

**Meeting:** 4/21/2022  
**Applicant:** Travis Brooks Jonathan Miller Architecture & Design  
**Owner:** Simonne Wortham

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## Property Information

**Location:** 1065 Scenic Dr. **Parcel ID** 121 D C 037  
**District:** Scenic Drive NC  
**Zoning:** RN-1 (Single-Family Residential Neighborhood)  
**Description:** Neoclassical, c.1931

Two story frame with brick veneer wall covering. End gable roof with slate roof covering. Six over six double hung windows. Two story front porch with two story round columns with Doric capitals, gabled roof with full entablature, dentil molding and demi-lune window. Broken pediment above front entry, flanked with half view paneled recessed sidelights; central double hung window about front entry with sidelights. Two exterior end brick chimneys. Brick foundation. Irregular plan. Architect: Baumann and Baumann.

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## Description of Work

Level II Construction of Addition or Outbuilding

Multiple additions to an existing house, including a primary bedroom addition on the rear right corner (north), a porch addition on the left side rear, a new garage addition to the front left (southwest) of the house, and a porte cochere connecting the new garage to the house.

Bedroom addition on rear: addition measures 48'-1.5" wide by 31'-4.5" long overall, connecting to an existing side wing of the house. The addition will feature a gable roof clad in slate to match the existing house, lap siding with an exposure to match the upper gable fields on the existing house, and a foundation recessed below a significant retaining wall. Windows on the rear addition will be 6/6 and 10/10, some with shutters to match the existing house.

Porch roof addition: to extend from the rear of the house, a flat roof with a Classical-influenced entablature and square columns to match existing porch, with a new brick chimney on the left (west) side.

Garage addition: measures 56'-8-1/8" long by 22'-3" wide overall. Garage addition contains one hipped roof, two-car garage massing (measuring 26'-11" long by 22'-3" wide) with a lower hipped massing (measuring 24'-9-1/8" by 12'-9"). The garage will feature a hipped slate roof, an exterior of painted brick veneer, and double-hung 6/6 and 4/4 divided light windows. A flat-roof porte cochere with a decorative entablature and square columns connects the garage to the left side of the house. The garage features hipped-roof dormers with double-hung windows and wood, arched garage doors. The front elevation of the garage features a decorative, Classical-style element with a hipped metal roof, a classical entablature and engaged pilasters, a painted "growing wall trellis over shiplap siding" and a round center window.

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## Applicable Design Guidelines

Scenic Drive NC-1 Design Guidelines, adopted by the Knoxville City Council on September 26, 2006.

