

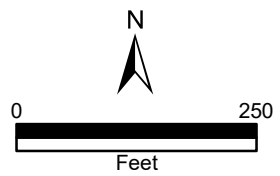


9-B-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

 **317 E. Oklahoma Ave. 37917**
Old North Knoxville H

Original Print Date: 9/1/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Garrett Bentley



Meeting: 9/16/2021
Applicant: Garrett Bentley
Owner: Garrett Bentley

Property Information

Location: 317 E. Oklahoma Ave. **Parcel ID** 81 L Q 027
District: Old North Knoxville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Modified Queen Anne, c, 1910

Two-story frame residence featuring a hipped roof with lower cross gables extending toward the front and rear, clad in asphalt shingles. Property features wood siding and a brick foundation. One-story porch extends full length of the façade and features flat roof, wide cornices, and round wood columns. Façade windows are two-over-two double-hung wood sash with wood trim. Front gable features wood fishtail shingles, a round louvered vent, and decorative gable trim.

Description of Work

Level II Major Repair or Replacement
Porch rehabilitation project.

Flooring: replacement of wood tongue-and-groove flooring with Aeratis Traditions composite tongue-and-groove porch flooring. Aeratis Traditions flooring measures 3-1/8" wide and 7/8" thick.

Columns: replacement of four round wood columns with four round fiberglass columns. Applicant will select replacement columns with diameter (approximately 10" at base), height (96"), and general design to match existing columns. Replacement columns will use square bases and Tuscan capitals to match existing.

Porch stairs: removal of existing wood handrail and wood flooring overlay on concrete steps. Existing steps are 5.5' wide and will be extended to 10' wide, spanning the width of the two rightmost columns. The steps will be flanked by two 13" thick cheek walls, constructed of brick and clad in plaster to match the existing stuccoed foundation. The cheek walls will be as tall as the porch foundation (approximately 24" tall).

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

C. Porches

1. Historic porches on houses in Old North Knoxville should be repaired, or may replicate the original porch if documentation of its size and design can be discovered.
 2. Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood posts and/or columns and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.
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E. Wood

5. Wooden features shall be repaired by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or compatible substitute materials, when elements remain and can be copied.
6. Wood features that are important in defining the overall historic character of the building shall not be removed.
7. Replace only deteriorated wood. Reconstructed in order to achieve a uniform or "improved," "new" appearance is inappropriate because of the loss of good historic materials.
8. An entire wooden feature that is too deteriorated to repair or is completely missing shall be replaced in-kind. If features are replaced, the materials they are made from shall be compatible with the original in size, scale, and material. Replacement parts should be based on historical, pictorial, and physical documentation.

SOI Standards for Rehabilitation

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities, and where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence

Comments

N/A

Staff Findings

1. 317 E. Oklahoma Avenue is a contributing resource to the ONK National Register Historic District and local overlay.
2. The house has received a significant amount of exterior restoration since it was originally surveyed in the late 1990s and early 2000s. Restoration scopes completed in 2004 included the removal of artificial siding; repair and replacement to wood lap siding, including decorative shingle siding in the gable; and removal of the front porch enclosure which extended the length of the front gable massing, approximately half of the façade. The front porch restoration included the installation of at least two round wood porch columns to match the two rightmost existing, and new tongue-and-groove porch flooring. Additional work was completed in 2010 (including replacement of porch flooring), and a rear addition was built in 2019.

PORCH FLOORING

3. The applicant has provided documentation of the wood tongue-and-groove porch flooring's deterioration due to rain damage and sun exposure, especially along the front edge of the porch.
4. The proposed material, Aeratis Traditions composite flooring, is almost identical to the Aeratis Heritage composite flooring material which has been previously approved on 240 E. Scott Avenue (August 2018) and 215 E. Oklahoma Avenue (August 2020). The material is solid extruded PVC planks, which are faux-wood-grained to simulate wood flooring. The Aeratis flooring system can be completed with a chamfered- half-round, or quarter-round nosing as an edge trim.

