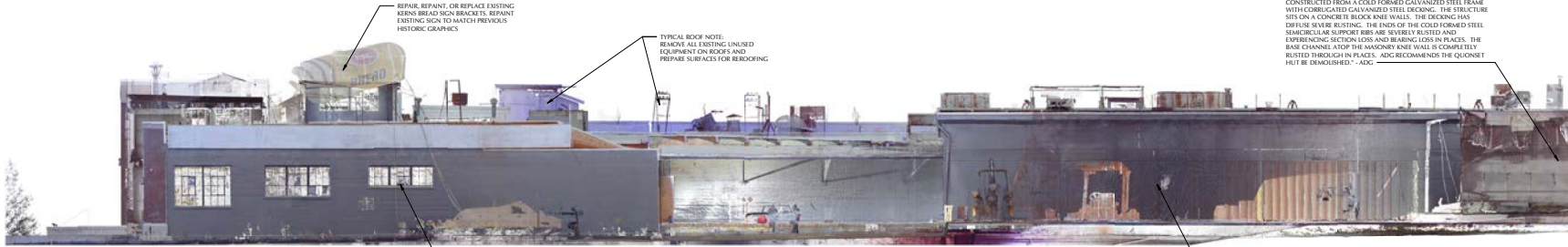
REVISIONS

Revision # Description Date

DATE: 1/28/2022

PROJECT NO: 193001

AD3.1



PARTIAL SOUTH BUILDING ELEVATION - EXISTING
 1
 AD3.2 1/8" = 1'-0"

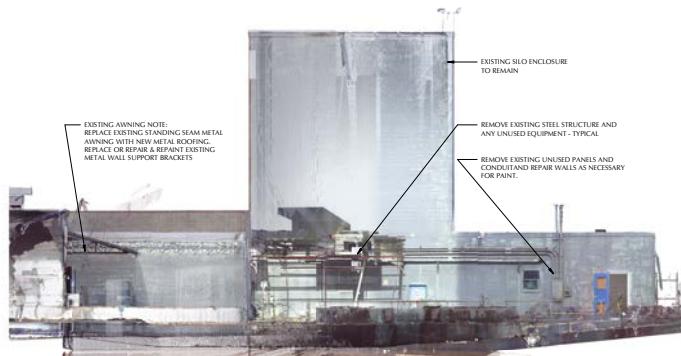
REPAIR, REPAINT, OR REPLACE EXISTING KERN'S BREAD SIGN BRACKETS. REPAINT EXISTING SIGN TO MATCH PREVIOUS HISTORIC GRAPHICS

TYPICAL ROOF NOTE: REMOVE ALL EXISTING UNUSED EQUIPMENT ON ROOFS AND PREPARE SURFACES FOR RE-ROOFING

EXISTING QUONSET HUT HAS BEEN DEMOLISHED PER RECOMMENDATION OF ADG. THE QUONSET HUT ADDITION IS CONSTRUCTED FROM A COLD FORMED GALVANIZED STEEL FRAME WITH CORRUGATED GALVANIZED STEEL DECKING. THE STRUCTURE SITS ON A CONCRETE BLOCK ONE WALLS. THE DECKING HAS DIFFUSE SEVERE RUSTING. THE ENDS OF THE COLD FORMED STEEL SEMICIRCULAR SUPPORT RIBS ARE SEVERELY RUSTED AND EXPERIENCING SECTION LOSS AND BEARING LOSS IN PLACES. THE BASE CHANNEL AT THE WAGONWAY ONE WALL IS COMPLETELY RUSTED THROUGH IN PLACES. ADG RECOMMENDS THE QUONSET HUT BE DEMOLISHED. -ADG

TYPICAL ALL EXISTING STEEL WINDOWS: REPAIR AND REPAINT ALL EXISTING STEEL WINDOWS THAT HAVE NOT BEEN REPAIRED BY PREVIOUS OWNER. REPLACE BROKEN OR DAMAGED GLAZING UNITS ON ALL EXISTING WINDOWS AS NECESSARY.

REMOVE ALL EXISTING PT WOOD TEMPORARY WALLS



PARTIAL SOUTH BUILDING ELEVATION - EXISTING
 2
 AD3.2 1/8" = 1'-0"

EXISTING AWNING NOTE: REPLACE EXISTING STANDING SEAM METAL AWNING WITH NEW METAL ROOFING. REPLACE OR REPAIR & REPAINT EXISTING METAL WALL SUPPORT BRACKETS

EXISTING SILO ENCLOSURE TO REMAIN

REMOVE EXISTING STEEL STRUCTURE AND ANY UNUSED EQUIPMENT - TYPICAL
 REMOVE EXISTING UNUSED PANELS AND CONSOLIDATE REPAIR WALLS AS NECESSARY FOR PAINT.

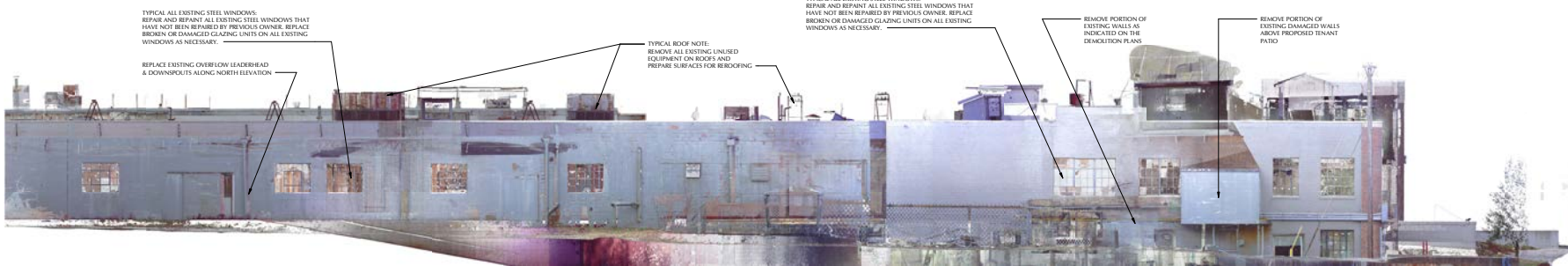


PARTIAL NORTH BUILDING ELEVATION - EXISTING
 3
 AD3.2 1/8" = 1'-0"

EXISTING SILO ENCLOSURE TO REMAIN. PROVIDE NEW GUTTER AND DOWNSPOUT IN EXISTING LOCATIONS

TYPICAL ALL EXISTING STEEL WINDOWS: REPAIR AND REPAINT ALL EXISTING STEEL WINDOWS THAT HAVE NOT BEEN REPAIRED BY PREVIOUS OWNER. REPLACE BROKEN OR DAMAGED GLAZING UNITS ON ALL EXISTING WINDOWS AS NECESSARY.