#### New Construction - Primary Buildings, Additions, and Accessory Buildings

1. A "description of properties" inventory describing existing architectural designs and their features found in the neighborhood is included in these guidelines. An eclectic mix of styles is apparent. New designs are encouraged to interpret one of the design types identified as a "contributing" structure, with size and features generally drawn from the design and appropriate to that style, although the same design cannot be repeated on another lot.
3. Materials commonly use in the existing neighborhood houses are preferred. The following modern wall cladding material should not be used on primary buildings or on permanent accessory structures: T-111 plywood or similar products; vinyl or aluminum siding; exposed concrete blocks.
4. The maximum lot coverage for the footprint of a house and accessory buildings shall not exceed 30% of the lot. Pavement in front and/or side yards visible from public streets shall be minimized, so that the landscaping and plantings convey the impression of a residential setting.
5. Side and rear setbacks of primary buildings constructed in the Scenic Drive District, or of contributing primary buildings combined with their new additions, shall respect the lot placement of existing historic buildings. In no case shall the side yards be less than 8 feet for a single story or 12 feet for a multi-story building, with a combined side yard measurement for both sides of the building of not less than twenty feet. The minimum rear yard for new primary buildings or buildings with new additions shall not be less than 25 feet.
6. New additions and constructions shall conform to the prevailing widths and heights of typical facades of adjacent houses. The footprint of new additions and constructions should be in character and proportion with contributing neighboring houses, even if originally platted lots have been combined into larger lots. Detached accessory buildings shall be proportional to the house in height and size.
7. Carports and garage doors should not face the street except in cases where there is no reasonable alternative. If they do face the street, garage entrances should be designed to be consistent with the home's architectural features.
8. The design of detached garages and carports and the materials of which they are constructed should be consistent with the character of the main structure.
9. The recommended location for additions is to the rear or side of existing buildings. Additions to the front of buildings are strongly discouraged because they obscure the original architectural designs. Front additions are not appropriate for contributing structures. If additions are to be made to the side elevations of existing buildings, they should be located at least five feet behind the front facade of the existing building.
10. Detached accessory buildings, including carports and detached garages, should be located at least fifteen feet to the rear of the front facade line and no nearer than five feet to a side or rear lot line. In size, they should not exceed the building footprint of the principal building and should be consistent in scale with the primary building on the lot.
11. The design of additions, accessory buildings, including carports, and modifications, in particular the front facade of the house, should be consistent with the character of the main structure.
12. If an addition or modification is made to an existing house, the wall cladding material should match or complement those on the existing house. Traditional combinations such as wood clapboard or wood shingle siding additions on brick or stone primary structures are acceptable if matching materials cannot be secured. The roofing material for additions and modifications should match the existing roofing material.
13. All construction plans shall assess and take into account the impact of drainage on both the subject property and neighboring properties.

#### Roof Form and Coverings

1. The minimum roof pitch should be appropriate for the style of house or addition that is being constructed as described in the Properties Inventory.
2. Houses should have complex roof shapes or roof shapes that are consistent with the architectural forms of the district.

#### Windows

1. The size of window openings on the front and any visible side facades should be consistent with the design of the

new building and with other houses of similar architectural design.

2. High quality fixed grid windows should be used. Snap-in grid windows should not be used. Simulated divided light windows with fixed external muntins or mullions are encouraged.
3. Proportion and style of windows shall be appropriate to the design type. Replacement windows are encouraged to duplicate the look and quality of the original. Palladium style windows should not be used unless in keeping with the original character of the house.

#### Site Design

1. New buildings and additions shall be designed to set into the landscape with a minimum of reshaping to the topography and loss of mature trees.
2. Parking pads and circular driveways should not be placed in the front yard except in extraordinary cases where a driveway to the rear of the property is impractical or unsafe. In those cases, a small parking area may be constructed; pervious paving material is encouraged and landscaping should conceal the parking area from the street.

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### Comments

N/A

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### Staff Findings

1. 1065 Scenic Drive is a contributing resource to the Scenic Drive neighborhood conservation overlay.
2. The rear porch and primary bedroom addition will not be visible from the public right-of-way. At one story, the rear addition will be clearly secondary to the 2.5-story main house. The addition is proposed for a rear elevation which has already received modifications, so the addition will not result in the removal or modification of character-defining features. The rear addition uses materials compatible with the main house, including lap siding reflecting the overlap on the main house's gables, a slate roof, and windows with a design and proportions to match the main house.
3. The massing and design of the garage building meets the design guidelines. The proposed garage is "proportional to the house in height and size," and uses a design "consistent with the character of the main structure." The proposed roof and siding materials are compatible with the main house, and the design includes windows which are appropriate in proportion and placement.
4. The proposed placement of the garage does not meet the design guidelines. Guidelines recommend that if additions are to be made to the side elevations of existing buildings, they "should be located at least five feet behind the front façade of the existing building." They also recommend that detached accessory buildings, including garages, "should be located at least fifteen feet to the rear of the front façade line." The applicant has cited constraints of site topography and the desired floor plan, motivating the front placement of the garage. If feasible, the garage should be recessed further to the rear property line to align more closely with the design guidelines.

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### Staff Recommendation

Staff recommends approval of Certificate 2-B-22-HZ, subject to the garage's revised placement further towards the rear property line.



