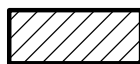




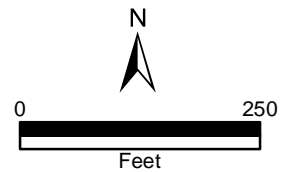
3-J-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



401 E. Oklahoma Ave. 37917
Old North Knoxville H

Original Print Date: 3/9/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: David Holmes



Meeting: 3/18/2021
Applicant: David Holmes
Owner: David Holmes

Property Information

Location: 401 E. Oklahoma Ave. **Parcel ID** 81 L W 024
District: Old North Knoxville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Queen Anne cottage, c.1910

One-story frame with hipped roof with cross gables. Wood weatherboard wallcovering. Asphalt shingle roof covering and wood shingles in gable ends. Double-hung one-over-one windows with cottage window on front façade. One-story one-half front porch with turned wood posts. Two interior offset brick chimneys. Brick foundation. Irregular plan. Projecting bay on north elevation.

Description of Work

Level II Construction of Addition or Outbuilding

Proposed new accessory structure (accessory dwelling unit) to be located behind the primary residence. Overall form and design was reviewed and approved with conditions by the HZC in November 2020. Due to the completion of a survey and site plan constraints; applicant is proposing the rotation of the previously reviewed structure by ninety degrees, with the garage door now facing the alley. Previously approved structure measured 30' wide by 21' deep; new structure to measure 28' wide by 22.5' deep. Structure to be placed to the rear of the primary residence, set 10' from the rear lot line and 5' from the interior side lot line.

Accessory dwelling unit to feature a 9/12 gable roof clad in asphalt shingles, with the front gable fields aligned with the alley (garage elevation) and the primary residence. 3/12 shed-roof dormers are centered on each roof slope, featuring 1/1 double hung wood windows (32" wide over 48" tall, centered over lower windows).

Revisions also include smaller windows on the first story; all windows on the first floor are proposed to be 36" by 36". New design also includes a door on the leftmost bay of the west elevation.

As previously reviewed and approved, the shed will rest on a concrete slab foundation and be clad in fiber cement (Hardie Plank) lap siding.

Applicant is also requesting a modification to the previously issued COA, which included the condition that the gable fields be clad in shingle siding, to connect the structure with the primary residence. The applicant is proposing painted lap siding instead of previously requested shingles.

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

M. Auxiliary or Outbuildings

1. The design of outbuildings such as garages shall acknowledge and suggest the function of original outbuildings that would have been located in the neighborhood.
2. The design of features like garage doors that face the street shall mimic carriage house doors from an era consistent with the primary building on the lot.
3. Garages shall be located to the rear of the primary building on the lot.
4. Materials used in constructing outbuildings or accessory buildings may only use materials and design characteristics selected from the following list: wood lap siding with a four-inch lap or board-and-batten; a 12/12 roof pitch; overhanging eaves; exposed rafter tails; wood windows; masonry but not exposed concrete block or split-face block; garage doors appearing to be carriage doors or plank doors with x-bracing or perimeter reinforcing timbers.

New Building Construction

H. Scale and Massing

1. Relate the size and proportions of new structures to the scale of adjacent buildings.
4. New buildings must reinforce the scale of the neighborhood by their height, width, and massing.
6. Roof shapes must relate to the existing buildings, as must roof coverage.

SOI Standards:

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Comments

See 10-K-21-HZ (reviewed and postponed October 2020, revised and approved with conditions November 2020 - <https://knoxmpc.org/cases/10-K-20-HZ>) for previous discussions on the case.

Staff Findings

1. 401 E. Oklahoma Avenue is a contributing resource to the Old North Knoxville Historic District and local overlay. The overall footprint, massing, and general design and proportions of the proposed accessory structure were reviewed and approved with conditions by the HZC in November 2020 (10-K-20-HZ).
2. The new application proposes rotating the new structure 90 degrees, orienting the garage door towards the alley, and modifying the footprint slightly (from 30' wide by 21' deep to 28' wide by 22.5' deep). The structure will still be located to the rear of the primary residence, 10' from the rear lot line and 5' from the interior side lot line. Per City Zoning ordinance (10.3.P.2.a), when a detached garage is served by an alley, the minimum required setback from the rear lot line is 12' when garage doors are oriented to the alley.
3. Rotating the structure 90 degrees from the previous approval does not significantly modify the proposed structure's effect on the primary residence or neighborhood context.
4. Shrinking the first-story windows to 36" by 36" makes them disproportionately smaller than the dormer and gable windows on the second story, and create larger expanses of blank walls. In staff's opinion, the previously-reviewed window sizes should remain in the new design.
5. The west elevation now includes a door on the left side instead of centered on the elevation. The header height of the door should be aligned with the windows' header height.

6. Previous discussions focused on the structure's overall massing, height in relation to the primary structure (not modified from previous approval), and how to best connect the structure with the primary residence on the lot. The condition of approval identified in November 2020 was to include shingles in the gable fields to match the shingles on the primary residence. This design tactic was intended to break up the large massings and connect the outbuilding with the primary residence.

