

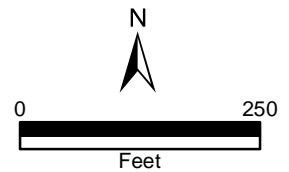
3-I-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1111 Eleanor St. 37917
 Fourth and Gill H

Original Print Date: 3/9/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Marshall Prado





Staff Report

Knoxville Historic Zoning Commission

File Number: 3-I-21-HZ

Meeting: 3/18/2021
Applicant: Marshall Prado
Owner: Marshall Prado

Property Information

Location: 1111 Eleanor St. **Parcel ID** 81 M H 005
District: Fourth and Gill H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Queen Anne, c.1910

One-story residence with a hipped roof with lower projecting gables, clad in asphalt shingles, an exterior of aluminum siding, and a brick foundation. A hipped-roof porch extends two-thirds of the façade (east) supported by metal posts. A portion of the front porch has been enclosed. Replacement windows.

Description of Work

Level II Removal of Artificial Siding, Routine Repair, Major Repair or Replacement
Removal of non-historic prefabricated accessory structure in rear.

New secondary structure to be recessed behind primary structure; measuring 8' wide by 12' long. Pending variance approvals from the Board of Zoning Appeals, secondary structure will be located 1'-4" from interior (left side) property line and 3'-6" from the rear property line. The shed features a low-slope (1/12) metal roof with parapet, wood board-and-batten siding, and a post and beam foundation. The shed features a wood double door on the north elevation, and a single-light wood picture window on the east elevation.

Removal of existing wrought iron columns and railing and installation of turned wood posts with a square picket railing. On the front gable field, applicant proposes new square cedar shingles with a square wood attic vent to match original.

Revision to previously approved rear addition; previous approval included single-light wood casement windows with wood transoms. Applicant now proposes windows in the same design and placement, but aluminum-clad wood material instead of wood.

Application includes a new curb cut for a driveway extension. The driveway includes two strips of permeable pavers, measuring 35' long by approximately 10' wide. The driveway is proposed for the left (south) side of the house's façade, extending off Eleanor Street.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Porches

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the

original size and design. Reconstruction of the documented original porch is also appropriate.

Wall Coverings: Wood

4. Repair wooden features by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or with other compatible substitute materials, when elements remain and can be copied.
7. An entire wooden feature that is too deteriorated to repair or is completely missing should be replaced in kind. If features are replaced, the materials they are made from should be compatible with the original in size, scale, and material. Replacement parts should be based on historical, pictorial, and physical documentation.
11. The removal of synthetic sidings such as aluminum, asbestos, and vinyl and the restoration of the original siding is highly encouraged.

Outbuildings

1. Buildings resembling servants' quarters or carriage houses, work buildings, or simple one story garages are appropriate to be constructed in the Fourth and Gill Historic District. Their size and construction should use materials that correspond to the original primary buildings on the lot.

Demolition

3. Demolition may be considered if the building does not contribute to the historical or architectural character of the district.

Driveways and Paving

New curb cuts and parking lots should be kept to a minimum. The addition of curb cuts results in removing historic sidewalks, curbs, or retaining walls. Access through alleys is preferable to adding curb cuts, or allowing front yard parking. Traditional driveway paving materials include smooth concrete or the "diamond chip" paving prevalent in Knoxville in the late 1890s.