**2-B-22-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



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 **1065 Scenic Dr. 37919**  
 Scenic Drive NC

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Original Print Date: 4/5/2022  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Travis Brooks Jonathan Miller  
 Architecture & Design

  
 N  
  
 0 250  
 Feet



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Travis Brooks

Applicant

1-31-2022

April 21, 2022

2-B-22-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Travis Brooks

Jonathan Miller Architecture & Design

Name

Company

4814 Old Kingston Pike

Knoxville

TN

37919

Address

City

State

Zip

865-602-2435

tbrooks@jonathanmillerarchitects.com

Phone

Email

## CURRENT PROPERTY INFO

Simonne Wortham

1065 Scenic Drive

865-607-1125

Owner Name (if different from applicant)

Owner Address

Owner Phone

1065 Scenic Drive

121DC037

Property Address

Parcel ID

Sequoyah Hills

RN-1 NC

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*

Lindsay Crockett

1.31.22

Staff Signature

Please Print

Date

*Travis Brooks*

Travis Brooks

1-31-22

Applicant Signature

Please Print

Date

# REQUEST

DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

Brief description of work: **Garage addition on left side of home, master bedroom addition to rear of home**  
 \_\_\_\_\_  
 \_\_\_\_\_

INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

*See required Infill Housing attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>		<b>TOTAL:</b>
100.00		
<b>FEE 2:</b>		
<b>FEE 3:</b>		

# Wortham Addition

1065 Scenic Dr.  
Knoxville, Tennessee 37919

## HZC Design Review Set April 04, 2022

### PROJECT SCOPE

Attached Garage, Porte Cochere, Mudroom,  
Rear Porch, and Master Bedroom Addition

### Architect

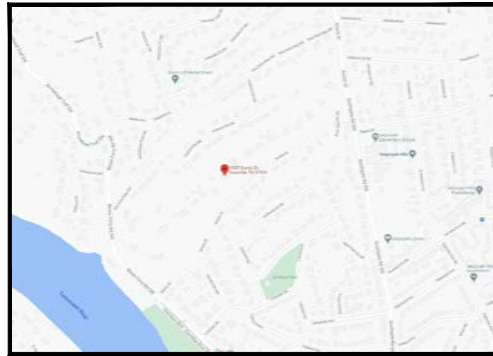
Jonathan Miller Architects  
Contact: Jonathan Miller  
4814 Old Kingston Pike  
Knoxville, TN 37919  
P: 865-602-2435  
E: jmiller@jonathanmillerarchitects.com

### Contractor

Hickory Construction  
124 Kent Place  
Alcoa, TN 37701  
P: 865-983-7856

### Drawing Index

- A-1.0 COVER & SITE PLAN
- A-1.1 ENLARGED SITE PLAN OVER SURVEY
- A-2.1 MASTER BEDROOM & REAR PORCH ADDITION PLAN
- A-2.2 ATTACHED GARAGE & MUD ROOM ADDITION PLAN
- A-3.1 FRONT ELEVATION W/ GARAGE ADDITION & MOTOR COURT VIEW ELEVATION
- A-3.2 REAR ELEVATION W/ GARAGE AND MASTER BEDROOM ADDITION
- A-3.3 SIDE YARD ELEVATIONS
- A-4.1 EXISTING HOUSE PHOTOS & DESCRIPTIONS
- A-4.2 CONCEPT IDEAS & PRECEDENT WORK / EXAMPLES FOR ADDITIONS