TYPICAL ROOF NOTE: REMOVE ALL EXISTING UNUSED EQUIPMENT ON ROOFS AND PREPARE SURFACES FOR RE-ROOFING



PARTIAL NORTH BUILDING ELEVATION - EXISTING
 4
 AD3.2 1/8" = 1'-0"

TYPICAL ALL EXISTING STEEL WINDOWS: REPAIR AND REPAINT ALL EXISTING STEEL WINDOWS THAT HAVE NOT BEEN REPAIRED BY PREVIOUS OWNER. REPLACE BROKEN OR DAMAGED GLAZING UNITS ON ALL EXISTING WINDOWS AS NECESSARY.

REPLACE EXISTING OVER LOW LEADERHEAD & DOWNSPOUTS ALONG NORTH ELEVATION

TYPICAL ROOF NOTE: REMOVE ALL EXISTING UNUSED EQUIPMENT ON ROOFS AND PREPARE SURFACES FOR RE-ROOFING

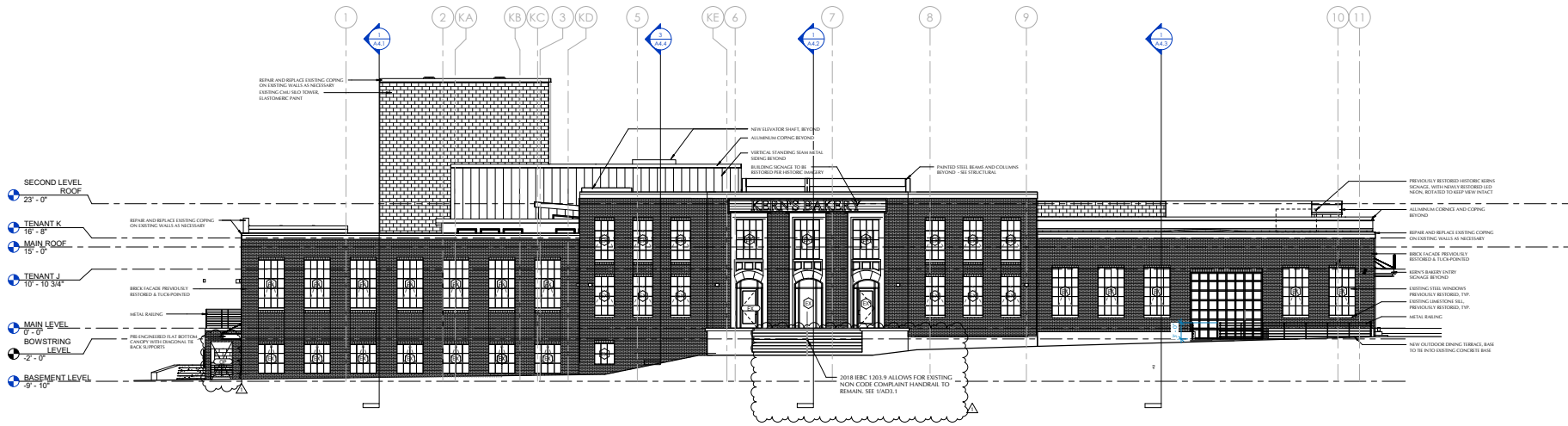
TYPICAL ALL EXISTING STEEL WINDOWS: REPAIR AND REPAINT ALL EXISTING STEEL WINDOWS THAT HAVE NOT BEEN REPAIRED BY PREVIOUS OWNER. REPLACE BROKEN OR DAMAGED GLAZING UNITS ON ALL EXISTING WINDOWS AS NECESSARY.