Previous approvals have noted that the Aeratis composite materials are high-end composite flooring materials that sufficiently match wood tongue-and-groove flooring in design, color, texture, and visual qualities. The size of the tongue-and-groove floorboards are comparable to historic wood tongue-and-groove floorboards. Aeratis Traditions is a paint-ready material that will be painted to match the house (and thus, reduce any sheen that may differ from wood flooring). Moreover, the front porch on the subject property set significantly far back from the street and elevated somewhat from the sidewalk, so it will be minimally visible from the right-of-way.

PORCH COLUMNS

5. The applicant has provided documentation of rot on several columns, sinking columns due to rotting decking, and holes in the capitals due to animal damage. The rightmost two columns may be older elements, but the left columns were installed around 2004. The columns to be replaced are modest round columns with Tuscan capitals. Replacement columns will not result in the loss of historic material.

6. The proposed material is FRP (Fiber Reinforced Polymers), aka fiberglass. NPS Preservation Brief 16, "the Use of Substitute Materials on Historic Building Exteriors," [see attached] notes that FRP is produced as a thin rigid laminate shell formed by pouring a polyester or epoxy resin gelcoat into a mold. Reinforcing rods and struts can be added if necessary, and the gel coat can be pigmented or painted. Preservation Brief 16 notes several advantages to FRP substitutes, including "non-corrosive, rot-resistant," "easily installed," "integral color with exposed high quality pigmented gel-coat or takes paint well," and "high ratio of strength to weight." Disadvantages are listed as "combustible, fragile to impact," "high coefficient of expansion and contraction," and "vapor impermeability may require ventilation detail."

7. Similar column replacements were approved in ONK in 2012 and 2013, noting the "painted surface of a composite column is more difficult to discern from the painted surface of a new wood column," and that "new wood or new composite columns would be equally devoid of texture and 'new' in appearance." In February 2020 (2-B-20-HZ), an applicant at 1324 Grainger Avenue proposed a comparable fiberglass replacement column. This application did not include sufficient documentation of deterioration on the columns, so the Commission moved that the applicant explore further repair efforts, and if the columns were unable to be repaired, the fiberglass replacements would be approved. Finally, comparable replacements were approved at 1319 Grainger Ave in March 2021 (3-K-21-HZ).

8. The applicant has provided several possible manufacturers and measurements of the existing columns; final selection of the column replacements (along with capitals and bases) should be submitted to staff to ensure the new elements reflect the existing in size, design, surface texture, and finish.

STAIRS

9. The handrails and wood flooring covering the concrete stairs are not original to the house and removal is appropriate. The expansion of the steps' width will make the steps more proportionate to the overall façade width. The 13" thick cheek walls are modest in design, can be seen on comparable properties throughout the district, and will not detract from the house's overall integrity.

Staff Recommendation

Staff recommends approval of the work as submitted, with the condition that applicant submit final specifications for column replacements (including capitals and bases, as necessary) to staff to ensure the new elements reflect existing in size, design, texture, and finish.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Garrett & Brittany Bentley

Applicant

8.9.21

September 16, 2021

9-B-21-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner Contractor Engineer Architect/Landscape Architect

Garrett Bentley

Name

Company

317 E Oklahoma Ave

Knoxville

TN

37917

Address

City

State

Zip

573-268-5362

bentley.garrett@gmail.com

Phone

Email

CURRENT PROPERTY INFO

317 E Oklahoma Ave

573-268-5362

Owner Name (if different from applicant)

Owner Address

Owner Phone

317 E Oklahoma Ave

081LQ027

Property Address

Parcel ID

Old North Knoxville

RN2/H

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett

Please Print

8/10/21

Date

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Repair damaged porch by replacing decking and columns. Expand width of steps to align with columns. Add cheek walls to sids of steps.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