2 VICINITY MAP  
SCALE: NOT TO SCALE

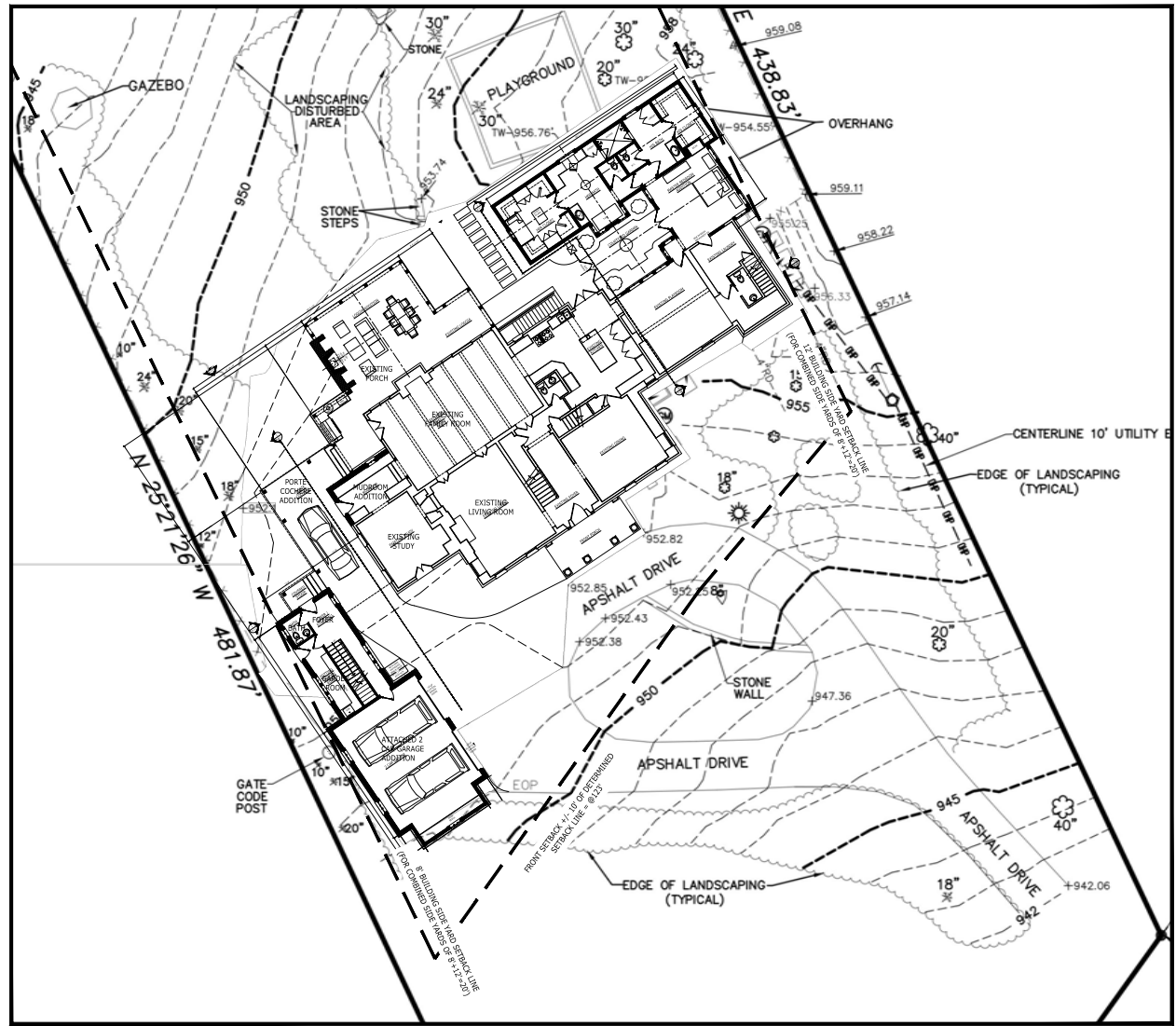


1 FULL SITE PLAN  
SCALE: 1" = 40'

IMPERVIOUS SURFACE COVERAGE CALCULATIONS	
EXISTING SITE COVERAGE: HOUSE, CARPORT, FRONT DRIVE, REAR DRIVE, & DETACHED GUEST HOUSE	12,267 sq.ft.
PROPOSED ADDITION: MASTER BEDROOM, PORCH ADD, PORTE COCHERE, MUDROOM & ATTACHED GARAGE	3,052 sq.ft.
EXISTING REAR CARPORT & ASPHALT DRIVE REMOVED AT REAR OF HOUSE	-2,887 sq.ft.
NEW TOTAL SITE COVERAGE:	12,432 sq.ft.
EXISTING LOT AREA	78,661 sq.ft.
12,432 sq.ft. / 78,661 sq.ft. = .16 = 16%	
16% < 40% SITE COVERAGE ALLOWED	

