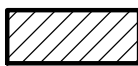




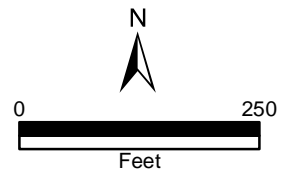
5-A-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1908 Jefferson Ave. 37917
Edgewood-Park City H

Original Print Date: 5/5/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Brett Cummings





Staff Report

Knoxville Historic Zoning Commission

File Number: 5-A-21-HZ

Meeting: 5/20/2021
Applicant: Brett Cummings
Owner: Brett Cummings

Property Information

Location: 1908 Jefferson Ave. **Parcel ID** 82 P H 017
District: Edgewood-Park City H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Minimal Traditional, c.1945

One-story, side-gable residence with an exterior of aluminum siding and a continuous brick foundation. Side-gable, slightly recessed extension projects from the left half of the house. Five bay façade features a half-light door and an exterior brick chimney on the right side.

Description of Work

Level I/II Routine Repair, Construction of Addition or Outbuilding

Level 1 COA Issued 4.5.2021: Replacement of existing asphalt shingle roof on main house with new asphalt shingle roofing.

Level 2 Scope of work: After-the-fact review of new front porch above existing 16' wide by 9' deep concrete porch foundation. Existing concrete foundation is between 5' and 8' tall. 16' wide by 9' deep, flat roof supported by 8' tall, 4" by 4" square wood posts. Porch roof extends across one bay of windows and front door. Roof will be clad in asphalt roll material.

Applicable Design Guidelines

Edgewood-Park City Design Guidelines, adopted by the Knoxville City Council on July 29, 1997.

1. Porches on historic houses shall be repaired or replicated using wood materials for ceilings and floors, balustrades, posts and columns that duplicate the original size and design. Reconstruction of the documented original porch is appropriate.
3. New buildings constructed in Edgewood-Park City must contain front porches large enough to provide seating. The proportion of porches to the front facades is to be consistent with historic porches in the neighborhood. Details such as columns, posts, piers, balustrades and porch flooring and ceilings will be built with materials that are consistent in appearance with historic materials.
4. A wooden porch floor shall not be replaced with concrete, brick, or other masonry materials. These floors can retain moisture and eventually damage the building.

Comments

Review is after-the-fact; porch has already been constructed.

Staff Findings

1. 1908 Jefferson Avenue is listed in the Park City National Register Historic District as a "non-contributing" structure. The NC status relates to the period of significance for the district defined at the time of the 1990 National Register designation, 1880-1940. The 1990 designation stopped at the 50-year mark for determination of contributing structures. If the district were re-surveyed to current standards, the property would most likely be a contributing structure.
2. 1908 Jefferson Avenue is a Minimal Traditional, a form of house built from the early 1940s through the 1950s, characterized by a low-to-medium-pitched roof, rectangular floor plan, one-story height, little or no eave overhangs, and minimal architectural detail. Porches on Minimal Traditionals are commonly small gable- or shed-roof stoops. Many Minimal Traditional houses in Knoxville (in neighborhoods such as Edgewood Park, Belle Morris, and North Hills) feature somewhat wider shed-roof porch extensions on the façade.
3. Guidelines recommend new porches be consistent in proportion with historic porches in the neighborhood (and the historic house), and use "details such as columns [and] posts [...] that are consistent in appearance with historic materials." The proposed (installed) 4 by 4 columns are too small for the proportions of the house or for a historic porch design.
4. In the opinion of staff, the addition of a shed-roof or gable-roof stoop would be most appropriate for a Minimal Traditional house. Drawing on comparable properties in Knoxville, a wider shed-roof front porch may also be appropriate, provided it receive a roof cladding and simple wood fascia and soffits to be compatible with the main house. The flat roof, as constructed, is not compatible with the design of the house.

Staff Recommendation

Staff recommends approval of the front porch addition, with the following conditions:

- 1) the flat roof be modified to be a shed roof, with roof pitch, cladding, and fascia and soffit to be compatible with the primary house;
- 2) the revised design use porch columns larger than 4" by 4", with final drawings submitted to staff for approval.