REMOVE PORTION OF EXISTING WALLS AS INDICATED ON THE DEMOLITION PLANS

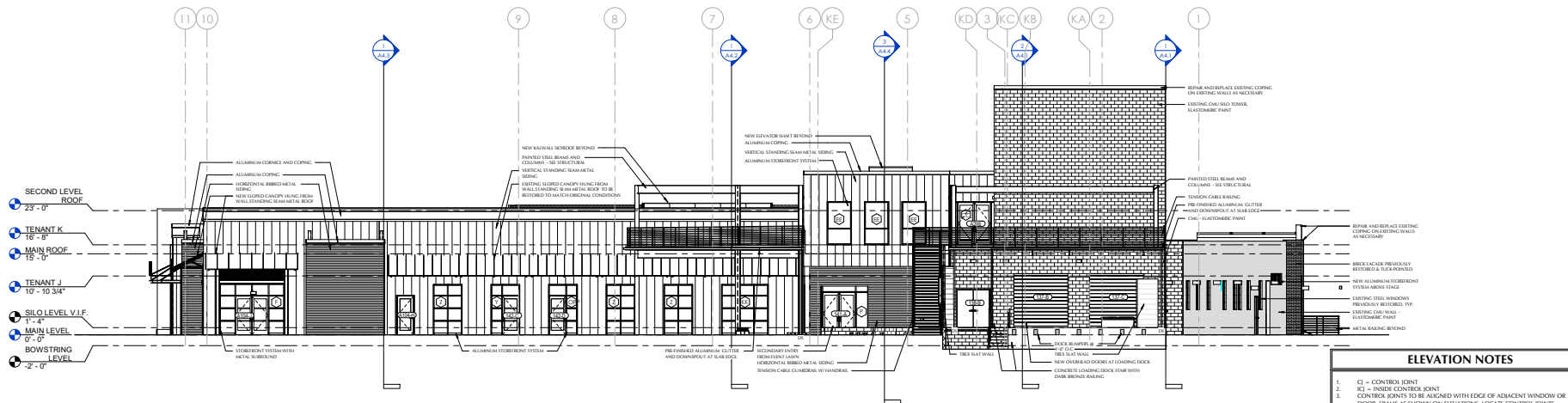
REMOVE PORTION OF EXISTING DAMAGED WALLS ABOVE PROPOSED TENANT PART



F.F.E. NOTE:
 FOR THE PURPOSE OF THESE DRAWINGS,
 EXISTING MAIN LEVEL FINISH FLOOR ELEVATION
 0'-0" SHALL CORRESPOND TO PFL 27 AS
 INDICATED ON THE CIVIL DOCUMENTS. FIELD
 VERIFICATION OF VARIATIONS OF EXISTING F.F.E.
 WILL NEED TO BE ACCESSED IN THE FIELD.



1 WEST BUILDING ELEVATION
 A3.1 1/8" = 1'-0"



2 EAST BUILDING ELEVATION
 A3.1 1/8" = 1'-0"

- ELEVATION NOTES**
1. CI = CONTROL JOINT
 2. ICI = INDEX CONTROL JOINT
 3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 25'-0" O.C. WHERE NOT SHOWN, COORDINATE LOCATIONS WITH ARCHITECT
 4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN. ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE
 5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
 6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR
 7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
 8. DIMENSIONS ARE TO FACE OF MASONRY. COMPOSITE METAL PANELS, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE
 9. PROVIDE MASONRY WITH DISMISABLE MATERIALS, TYP.
 10. RESTORE EXISTING STEEL WINDOWS TO MATCH CONDITIONS AS PREVIOUSLY RESTORED WINDOWS. REPLACE WINDOW PANS ON ALL STEEL WINDOWS AS REQUIRED.



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A New Retail Destination For:
KERNS BAKERY
 2110 Chapman Highway
 Knoxville, Tennessee 37920

BUILDING ELEVATIONS

REVISIONS

Revision #	Description	Date
1	COK Comments	3-2-22

DATE: 1/28/2022

PROJECT NO: 193001

A3.1

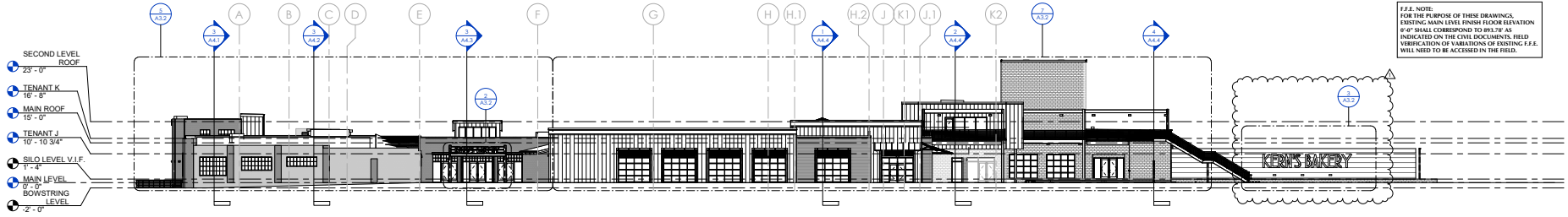


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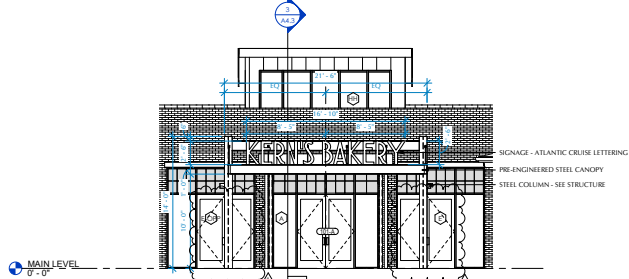
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jainc.com



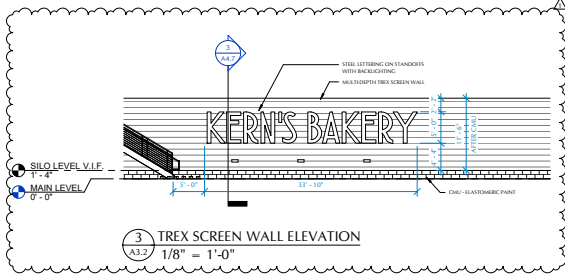
F.I.E. NOTE:
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EXISTING MAIN LEVEL FINISH FLOOR ELEVATION
@ 0'-0" SHALL CORRESPOND TO 0'-0" AS
INDICATED ON THE CIVIL DOCUMENTS. FIELD
VERIFICATION OF VARIATIONS OF EXISTING F.I.E.
WILL NEED TO BE ACCESSED IN THE FIELD.



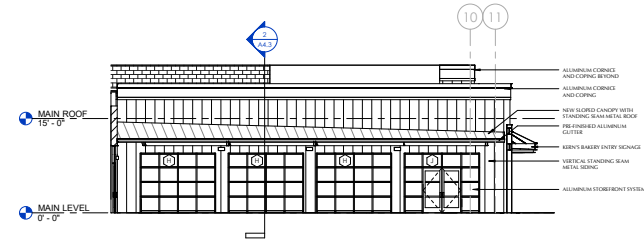
1 SOUTH BUILDING ELEVATION - OVERALL
A3.2 1/16" = 1'-0"