Comments

N/A

Staff Findings

1. 1111 Eleanor Street is a contributing resource to the Fourth and Gill Historic District and local overlay.
2. The accessory building proposed for demolition is not a historic outbuilding and does not contribute to the integrity of the overall property or surrounding blocks; it is a pre-fabricated metal shed with no unique architectural features. Removal of the existing shed is appropriate.
3. The proposed outbuilding will be recessed behind the primary residence and an existing wood fence. The shed is proposed to be set 1'-4" from the interior (left side) property line and 3'-6" from the rear property line; base zoning requires a minimum of 5' from property lines. The proposal is scheduled for review by the Board of Zoning Appeals on 3/16/21. If the necessary variances for setbacks and building coverage are denied, a revised site plan will need to be submitted.
4. The new shed is minimal in size and massing, and will use a wood board-and-batten siding to reflect wood siding on the original house. Due to the lot's topography, the top of the flat-roof shed will be visible above the existing wood fence, though recessed towards the rear of the lot. Guidelines encourage relating new outbuildings to the design and construction of the primary house. Past new sheds have integrated a pitched roof (including a shed roof, placed such that it resembles a gable roof when viewed behind a fence/the main house), siding materials, or minor decorative details to further connect the outbuilding with the primary house.

5. Removal of the non-historic wrought iron columns and railing meets the design guidelines. The proposed turned wood columns and square wood pickets are compatible with the historic house and similar designs in design and material. Final specifications should be submitted to staff with dimensions of turned wood columns and balustrade. The turned wood columns should reflect the originals in size and scale (visible in paint ghosts on the porch beam). Balusters should be set into the top and bottom rails of the guardrail.
6. The new attic vent is based on documentation of the original detail and meets the design guidelines. The Commission should discuss the installation of cedar shingles in the front gable field without documentation of the originals; however, the currently-visible asphalt shingles may have been installed to replace original wood shingles. The new cedar shingles are proposed for a small section of the front gable field, are not overly elaborate or detailed, and similar in size and placement to comparable houses in the district.
7. The application includes the revision of previously-approved wood windows on the addition to aluminum-clad wood. In staff's opinion, the use of aluminum-clad wood windows on the new addition is appropriate, as they are proposed for rear/recessed elevations of a new construction addition which will not be visible from the public right-of-way.
8. The application does include a new curb cut, which guidelines note "should be kept to a minimum," especially when the addition of curb cuts "results in removing historic sidewalks, curbs, or retaining walls." The proposed parking would continue an existing pattern; there are at least five existing curb cuts off the 1100 "block" of the west side of Eleanor Street. There is an operable alley behind the house, though topographic and lot constraints may not make rear yard parking possible. The installation of a new curb cut would not require the removal of historic sidewalk, curb, or retaining wall materials. The proposed two strips of permeable pavers will not have a detrimental effect on the house or the block's historic context.

Staff Recommendation

Staff recommends approval of the work with the following conditions: 1) submit final dimensions of porch columns and balustrade for approval by staff; 2) incorporation of additional elements connecting the shed with the original house, with approval by staff; and 3) if the applicant does not receive the necessary variances at the 3/16/21 BZA meeting, a revised site plan showing placement and dimensions of the shed should be submitted.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Applicant

March 18, 2021

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Name

Company

Address

City

State

Zip

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

Property Address

Parcel ID

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett
3.1.21

Staff Signature

Please Print

Date

[Handwritten Signature]