Fiber cement board (HardiePlank) was approved as the structure's siding material; HardiePlank shingles are applied as swaths of siding instead of individually cut shingles. Fiber cement shingles are significantly more thin than wood shingles and the "random width" product does not sufficiently reflect the depth and detail of sawn wood shingles. In staff's opinion, the applicant should either install shingles cut specifically to match the main house, or use a painted lap siding with a horizontal trim piece separating the gable field from the first story.

Staff Recommendation

Staff recommends approval of Certificate 3-J-21-HZ, with the following conditions:

- 1) Revise site plan to show 12' minimum rear setback from the alley;
- 2) Retain previously-approved first-story window sizes;
- 3) Align west elevation door header with windows;
- 4) Install shingles cut specifically to match the main house or use a painted lap siding with a horizontal trim piece separating the first story from upper gable fields.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

David Holmes

Applicant

03/01/21

03/18/21

3-J-21-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

David Holmes

Name

Company

401 E Oklahoma Ave

Knoxville

TN

37917

Address

City

State

Zip

423-231-8290

DHolmes24@gmail.com

Phone

Email

CURRENT PROPERTY INFO

David Holmes

401 E Oklahoma Ave

423-231-8290

Owner Name (if different from applicant)

Owner Address

Owner Phone

401 E Oklahoma Ave

81LW024

Property Address

Parcel ID

Old North Knoxville

RN-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

3.1.21

Date

David A. Holmes

Applicant Signature

David Holmes

Please Print

03/01/21

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: **Revision of previously approved COA for new accessory structure. Rotation of structure 90 degrees and minor revisions to door/window location/sizes.** _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:

New Accessory Structure / ADU

Proposed Accessory Structure to be 1.5 story carriage house built on slab foundation with 630 sq ft footprint. Lower level consists of 1 car garage with carriage style doors, and separate workshop/storage area accessible from rear yard. Upper level is mother in law suite with exterior entrance and interior staircase.

Lot size 45'x165'

From previously approved design, proposed changes include:

Rotation of structure 90 degrees, and minor change to dimensions from 21'x30' to 28'x22.5' (same footprint). Rotation places garage door facing the alley.

Entry door moved to facilitate entry stairs on the west elevation. Windows on south elevation reduced in size to make all lower level windows 36"x36". Upper windows increased from 30" to 32" width.

Proposed 19' wide parking area reduced to 12'.

Change of main roof pitch from 9/12 to 10/12 to keep relationship with dormers as they tie into main roof. Dormer pitches unchanged at 3/12.

Site Plan

10' Setback

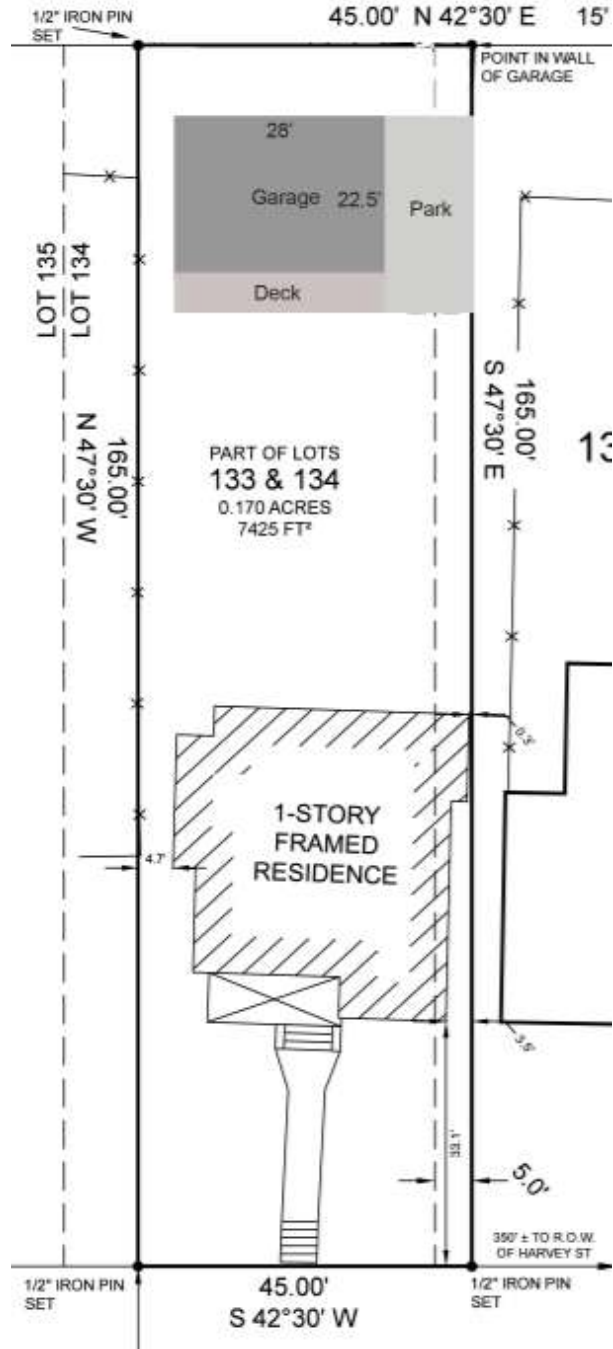
28' Width

5' Setback

22.5' Length



Engineered Retaining wall meeting IRC R404, ~ 4ft in height to build up to alley height



Retaining wall to be engineering retaining wall meeting IRC R404 with CMU block, concrete fill, and rebar support. CMU wall to be faced with salvaged brick from previous projects on Forest Ave.