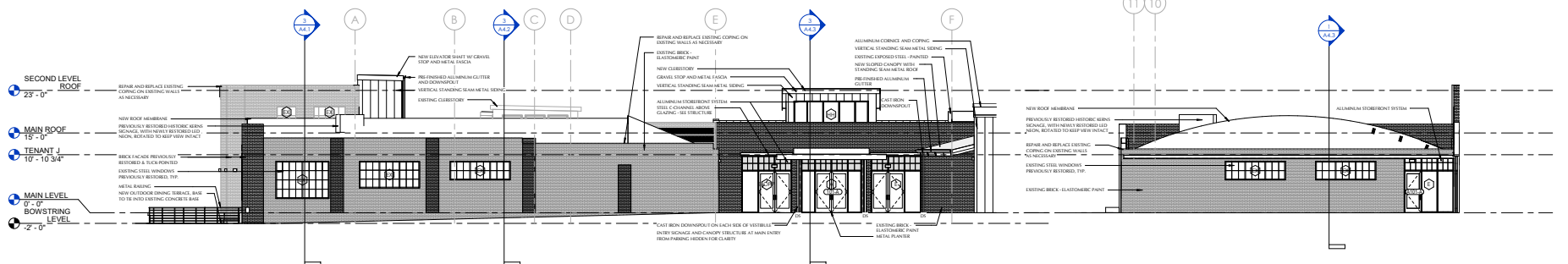
2 ENTRY SIGNAGE AND CANOPY ELEVATION
A3.2 3/16" = 1'-0"



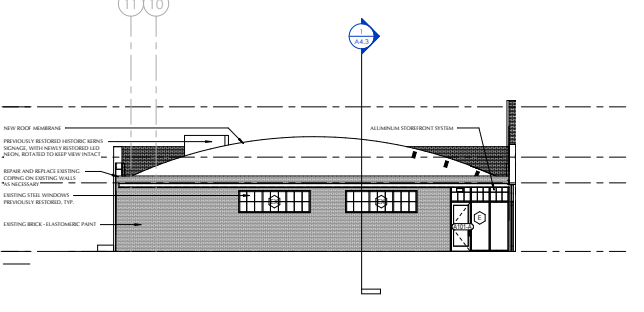
3 TREX SCREEN WALL ELEVATION
A3.2 1/8" = 1'-0"



4 EAST COURTYARD ELEVATION
A3.2 1/8" = 1'-0"

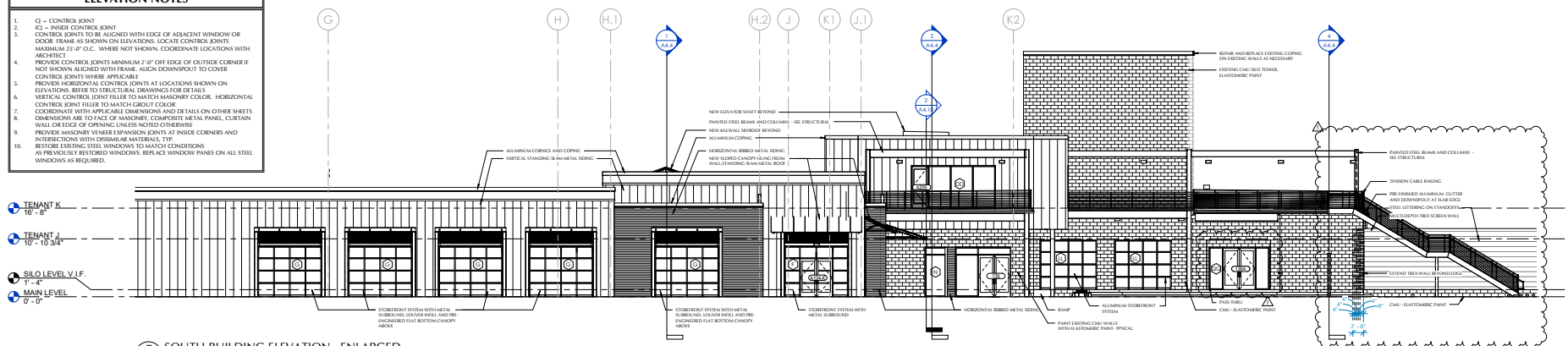


5 SOUTH BUILDING ELEVATION - ENLARGED
A3.2 1/8" = 1'-0"



6 WEST COURTYARD ELEVATION
A3.2 1/8" = 1'-0"

- ELEVATION NOTES**
1. CI = CONTROL JOINT
 2. ICJ = INSIDE CONTROL JOINT
 3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 2'-0" O.C. WHERE NOT SHOWN, COORDINATE LOCATIONS WITH ARCHITECT
 4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN ALLOWED WITH FRAME. ALLOW DOWNDRIFT TO COORDINATE CONTROL JOINTS WHERE APPLICABLE
 5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
 6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR
 7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS. DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF CURTAIN UNLESS NOTED OTHERWISE
 8. PROVIDE MAGNIFY VENER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DRINKING WATER LINES. TYP
 9. RESTORE EXISTING STEEL WINDOWS TO MATCH CONDITIONS AS PREVIOUSLY RESTORED WINDOWS. REPLACE WINDOW PANS ON ALL STEEL WINDOWS AS REQUIRED.



7 SOUTH BUILDING ELEVATION - ENLARGED
A3.2 1/8" = 1'-0"

A New Retail Destination For:
KERN'S BAKERY
2110 Chapman Highway
Knoxville, Tennessee 37920