PROPOSED ADDITIONS AREA CALCULATIONS	
MASTER BEDROOM (HEATED)	1,048 sq.ft.
MUD ROOM ADDITION (HEATED)	145 sq.ft.
ATTACHED GARDEN ROOM & BATH (HEATED)	319 sq.ft.
ATTACHED GARAGE	722 sq.ft.
PORTE COCHERE	480 sq.ft.
PORCH ADDITION	338 sq.ft.
HEATED TOTAL	1512 sq.ft.
GARAGE, PORTE COCHERE, PORCH ADDITION TOTAL	1540 sq.ft.

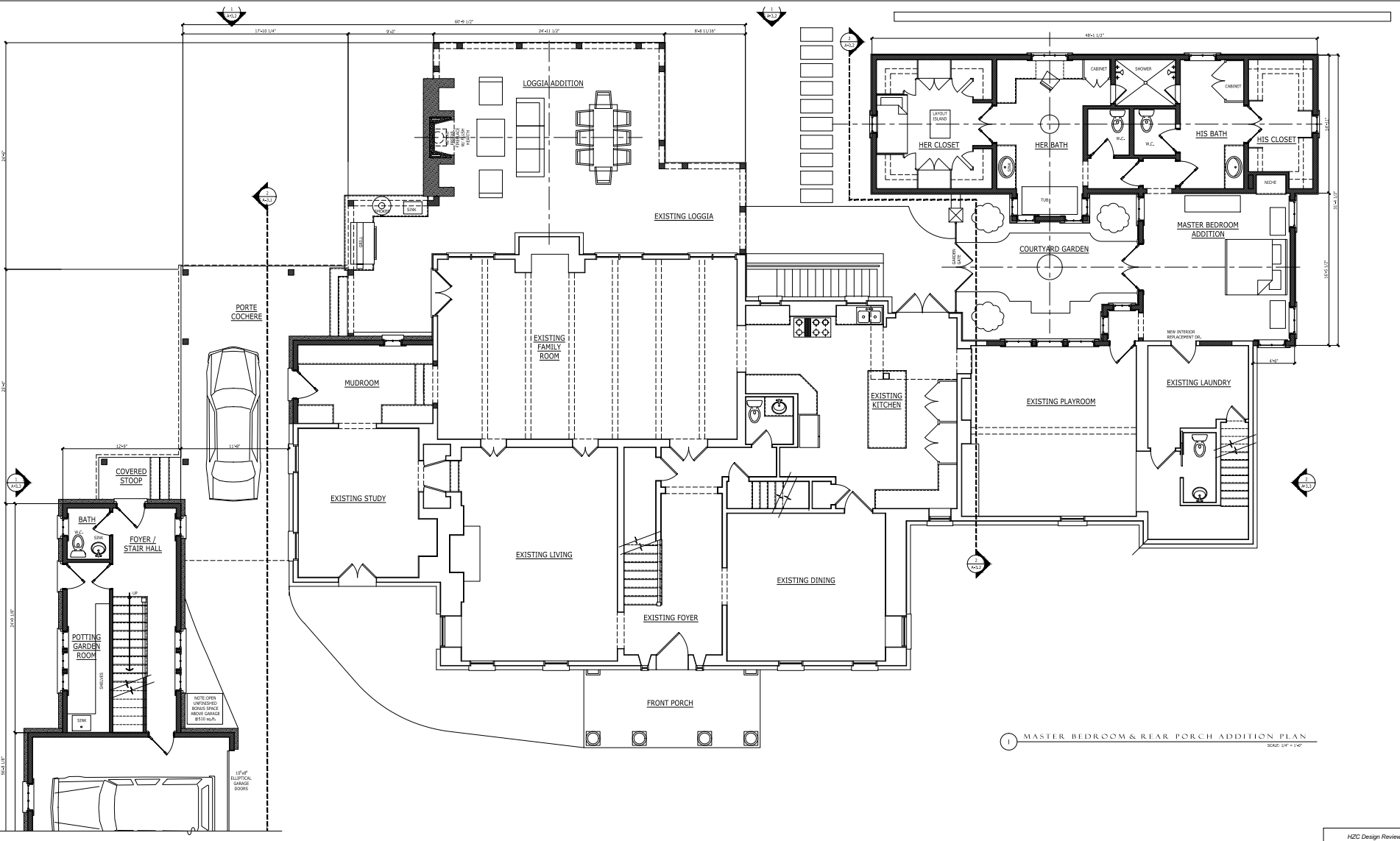
BUILDING COVERAGE CALCULATIONS	
EXISTING	
MAIN HOUSE FOOTPRINT	3907 sq.ft.
DETACHED GUEST HOUSE	608 sq.ft.
PROPOSED	
MASTER BEDROOM	1,048 sq.ft.
MUD ROOM	145 sq.ft.
GARAGE, GARDEN ROOM & PORTE COCHERE ADDITION	1522 sq.ft.
PORCH ADDITION	338 sq.ft.
COMBINED TOTALS	
MAIN HOUSE TOTAL	6960 sq.ft.
DET. GUEST HOUSE TOTAL	608 sq.ft.
HOUSE & GUEST HOUSE TOTAL	7568 sq.ft.
EXISTING LOT AREA	78,661 sq.ft.
7568 sq.ft. / 78,661 sq.ft. = .096 = 10%	
10% < 30% SITE COVERAGE ALLOWED	