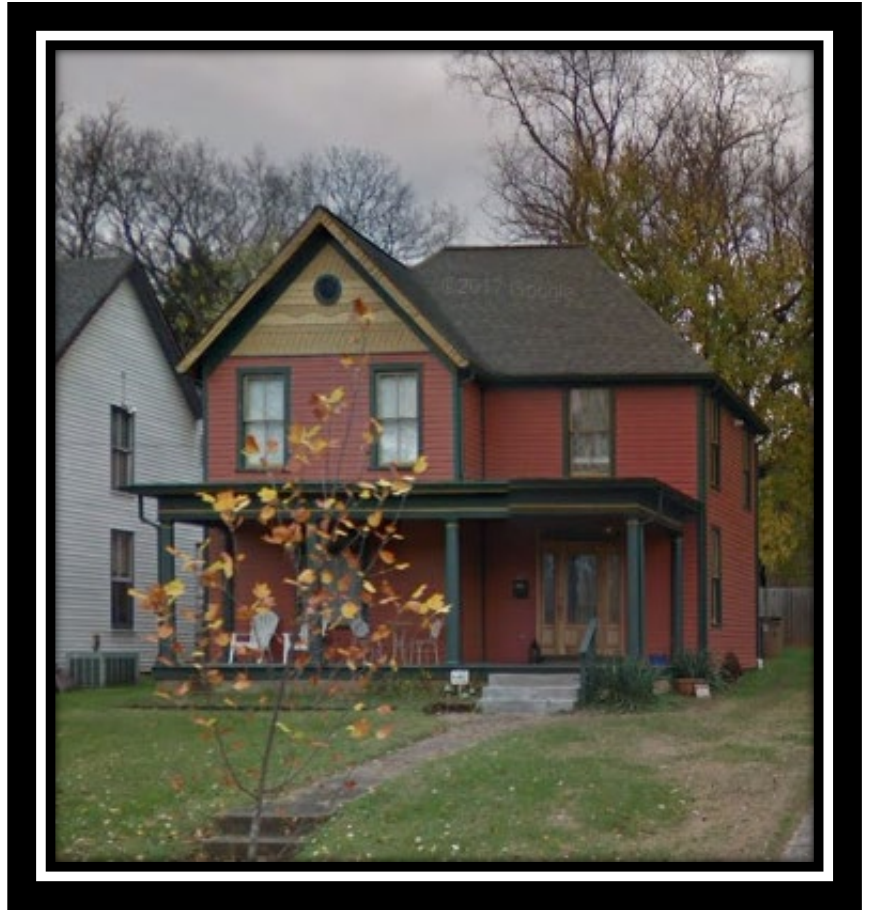
- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
100.00		
FEE 2:		
FEE 3:		



317 East Oklahoma Ave

Bentley Residence

Knoxville Historic Commission Submission Level 2 -
Addition to a Home in Old North Knoxville

Brittany & Garrett Bentley

Brittanydavisbentley@gmail.com

Bentley.Garrett@gmail.com

(936)649-2104 or (573)268-5362

August 10th, 2021

Property History

“This late Victorian home, circa 1897, has been fully restored in the last 12 years, including a new entry way and detailed exterior restoration. In extreme disrepair, a near-by neighbor purchased the home in 2004 and began an intensive restoration that even included foundation work under the original kitchen. In 2005, the home was sold as a project to an out of town owner, who finished the restoration and sold it to its current owners in 2015.

Originally built as a single family home, the home was converted into two apartments during the Great Depression in the 1930's. Like many of the area homes, past residents worked in the surrounding mills and for the railroads. The family of Carl K. Robinson owned the home from 1915 into the 1920's. Mr. Robinson was a machinist with the nearby Southern Railroad.”

From the 2018 Old North Knoxville Home Tour Calendar

Design Narrative

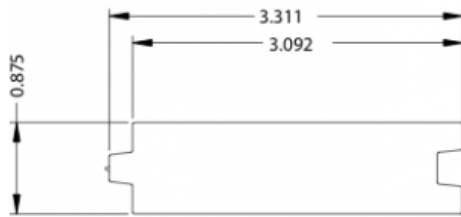
The home at 317 E Oklahoma has gone through many renovations over its life time, including a replacement of the columns within the last 20 years, and complete replacement of the tongue and groove decking sometime around 2014 under previous ownership of the property. While the current owners have attempted to maintain the decking having reapplied outdoor, deck rated paint, multiple times over the past 6 years, the extreme sunlight and rain exposure to the front edge has caused extensive damage to the front edge of the decking. In addition, a hidden drainage issue from the porch roof gutters has caused softening at the base of all four full columns at the front of the porch to the point where the residents have concerns of the structural integrity of the columns.

