



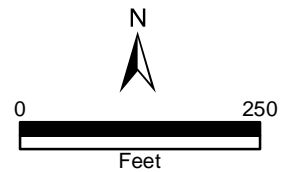
3-H-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



712 Morgan St. 37917
Fourth and Gill H

Original Print Date: 3/9/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Carl Lansden



Meeting: 3/18/2021
Applicant: Carl Lansden
Owner: Carl Lansden

Property Information

Location: 712 Morgan St. **Parcel ID** 94 D J 032
District: Fourth and Gill H
Zoning: RN-3 (General Residential Neighborhood)
Description: Queen Anne, c.1900

Two-story frame residence with a cross-gable roof clad in asphalt shingles, an exterior of vinyl siding, and a continuous brick foundation. A two-story, hipped roof porch wraps around a centrally-located front-gable massing. The porch features square wood posts with decorative wood brackets and a non-historic balustrade on the second story.

Description of Work

Level I/II Removal of Artificial Siding, Routine Repair, Major Repair or Replacement

Removal of vinyl siding and repair to wood clapboard siding, trim, and cornerboards underneath. If replacement is necessary, new siding and wood trim will be installed, with placement and dimensions to match original materials. Repair and repointing to foundation masonry to meet NPS Preservation Brief 2. Repair to existing windows and installation of storm windows. Repair to existing wood handrail on second story balcony. Level 1 scopes of work approved 3/8/21; rest of work to be reviewed at 3/18/21 HZC meeting.

Removal of door on left side of façade and replacement with a two-over-two, double-hung wood window. Window will be 38" wide by 77" tall, featuring flat wood trim to match the house's window trim.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Entrances

1. Entry features that should be preserved include sidelights and transoms of plain, patterned, beveled or stained glass, fan light windows, entablatures, and the original doors. All add character to the structures within the Fourth and Gill Historic District.
2. It may be appropriate to design or construct a new entrance if the historic one is missing. ... Entrances should not be removed when rehabilitating a building, either in adapting to a new use or continuing a historic one.
4. Secondary entries should be compatible with the originals in size, scale, or materials but should not give the appearance of a primary entrance.

Wall Coverings: Wood

11. The removal of synthetic sidings such as aluminum, asbestos, and vinyl and the restoration of the original siding is highly encouraged.
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Windows

7. It can be appropriate to design and install additional windows on the rear or another secondary elevation. The designs should be compatible with the overall design of the building.

Secretary of the Interiors Standards for Rehabilitation

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Comments

N/A

Staff Findings

1. 712/714 Morgan Street is a contributing resource to the Fourth and Gill National Register Historic District and local overlay.
 2. The majority of the proposed work includes removal of non-historic siding elements, repair of intact wood siding and replacement in-kind, and masonry repair and repointing to the foundation; these elements meet the design guidelines and have been approved as a Level 1 COA.
 3. The left side door was removed without a COA and enclosed with vinyl siding, as the historic duplex is being converted to a single-family house. The guidelines note that "entrances should not be removed when rehabilitating a building, either in adapting to a new use or continuing a historic one." SOI Standards also note that "alteration of features ... that characterize a property shall be avoided." While a building's use is not the purview of the HZC and converting a duplex to a single-family residence is permissible in the base zoning, the guidelines discourage removing original entrances.
 4. The removed door was a half-light, three-pane wood door which matched the right side door; the two doors are character-defining features of the historic duplex. The proposed two-over-two, double-hung wood window to replace the door does match existing wood windows but would not reflect the original door in size, placement, or design.
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Staff Recommendation

Staff recommends denial of the door's removal, and reinstallation of the door with placement and trim to reflect original dimensions and placement of the right side door.

(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices or email it to applications@knoxplanning.org.



Planning
KNOXVILLE | KNOX COUNTY

DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Carl H Lansden

Applicant

3/1/21

Date Filed

Meeting Date (if applicable)

3-H-2(-HZ)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Carl H Lansden

Name

Company

1201 Clinch Ave

Address

Knoxville

City

TN

State

37916

Zip

(865) 414-8492

Phone

Lansdenlandmarks@gmail.com

Email

CURRENT PROPERTY INFO

SAME

Owner Name (if different from applicant)

Owner Address

Owner Phone

712 Morgan Street

Property Address

09403032

Parcel ID

4th & Gill

Neighborhood

RN-3

Zoning

AUTHORIZATION

[Signature]
Staff Signature

Marc Payne
Please Print

3/1/21
Date

Carl H Lansden

Applicant Signature

Carl H Lansden

Please Print

3-1-21

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: Remove ~~existing~~ vinyl siding + repair wood lap boards and paint exterior. Tuck point brick on foundation. Glaze windows and install storm windows. Repair handrail on upstairs balcony. Install new gutters

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Remove fixed door w matching two over two wood windows

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	TOTAL:
0701 : 100.00	
FEE 2:	
FEE 3:	100.00



Google Streetview showing door prior to removal

Photo submitted by applicant



Photo taken by staff



Photo taken by staff