1 ENLARGED SITE PLAN OVER SURVEY  
SCALE: 1" = 10'

H2C Design Review





1 MASTER BEDROOM & REAR PORCH ADDITION PLAN  
 SCALE: 1/4" = 1'-0"

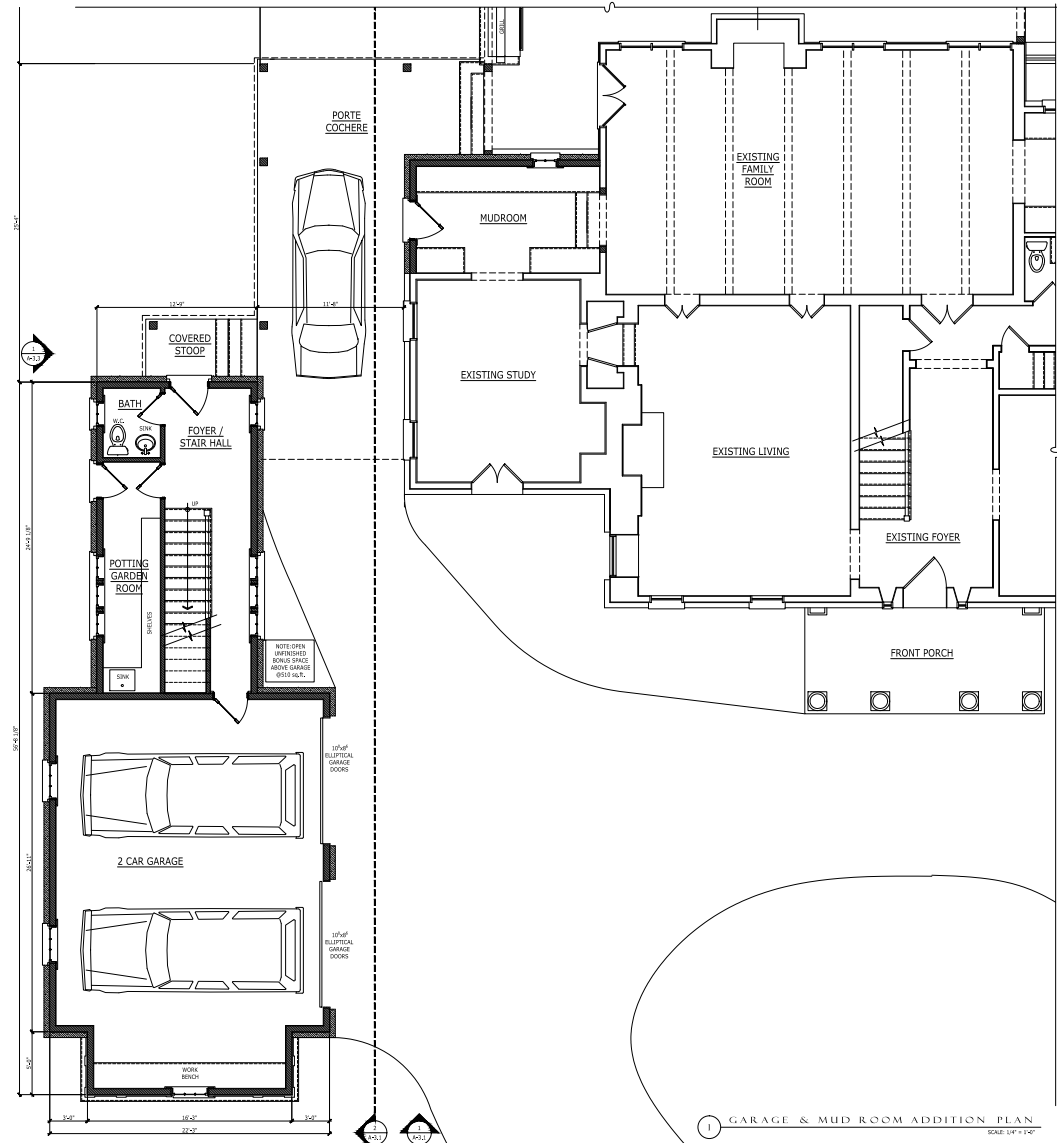
All Rights Reserved, Jonathan Miller, Architect - Knoxville, Tennessee

H2C Design Review

Jonathan Miller  
 865.602.2435 office  
 4614 Oakington Pike  
 Knoxville, TN 37919

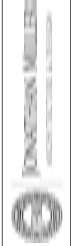