The proposal for this property is to replace the Tuscan columns and caps with a matching design, using either finger-joint pine as is used today or update to Pine or Fiberglass for the column material. Due to the high effort of maintenance required to maintain the wood tongue and groove decking, this project proposes replacement of the porch flooring with the synthetic material. The preferred material is Aeratis Traditions (https://www.aeratis.com/traditions_porch_flooring), a paintable synthetic tongue and groove board with matching dimensions to the flooring already in place. This material has already been approved for limited use and installed on a neighboring property, 215 E Oklahoma Ave, with positive reviews of the quality of the material by that properties owner. With a setback of approximately 35 feet from the sidewalk, any visible differentiation of materials in the porch flooring will be minimal. The hope is that this material more closely matches the durability of historically used woods as opposed to lower quality materials available today.



Depiction of Aeratis Traditions T&G Porch Flooring

Aeratis Traditions T&G Porch Flooring Dimensions



Lengths: 12', 16', or 20'

Width: 3-1/8" (3.092)

Thickness: 7/8"

Proposed T&G Porch Flooring board dimensions.



Proposed T&G Porch Flooring, installed in neighborhood property.

In addition, this proposal includes removal of the improperly installed wood hand railing and overlay mounted to the existing concrete stairs, and expand the stairs from the current 5.5' width to a 10' width. Inclusive in the proposed expansion is the addition of adjoining cheek walls on either end of the stairs. This design aligns the stairs to run from the eastern most column to the next column to the left. These cheek walls are found commonly within this and adjacent neighborhoods on similar home styles, and would match well to the styling of this house. The expansion of the steps will conceal the asymmetric location of the main entrance to the home as seen between the two eastern most columns, and provide easier to use and more stable access to the home.

The cheek walls are planned to be approximately 13" thick, constructed out of brick and plastered over to match existing foundation covering or poured concrete. This design is commonly found on many structures in the neighborhood.



Nearby structures with similar cheek wall and stair designs to proposal.

Condition of Existing Structure



Street angle view of home, from sidewalk.



Deteriorated wood overlay on concrete steps



Wood overlay on concrete steps and improperly secured handrails



Deterioration of decking.



Rot damage of western most column.



Decomposition of decking around eastern most column, rear side of column



Decomposition of eastern most column due to combination of weather and animal nesting.



Example of bird damage to top cap of columns (Representative of damage on all 4 columns)