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

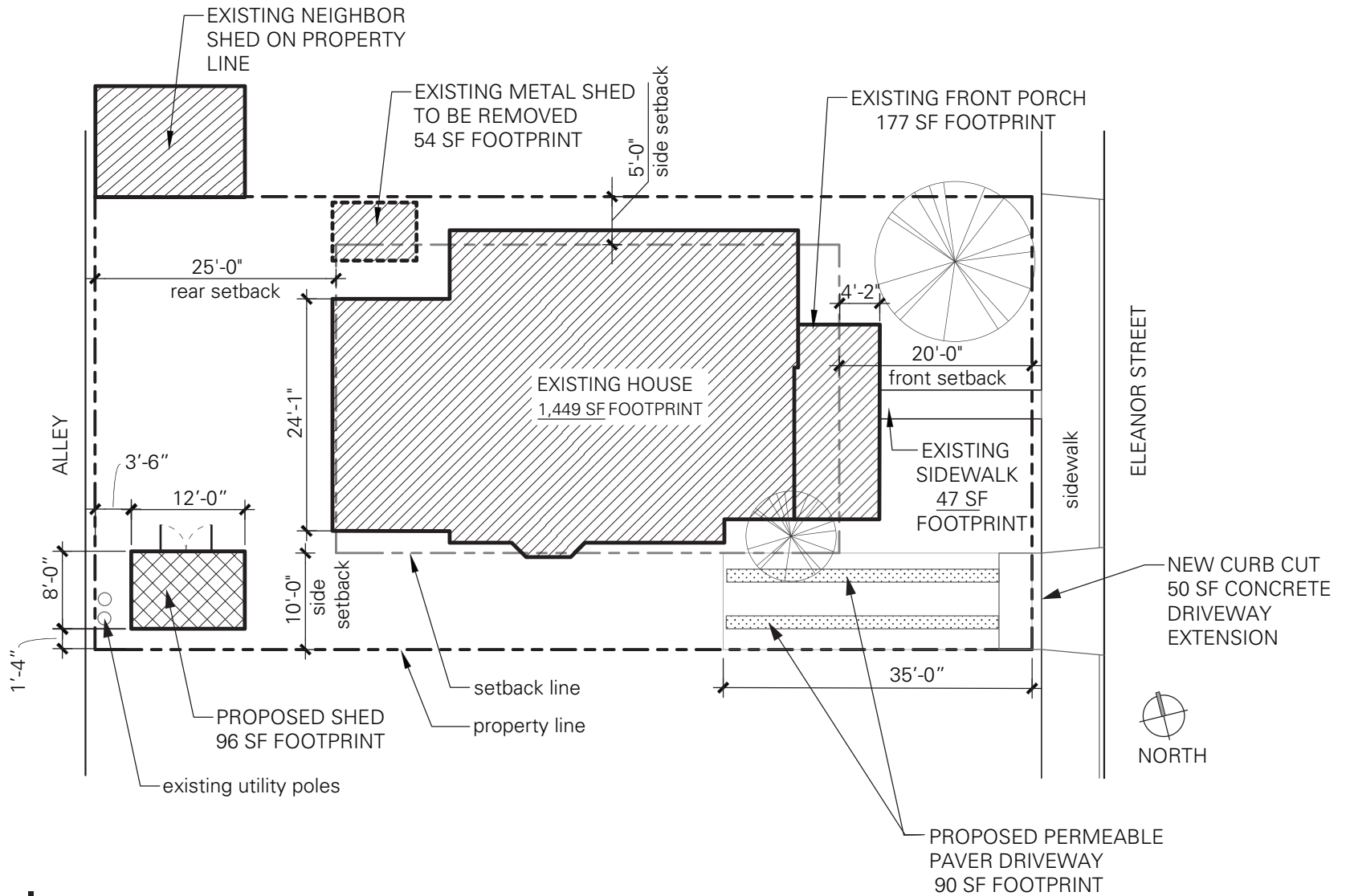
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:




FEE 3:

TOTAL:



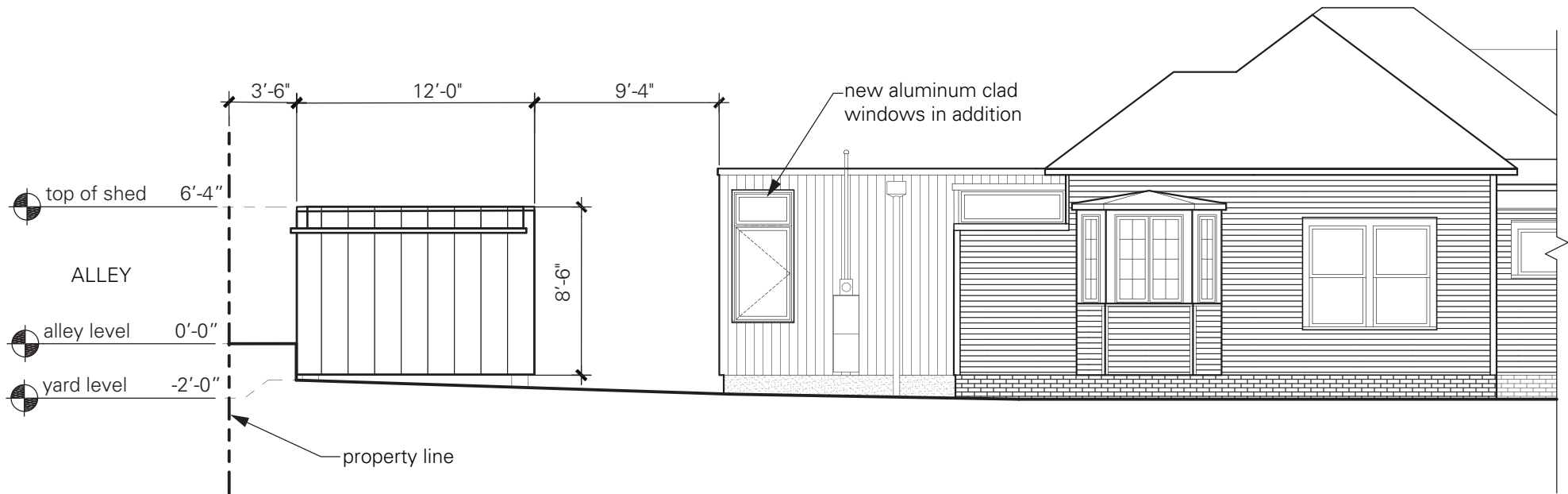
site plan

1/16" = 1'-0"

-  = proposed permeable pavers
-  = existing structure
-  = proposed structure

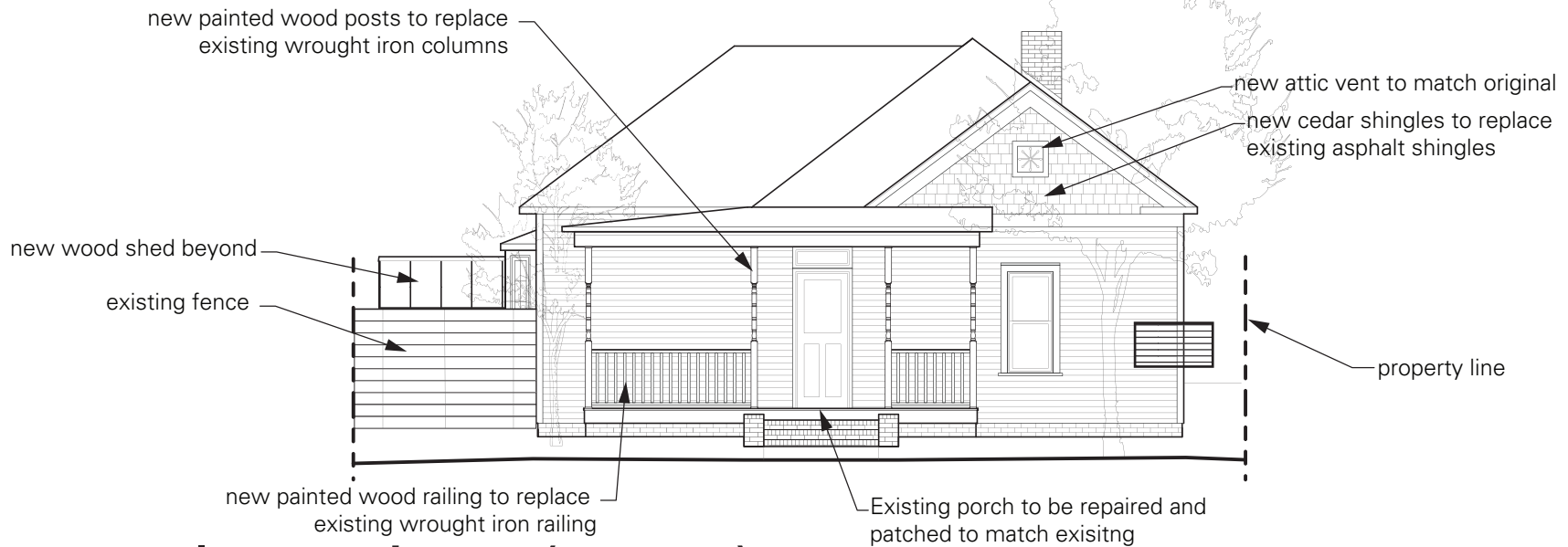
LOT COVERAGE:
 LOT SIZE = 4,568 SF
 EXISTING HOUSE, FRONT PORCH AND SHED = 1,680 SF
 EXISTING SIDEWALK = 47 SF
 EXISTING BUILDING COVERAGE = 36.7%
 EXISTING IMPERVIOUS SURFACE = 37.8%