BUILDING ELEVATIONS

REVISIONS

Revision #	Description	Date
1	COK Comments	5-2-22

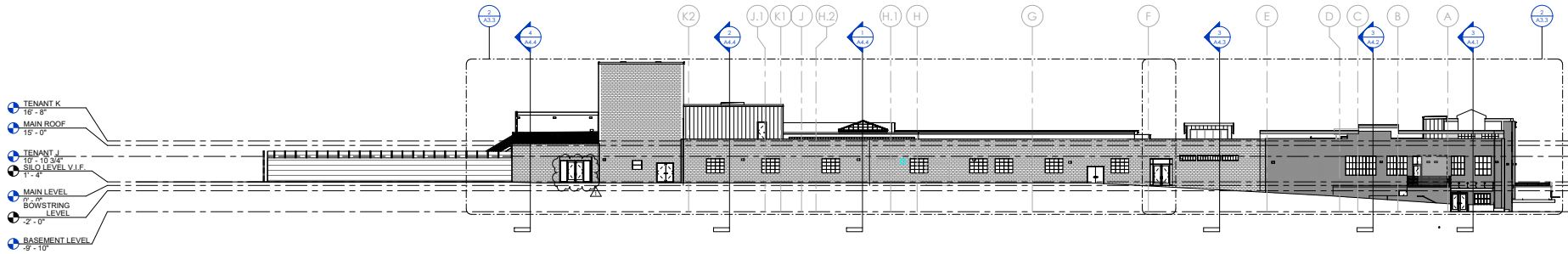
DATE: 1/28/2022
PROJECT NO: 193001

A3.2

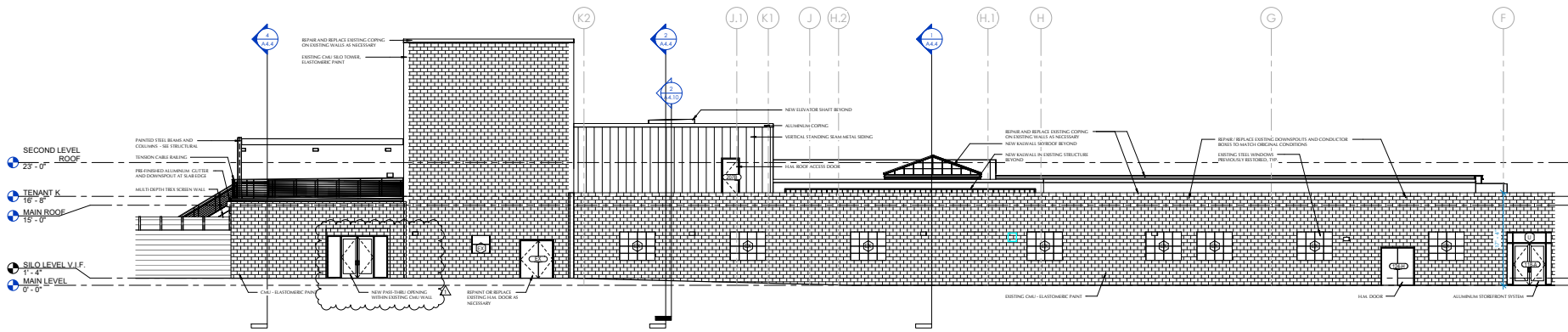


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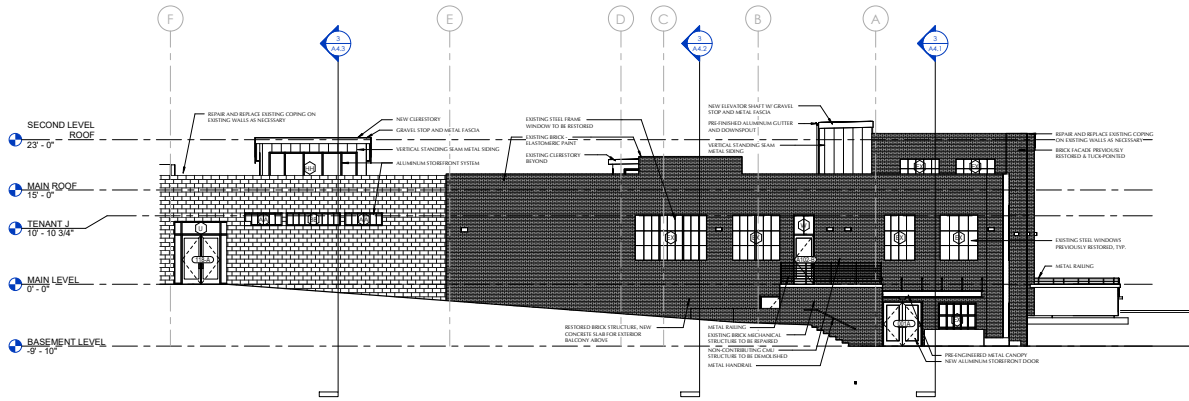
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Knoxville, Tennessee 37919
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ja-inc.com



1 NORTH BUILDING ELEVATION - OVERALL
1/16" = 1'-0"



2 NORTH BUILDING ELEVATION - ENLARGED
1/8" = 1'-0"



3 NORTH BUILDING ELEVATION - ENLARGED
1/8" = 1'-0"

A New Retail Destination For:
KERNS BAKERY
2110 Chapman Highway
Knoxville, Tennessee 37920

BUILDING ELEVATIONS

REVISIONS

Revision #	Description	Date
1	COK Comments	3-2-22

F.E.E. NOTE:
FOR THE PURPOSE OF THESE DRAWINGS,
EXISTING MAIN LEVEL FINISH FLOOR ELEVATION
@ 0' 0" SHALL CORRESPOND TO 99.77' AS
INDICATED ON THE CIVIL DOCUMENTS. FIELD
VERIFICATION OF VARIATIONS OF EXISTING F.E.E.
WILL NEED TO BE ACCESSED IN THE FIELD.