Worham Residence  
 1006 Sycamore Drive  
 Knoxville, Tennessee 37919

Master Bedroom &  
 Rear Porch  
 Addition Plan  
 A - 2.1  
 04/04/22



① GARAGE & MUD ROOM ADDITION PLAN  
SCALE 1/4" = 1'-0"

HCC Design Review



805.602.2435 office  
 4814 Old Kingston Pike  
 Knoxville, TN 37919

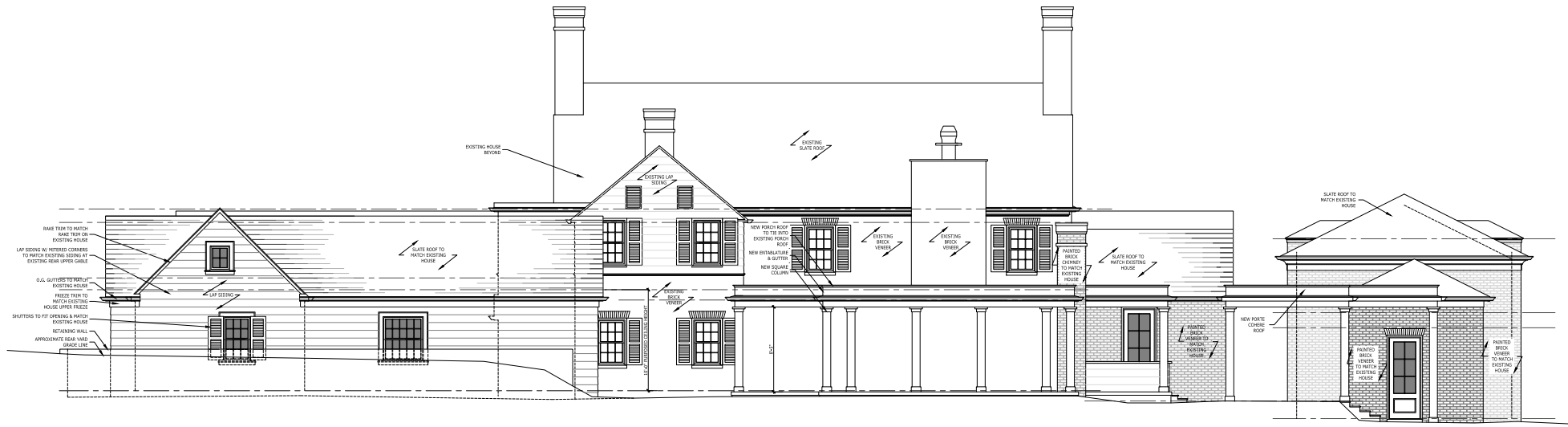
**Worham Residence**  
 1066 Sevier Drive  
 Knoxville, Tennessee 37919