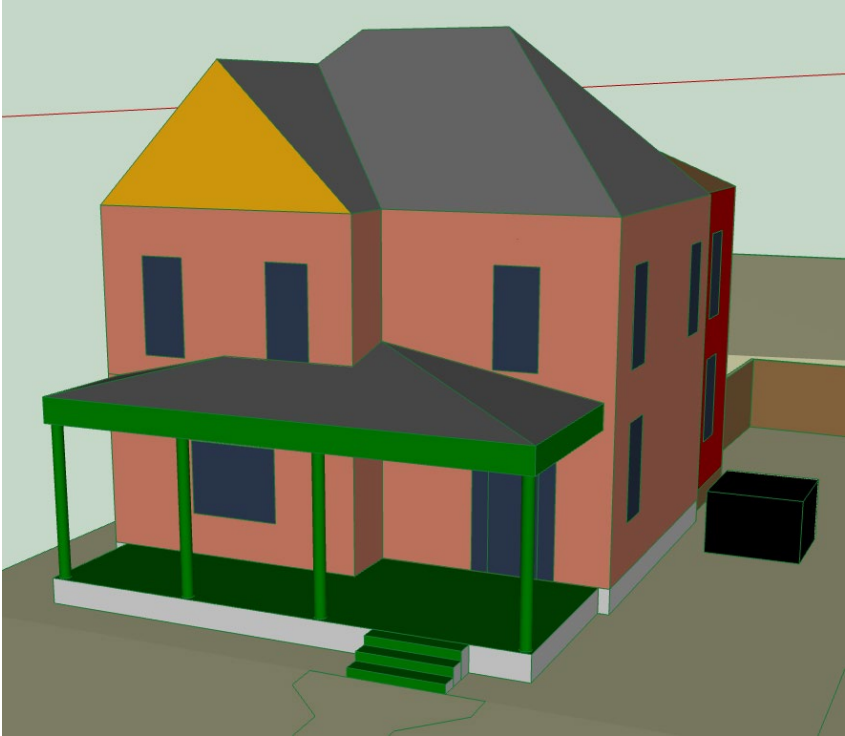
Lot Layout



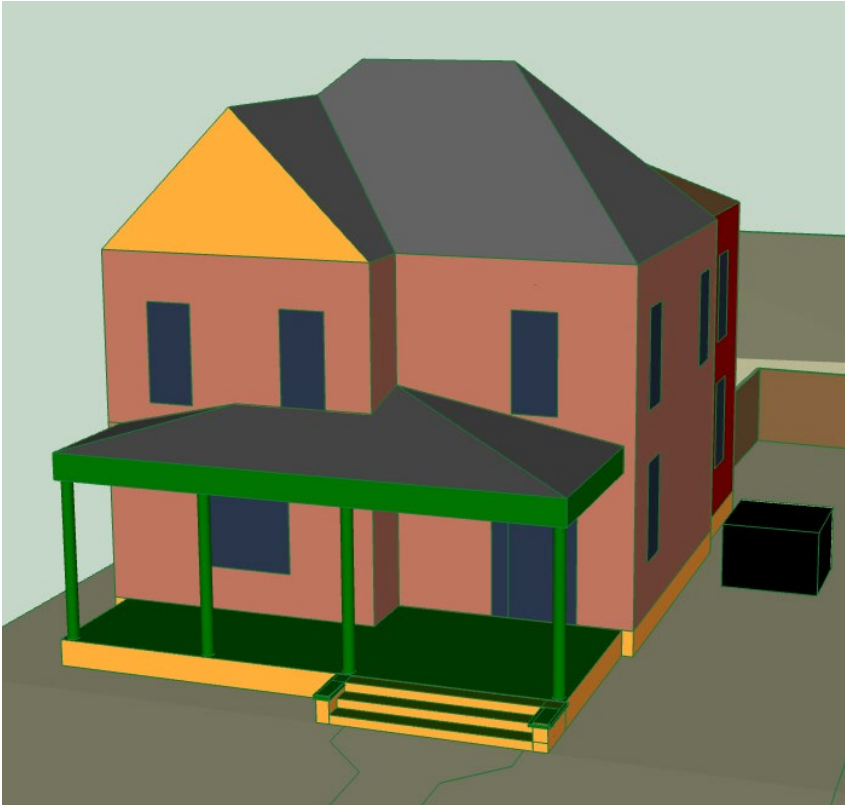
KGIS Aerial Map of existing home and lot compared to surrounding homes and lots.



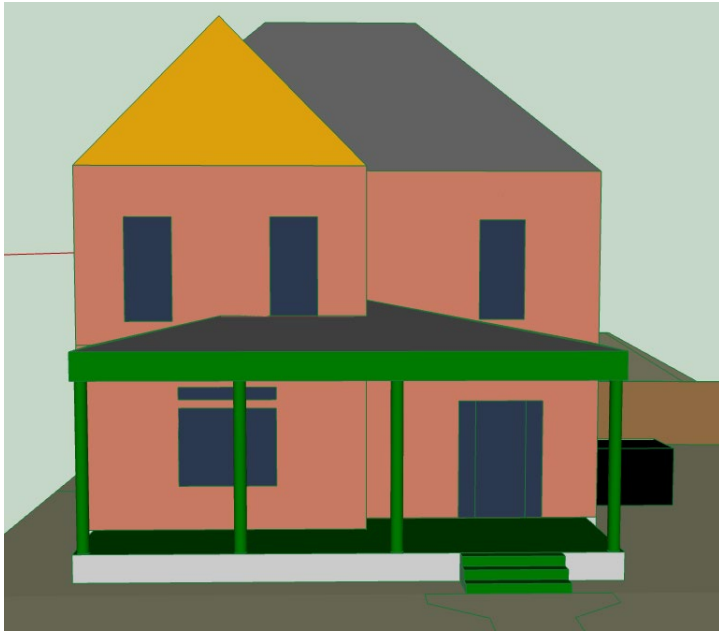
Renderings of Existing Structure Compared to Proposal



Rendering of **existing** structure, street angle view.



Rendering of **Proposed** Stair Expansion with addition of cheek walls, street angle view.



Rendering of existing structure, street angle view.



Rendering of Proposed Stair Expansion with addition of cheek walls, front view.