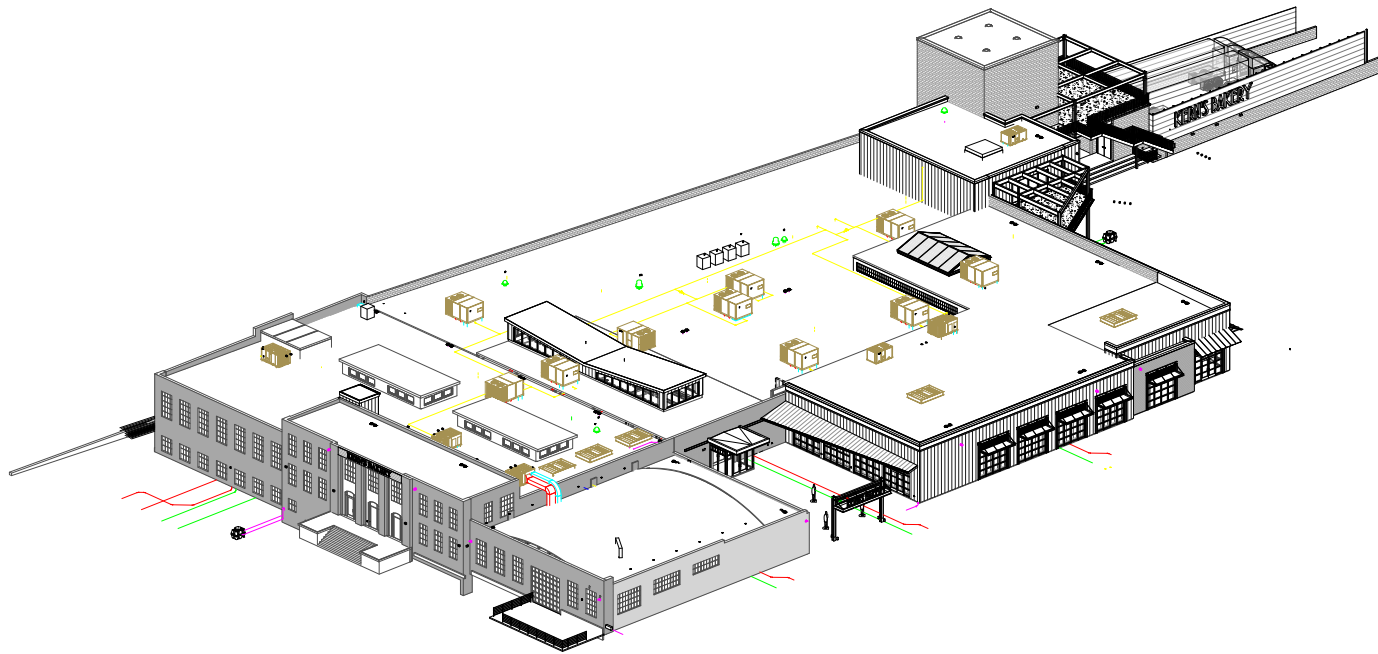
ELEVATION NOTES

1. CI - CONTROL JOINT
2. ICI - INDEX CONTROL JOINT
3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 2'-0" O.C. WHERE NOT SHOWN, COORDINATE LOCATIONS WITH ARCHITECT
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9. PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS. TYP.
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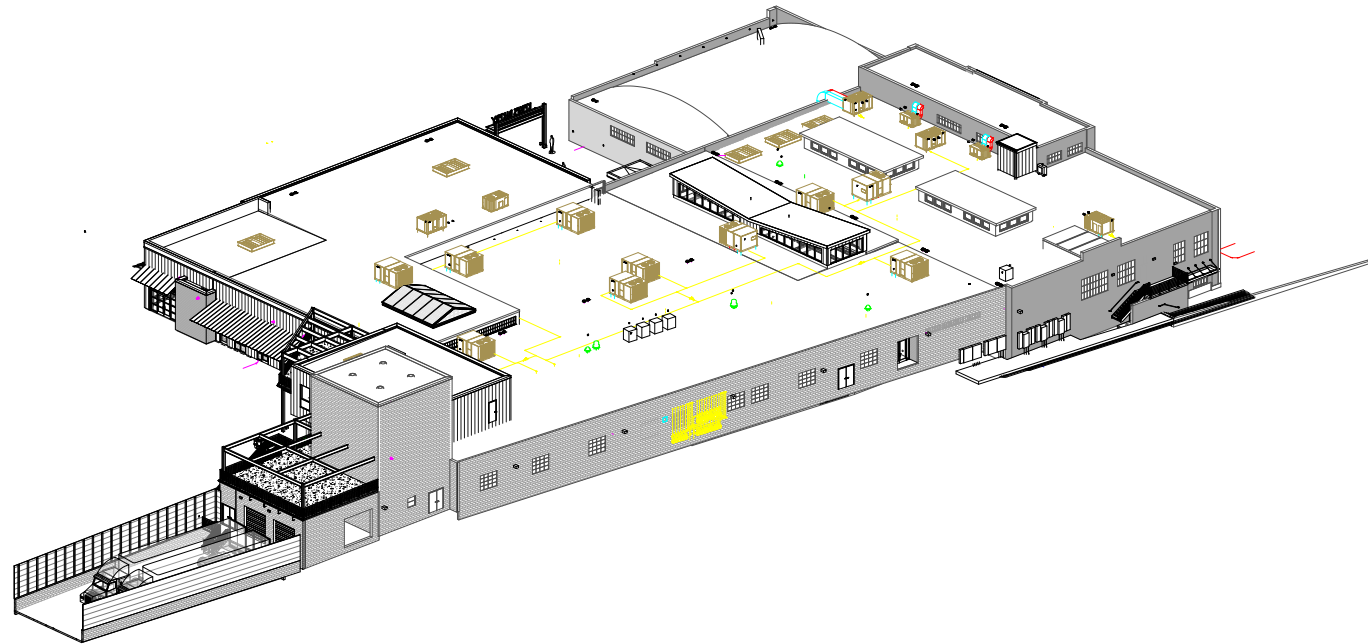
DATE: 1/28/2022