PROPOSED CHANGES:
 NET BUILDING COVERAGE INCREASES BY 42 SF
 IMPERVIOUS SURFACE INCREASES BY 50 SF
 PERVIOUS SURFACE INCREASES BY 90 SF
 PROPOSED BUILDING COVERAGE = 37.7%
 PROPOSED IMPERVIOUS SURFACE = 38.8%



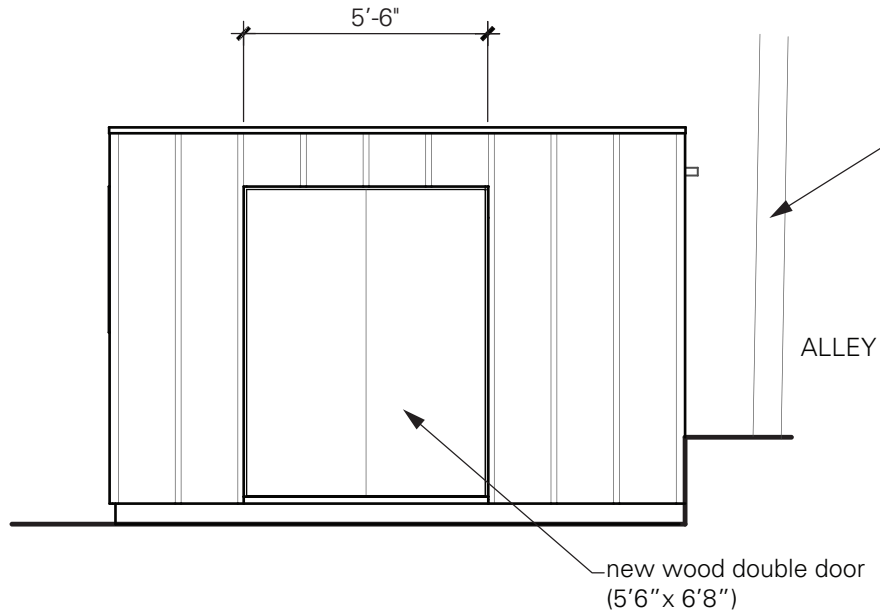
side elevation (south)

1/8" = 1'-0"



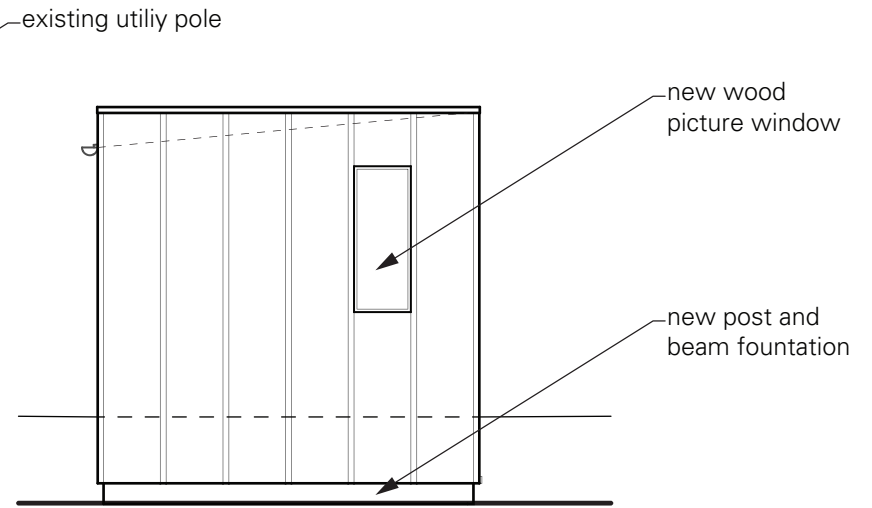
front elevation (east)