Alternately, the applicant could remove the porch and install a small shed- or gable-roof stoop to match similar Minimal Traditional designs.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Applicant: Brett Cummings
 Date Filed: 4.1.21 Meeting Date (if applicable): May 2021 File Number(s): 5-A-21-HZ

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Name: Tony Company: Tony's Roofs & Home Repair
 Address: 5908 Millertown Pike City: Knoxville State: TN Zip: 37924
 Phone: 865.455.3820 Email: info@tonyroofs.com

CURRENT PROPERTY INFO

Owner Name (if different from applicant): Mary Cummings Owner Address: 1908 Jefferson Ave. Owner Phone: n/a
 Property Address: 1908 Jefferson Ave. Parcel ID: 082PH017
 Neighborhood: Park City Zoning: _____

AUTHORIZATION

Staff Signature: Lindsay Crockett Please Print: Lindsay Crockett Date: 4.1.21
 Applicant Signature: Brett Cummings Please Print: Brett Cummings Date: 2.9.21

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- Brief description of work:

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- Brief description of work: *replace roof & upgrade aluminum awning with covered porch*

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

- Brief description of work:

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

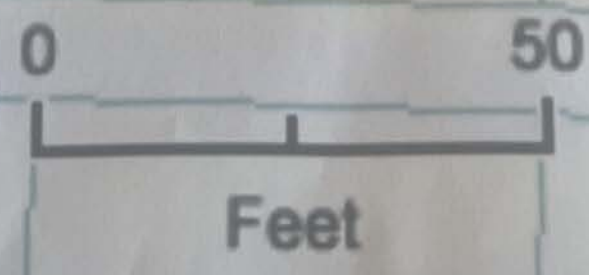
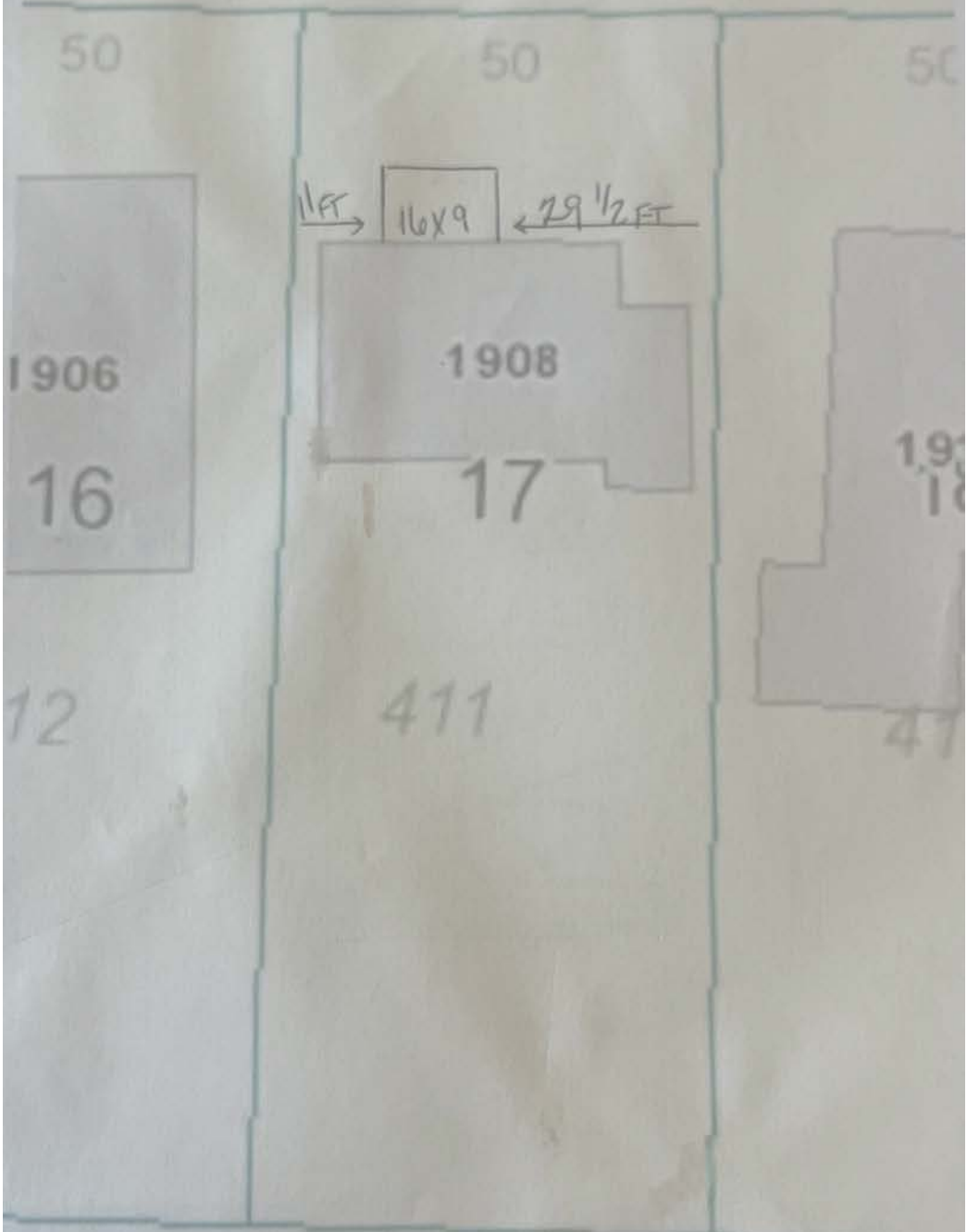
TOTAL:

FEE 2:

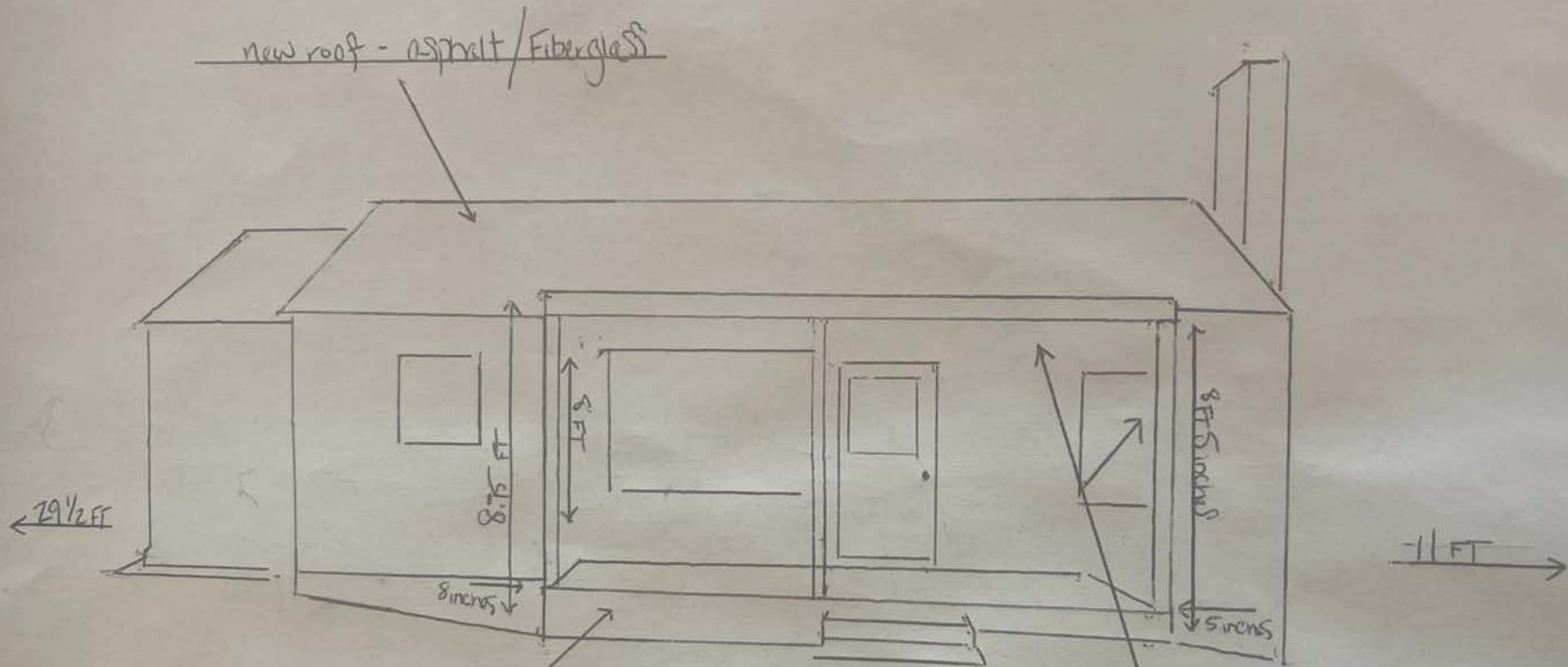
FEE 3:

$3/32 = 1 \text{ FT}$

1908 Jefferson Ave



1908 Jefferson Ave



replace existing concrete porch to exact 16x9 dimensions

covered porch addition - 8 FT 4x4 column (3) with 2x8 treated framing