PROJECT NO: 193001

A3.3



1 EXTERIOR 3D VIEW
A3.4



2 EXTERIOR 3D VIEW
A3.4



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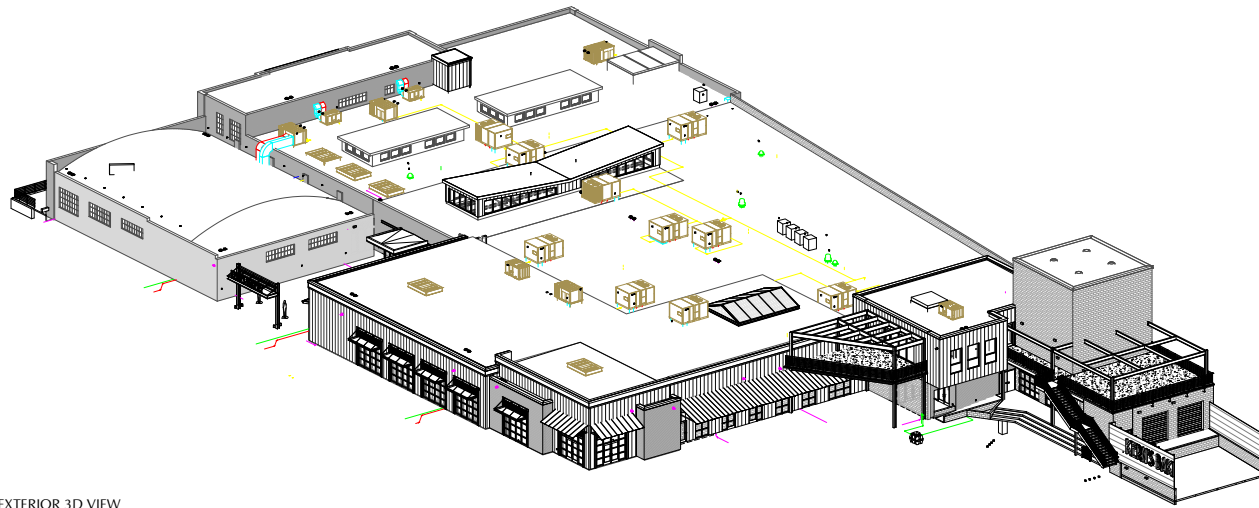
EXTERIOR OVERALL
3D VIEWS

REVISIONS
Revision # Description Date

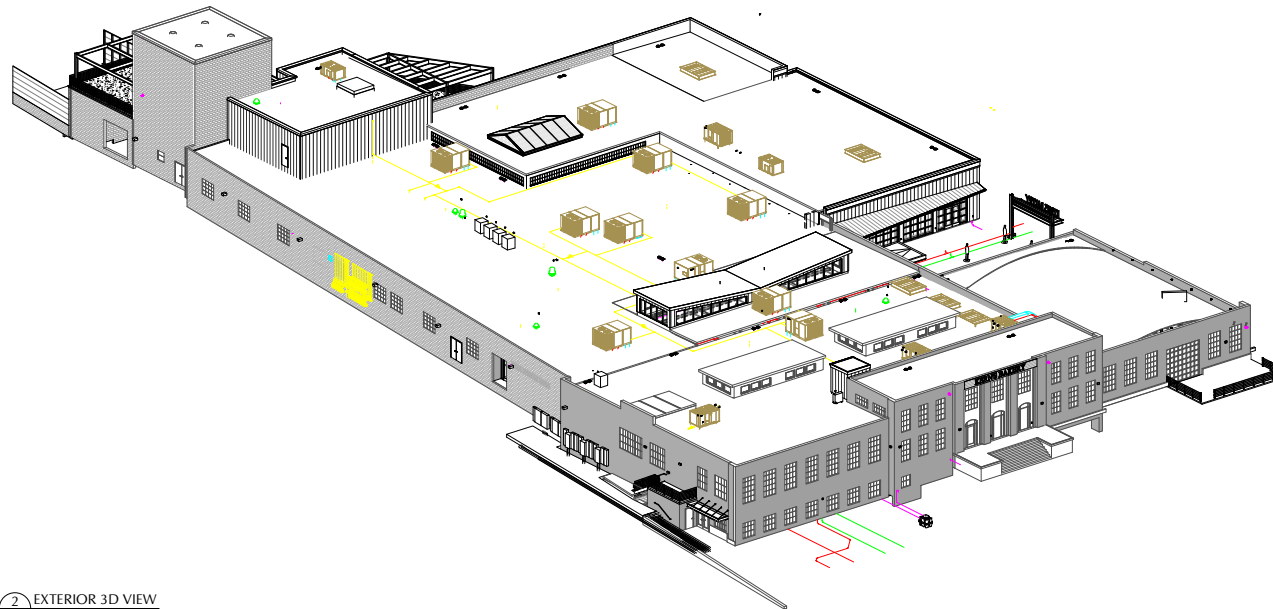
DATE: 1/28/2022

PROJECT NO: 193001

A3.4



1
A3.5 EXTERIOR 3D VIEW



2
A3.5 EXTERIOR 3D VIEW



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A New Retail Destination For:
KERNS BAKERY
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Knoxville, Tennessee 37920

EXTERIOR OVERALL
3D VIEWS

REVISIONS
Revision # Description Date

DATE: 1/28/2022

PROJECT NO: 193001

A3.5



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

34799

1. Historic Property Name Kern's Bakery

Street 2110 Chapman Hwy

City Knoxville County Knox State TN Zip 37920-2086

Name of Historic District or National Register property Kern's Bakery

Listed individually in the National Register of Historic Places; date of listing May 8, 2017

Located in a Registered Historic District; name of district _____

~~Part 4 - Evaluation of Significance submitted?~~ Date submitted n/a Date of certification _____

2. Project Data (for phased projects, data entered in this section must be totals for entire project)

Date of building 1931, with additions Estimated total rehabilitation costs (QRE) \$26,700,000

Number of buildings in project 1 Floor area before / after rehabilitation 65,000 / 73,500 sq ft

Start date (estimated) 06/01/2021 Use(s) before / after rehabilitation vacant / mixed-use

Completion date (estimated) 07/31/2022 Number of housing units before / after rehabilitation 0 / 0

Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 0 / 0

Intend to elect IRS 60-month phased rehabilitation

3. Project Contact (if different from applicant)

Name Frank Rabalais Company Crescent Growth Capital, LLC

Street 201 St. Charles Ave, Ste. 4205 City New Orleans State LA

Zip 70170 Telephone (504) 495-4060 Email Address frank.rabalais@crescentgrowthcapital.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Blake Goodman Signature (Sign in ink) [Signature] Date 5-19-'21

Applicant Entity Mallory & Evans Partners, LLC SSN _____ or TIN 83-4564769

Street 625 Kentucky Street City Scottdale State GA

Zip 30079 Telephone (770) 845-6185 Email Address blake.goodman@fourstonesgrp.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/6/21

Date

Elyse B. Jone

National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached





HISTORIC PRESERVATION CERTIFICATION APPLICATION AMENDMENT / ADVISORY DETERMINATION

Instructions: This page must bear the applicant's original signature and must be dated.