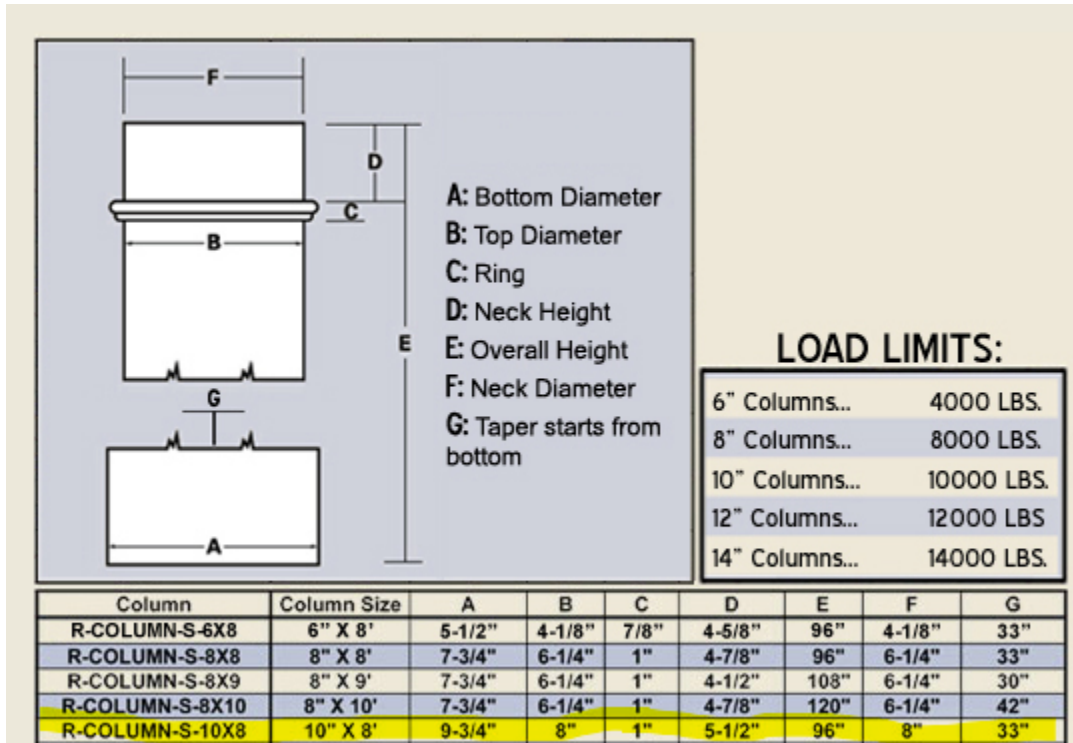
Supplemental Details Regarding Columns

The existing columns on the property are a 10" base diameter smooth, tapered, Romanesque design and are 96" tall. The base and capital are also of a simple Tuscan design. The capitals will require replacement as all four have damage from birds pecking holes into the sides, 2 of which are far beyond repair due to this damage. While the bases look like they may be reusable, there is a risk that damage done to the columns has caused stresses or damage to the bases. If replacement is needed for the bases, the design will be of a similar, simple Tuscan design.

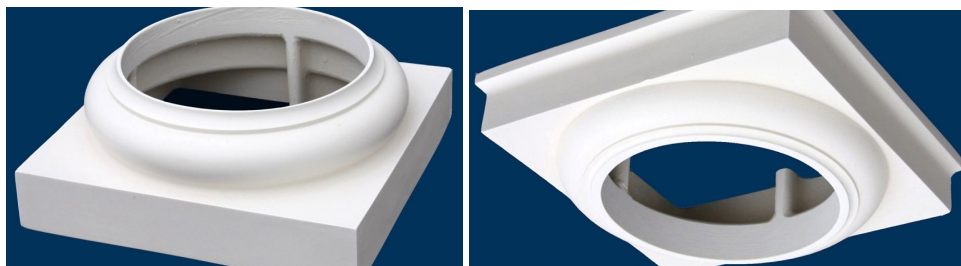


Existing Column Design.

The preferred material for these columns would be to use a modern high quality fiberglass material, painted to match the existing aesthetic design of the house. Due to the extreme damage experienced on these columns, even with routine maintenance, we believe the change of materials will provide the necessary longevity of materials to justify the investment in work.



Example dimensions for proposed columns, specific size highlighted.



Sample design for base and capitals.