1/8" = 1'-0"



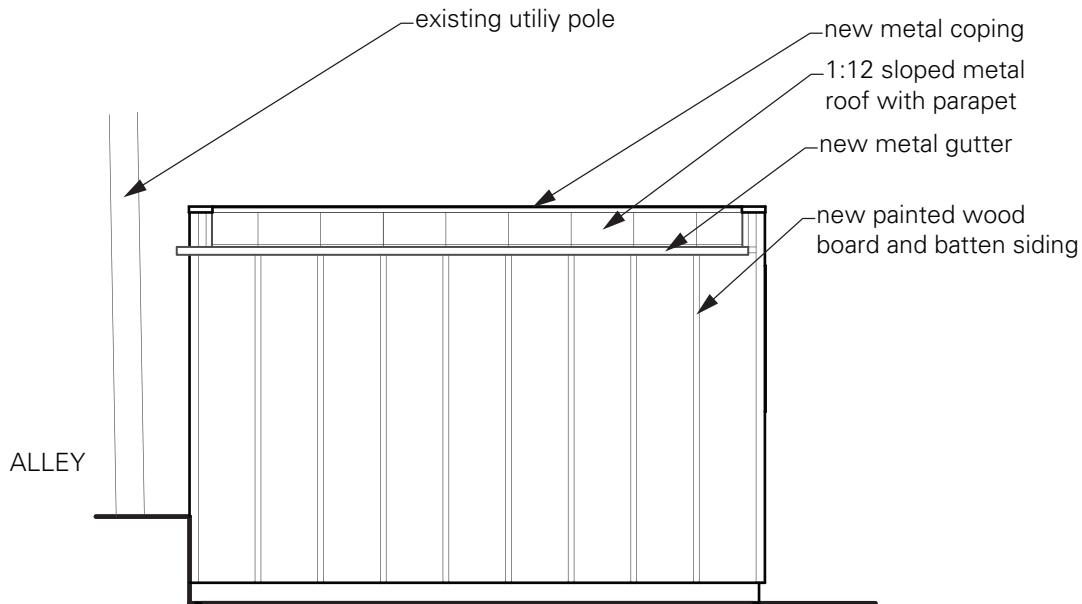
shed elevation (north)

1/4" = 1'-0"



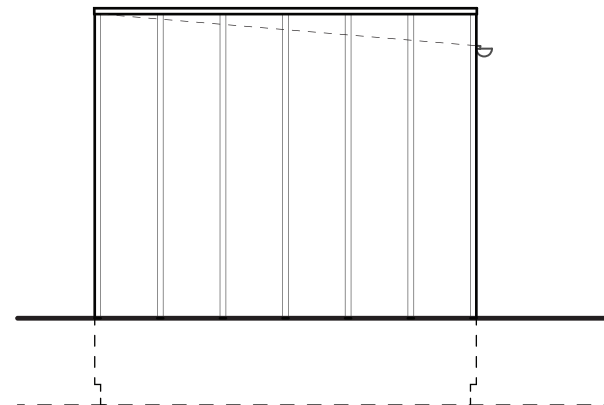
shed elevation (east)

1/4" = 1'-0"



shed elevation (south)

1/4" = 1'-0"



shed elevation (west)

1/4" = 1'-0"

Existing shed to be removed



Existing partial attic vent to be remade



Existing front elevation