Zoning Concerns:

Lot Details: 45'x165' = 7425 sq ft meets Recode minimum of 5000 sq ft

Primary Structure Building Footprint (includes front porch): 1596 sq ft

Proposed ADU Footprint: 22.5'x28' = 630sq ft = 39.4% of primary structure, meets Recode limit of 40%

Total Lot Coverage = 1596 + 630 = 2226 / 7425 = 29.9% coverage, meets Recode limit of 30%

Proposed ADU will be set back 10' from rear lot line, meets zoning requirement

Proposed ADU will be set back 5' from side lot line, meets zoning requirement

Proposed ADU will have height of 16.75', meets zoning requirement

Main house Height is conservatively estimated to be 19.375'.

(from grade at front, ~1 ft foundation, 1 ft floor joists, 10 ft main level, 1 ft floor joist, [12.75 ft to roof peak / 2 = 6.375 ft] =19.375 height.

Elevation - East



Lower windows - 36"x36" for countertop height, set 5.5' from left wall.

Upper windows - 32"x48" (one in BR to be casement for egress), Centered over lower windows

Elevation - West



Door - 36"x80"

Windows 36"x36" for countertop height, spaced 3' from edge of structure and door.

Dormer offset 2 ft on each side.

Upper windows - 32"x48" (one in BR to be casement for egress), set to match spacing on opposite side.

Elevation - North (alley)



Garage Door - 9' wide by 7' high

Upper window - 32"x48" centered.

Main roof pitch - 10/12, Shed roof pitch 3/12

Overall Height 16.75'

No window in lower area facing alley as previously approved.

Garage Door - 9' wide by 7' high

Main roof pitch - 9/12, Shed roof pitch 3/12

Overall Height 16.75'

Elevation - South (yard)



Lower windows - 36"x36", offset 4.5' from each side to edge of window

Door - 36"x80", centered

Sawn Detail in gable similar to front of main house to reduce blank space.

3d Views: (Before Left, After Right)

Before



After



Before



After



Before



After



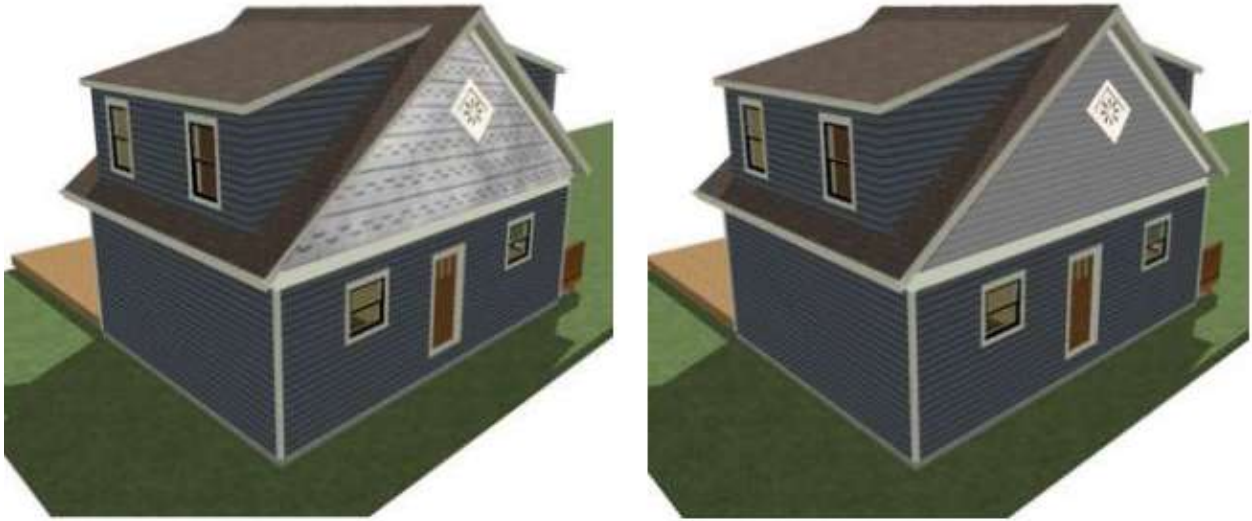
Before



After



Gable Siding Detail: (Images reference only for gable siding detail)



In previous COA siding was determined to be hardi shingle siding for gable with intent to match detail on front of main house. The Hardie Shingle product only comes in random width which would not be able to duplicate main house front gable detail which requires fixed length shingle in tedious pattern over large area. Would require custom rip and install of over 3000 individual shingles at 4 inch spacing.

Hardie Shingle Detail - Random Width does not match main house but is constructable.



Would lap siding painted offset color be more appropriate? Side gable of main house is lap siding instead of shingled pattern.