Garage & Mud Room Addition Plan  
 A - 2.2  
 04/04/22





2 MASTER SUITE SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



1 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

H2C Design Review



2 MASTER SUITE SIDE YARD ELEVATION  
SCALE: 1/4" = 1'-0"



1 GARAGE SIDE YARD ELEVATION  
SCALE: 1/4" = 1'-0"



**THE WORTHAM RESIDENCE ADDITIONS**

**GENERAL PROJECT DESCRIPTION**

THE PROPOSED ADDITIONS WILL INVOLVE TWO SEPARATE AREAS OF THE HOME. THE PRIMARY ADDITION IS A PROPOSED GARAGE ON THE LEFT SIDE OF THE HOME THAT WILL ADD A PORTE COCHERE CONNECTION TO THE PRIMARY EXISTING STRUCTURE. IT WILL COMPRISE A TWO CAR GARAGE, POTTING / GARDEN ROOM, ALONG WITH A STAIR TO UNFINISHED STORAGE SPACE. THE SECONDARY ADDITION IS A MASTER BEDROOM SUITE AND COURTYARD ON THE REAR OF THE HOME.

**GARAGE ADDITION**

- PAINTED BRICK TO MATCH EXISTING
- SLATE ROOF TO MATCH EXISTING
- SHUTTERS TO MATCH EXISTING
- DOUBLE HUNG WINDOWS W/ SIX OVER SIX PATTERN TO MATCH EXISTING



**1065 SCENIC DRIVE (121DC037).**

NEOCLASSICAL (1931). TWO STORY FRAME WITH BRICK VENEER WALL COVERING. END GABLE ROOF WITH SLATE ROOF COVERING. SIX OVER SIX DOUBLE HUNG WINDOWS. TWO STORY FRONT PORCH WITH TWO STORY ROUND COLUMNS WITH DORIC CAPITALS, GABLED ROOF WITH FULL ENTABLATURE, DENTIL MOLDING AND DEMI-LUNE WINDOW. BROKEN PEDIMENT ABOVE FRONT ENTRY, FLANKED WITH HALF VIEW paneled RECESSED SIDELIGHTS; CENTRAL DOUBLE HUNG WINDOW ABOUT FRONT ENTRY WITH SIDELIGHTS. TWO EXTERIOR END BRICK CHIMNEYS. BRICK FOUNDATION. IRREGULAR PLAN. ARCHITECT: BAUMANN AND BAUMANN. SCENE OF BROADCAST BY WILLARD SCOTT AS PART OF THE NBC TODAY SHOW COVERAGE OF THE DOGWOOD ARTS FESTIVAL. GUEST HOUSE IN REAR YARD IS A LOG CABIN MOVED FROM JEFFERSON CO. BY THE FIRST OWNERS (LOCKETTS) (C).

HZC DESIGN REVIEW