NPS Project Number
34799

1. **Historic Property Name** Kern's Bakery
Street 2110 Chapman Hwy
City Knoxville County Knox State TN Zip 37920-2086

2. This form includes additional information requested by NPS for an application currently on hold.
 updates applicant or contact information.
 amends a previously submitted Part 1 Part 2 Part 3 application.
 requests an advisory determination that the completed phase ___ of ___ phases of this rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation. Phase completion date _____ Estimated rehabilitation costs of phase (QRE) _____

Summarize information here; continue on following page if necessary.

This submission provides the additional information requested by NPS in its letter of 10/8/21. See continuation pages and attachments addressing: 1) Quonset Hut demolition; 2) Additional architectural drawings addressing existing exterior and interior conditions, as well as the proposed rooftop addition; 3) Perspective renderings and photographs illustrating the proposed rooftop addition; 4) Additional photos of the CMU-enclosed silo element, of the rooftop, including existing rooftop structures, and of the front (west) elevation where outdoor seating is proposed.

3. **Project Contact** (if different from applicant)
Name Frank Rabalais Company Crescent Growth Capital, LLC
Street 201 St. Charles Ave, Ste. 4205 City New Orleans State LA
Zip 70170 Telephone (504) 495-4060 Email Address frank.rabalais@crescentgrowthcapital.com

4. **Applicant**
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Blake Goodman Signature (Sign in ink) *B Goodman* Date 10-22-2021
Applicant Entity Mallory & Evans Partners, LLC SSN _____ or TIN 83-4564769
Street 625 Kentucky Street City Scottdale State GA
Zip 30079 Telephone (770) 845-6185 Email Address blake.goodman@fourstonesgrp.com
 Applicant, SSN, or TIN has changed since previously submitted application.

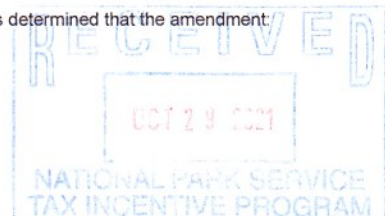
NPS Official Use Only

The National Park Service has reviewed this amendment to the Historic Preservation Certification Application and has determined that the amendment:

- meets the Secretary of the Interior's Standards for Rehabilitation.
- will meet the Secretary of the Interior's Standard for Rehabilitation if the attached conditions are met.
- does not meet the Secretary of the Interior's Standards for Rehabilitation.
- updates the information on file and does not affect the certification.

Advisory Determinations:

- The National Park Service has determined that the work completed in this phase is consistent with the Secretary of the Interior's Standards for Rehabilitation. This determination is advisory only. A formal certification of rehabilitation can be issued only after all rehabilitation work and any associated site work or new construction have been completed. This approval could be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. A copy of this form will be provided to the Internal Revenue Service.



Date 12/6/21 National Park Service Authorized Signature (Sign in ink) *Glynneth B. Jume*

NPS conditions or comments attached



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name Kern's Bakery Project Number 34799
Property Address, City, State 2110 Chapman Highway, Knoxville, TN

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. **Silo Structure:** The historic CMU structure enclosing the silos must be retained and preserved as it exists.
2. **Office Partitions:** Historic interior architectural features and finishes, consisting of walls, wood trim, doors, and stairs must be preserved. More specifically, the historic office partitions, trim, and wood stair that exist at the front of the 1931 building must be retained and preserved. Plans for reuse and subdivision of the interior must be revised to incorporate this historic fabric and plan and submitted for review and approval.
3. **Factory Interior:** Rehabilitation of the factory interior must be compatible with the historic character of this space. The spiral staircase proposed to be installed in a primary space within the factory interior is not compatible with the historic character and must either be removed or the design for the stair revised to be compatible with the character of the space.
4. **Roof of 1931 Garage:** The bowstring trusses and structural system of the 1931 garage must remain entirely enclosed by the roof and may not be exposed as shown on plans. Cementitious panels may not be added to the rear of the garage roof, as this would obscure the roof and would not be consistent with the historic character of the building.
5. **Exterior Elevations:** Metal cladding may not be added to the south and east elevations of the existing buildings unless it can be demonstrated that such exterior finishes existed historically.
6. **Garage and Loading Bay Infill:** The historic garage/loading bay openings on the south and east elevations must be retained in their historic configuration and new infill must be compatible with the historic character and use of the opening. Awnings proposed to be installed above historic garage and loading bays must be eliminated from the plans. Detailed drawings for new infill of existing garage and loading bays must be submitted for review and approval. Information on appropriate designs for infill can be found on the TPS website: New Infill for Historic Garage Openings, ITS No. 2 ([ITS02-Garage-Infill.pdf \(nps.gov\)](#)) and New Infill for Historic Loading Door Openings, ITS No. 16 ([its-16n \(nps.gov\)](#)).
7. **Proposed Front Patios:** The historic character of the property, including its site and environment, must be preserved. The patio proposed to be constructed at the northwest corner of the building would require extensive excavation at the front elevation and would alter the historic appearance of the property to an unacceptable degree. Consequently, it must be eliminated from the plans. A patio may be installed at the southwest corner of the front elevation as there is an existing concrete platform adjacent to the garage door opening and driveway. The patio at the southwest corner of the front elevation must be reduced in size from what is proposed and located to the south of the driveway and garage opening. Revised drawings must be submitted for review and approval.

This approval does not extend to the following work:

1. **Rooftop Addition:** As proposed, the one-story rooftop additions would not be compatible with the historic character of the building. While some new construction *may be acceptable* on the roof, it must be reduced in size, highly limited in visibility (if visible at all), set back from exterior elevations, and compatible with the historic character of the property. Revised plans must be submitted for review and approval. Please also address structural modifications to the interior of the building that would be necessary to accommodate such new construction.
2. **Signage:** Detailed plans for the design and location of proposed signage must be submitted for review and approval.



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/6/21

Date

Elizabeth B. Stone

National Park Service Signature