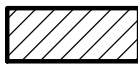




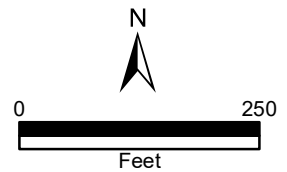
**6-E-21-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**215 E. Oklahoma Ave. 37917**  
**Old North Knoxville H**

Original Print Date: 6/8/2021  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Kelly Arsenault Scott Angelus



**Meeting:** 6/17/2021  
**Applicant:** Kelly Arsenault Scott Angelius  
**Owner:** Kelly Arsenault Scott Angelius

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## Property Information

**Location:** 215 E. Oklahoma Ave. **Parcel ID** 81 L S 019  
**District:** Old North Knoxville H  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**Description:** Queen Anne, c.1900

Two-story residence with wood weatherboard wall covering and a brick foundation. House features a hipped roof with lower cross gables clad in asphalt shingles, wood shingles in gable, and a pedimented lintel above attic windows. Two-story, three-quarter front porch featuring round Doric columns and a turned wood balustrade.

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## Description of Work

Level II Construction of Addition or Outbuilding

New secondary structure (garage/accessory dwelling unit). Outbuilding will be located behind primary residence and oriented to the alley, set 5' from the interior side property line and recessed approximately 40'-1" behind the primary house. Outbuilding will measure 29'-4" wide by 22'-11" deep, with a 678 sq. ft. footprint.

The outbuilding is a one-and-one-half-story, rectangular structure with a 12/12 pitch, side-gable roof clad in asphalt shingles. The exterior is clad in smooth-finish HardiePlank lap siding with a 4" exposure, and the building will rest on a concrete slab foundation. Exterior details include 1' eave overhangs, 5.5" HardieTrim rake board and frieze boards, a 5/4 x 10 smooth-finish HardieTrim belt band with a drip cap dividing the first story from the upper gable fields, and 5/4 x 4 smooth-finish Hardie cornerboards. Windows are one-over-one, double-hung wood windows and four-light fixed wood windows.

On the southeast elevation (labeled front elevation, facing backyard on drawings), paired, one-third light doors are centered on the first story. The doors measure approximately 7' tall, with a 17" diameter barn light with goose-neck arm centered above. A gable-roof dormer is centered above the doors, with a 12/2 pitch roof with 1' eave overhangs, two adjoining one-over-one, double-hung wood windows, and a detail in the window head casing to match window detail on the main house.

On the southwest elevation (labeled side elevation, facing neighboring garage on drawings), one one-over-one, double-hung wood window is centered on the gable field.

The northwest elevation (rear elevation, facing alley) features two adjoining 7' tall steel garage doors with a cross-bracing detail, flanked by round barn lights with gooseneck arms to match the front elevation. A shed dormer (4/12 pitch) with three fixed four-light windows is centered on the roof slope.

The northeast elevation (side elevation, facing yard) features a single one-third light door on the left side and

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paired, flush, steel secondary doors on the right side. Two adjoining double-hung, one-over-one wood windows are centered on the gable field.

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## Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

### M. Auxiliary or Outbuildings

1. The design of outbuildings such as garages shall acknowledge and suggest the function of original outbuildings that would have been located in the neighborhood.
  2. The design of features like garage doors that face the street shall mimic carriage house doors from an era consistent with the primary building on the lot.
  3. Garages shall be located to the rear of the primary building on the lot.
  4. Materials used in constructing outbuildings or accessory buildings may only use materials and design characteristics selected from the following list: wood lap siding with a four inch lap or board and batten; a 12/12 roof pitch; overhanging eaves; exposed rafter tails; wood windows; masonry but not exposed concrete block or split-face block; garage doors appearing to be carriage doors or plank doors with x-bracing or perimeter reinforcing timbers.
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## Comments

N/A

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## Staff Findings

1. 215 E. Oklahoma Avenue is a contributing resource to the Old North Knoxville National Register Historic District and local overlay.
  2. To move forward with the proposed project, the applicant has applied for variances related to rear yard setbacks, lot coverage, and parking. The staff recommendation is contingent on the applicant securing the necessary variances as the 6/15/2021 BZA meeting; otherwise, a revised site plan may be necessary. If the base zoning code requires the outbuilding to be moved slightly closer to the primary house, a revised site plan could be approved by staff.
  3. The proposed outbuilding is located to the rear of the primary residence, recessed approximately 40' from the main house and oriented towards the alley. Placement of the outbuilding is appropriate. Due to the height of the 2.5-story primary residence and narrow lot widths, the outbuilding would be very minimally visible from E. Oklahoma Avenue, if visible at all.
  4. Using the City of Knoxville's height measurement (measuring to the midpoint between eaves and ridge), the 1.5-story outbuilding measures approximately 17'-8.75" tall. From ground-level to roof peak is approximately 24' tall. The house measures approximately 38' tall to roof peak. The 1.5-story, rectangular outbuilding is clearly secondary (but complementary) in scale and massing to the primary residence. Overall height, scale, and massing are appropriate for a garage/accessory dwelling unit.
  5. The side elevations front properties' rear yards which also have garages in similar locations, and will not be visible from the right-of-way. The side elevations use a belt band detail, upper-level windows, and two doors on the northeast elevations to break up large masses of siding. Roof dormers add additional complexity to the side elevations.
  6. Design guidelines recommend: wood lap siding with a 4" lap, a 12/12 roof pitch, overhanging eaves, wood windows, and garage doors with cross-bracing details. The proposed design includes all of these elements, though using HardiePlank siding instead of wood lap siding. HardiePlank siding has been approved on new secondary
-

structures in Old North Knoxville, provided it is smooth-finished and uses an exposure and trim details comparable to historic structures. The wood windows (four-light fixed dormer windows and one-over-one, double hung windows), along with the partial-light wood doors, are compatible with the primary residence. The proposed materials meet the design guidelines.

7. The proposed design uses siding exposure, window and door trim details, cornerboards, window casing details, and comparable roof slopes to connect the outbuilding with the primary residence.

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## **Staff Recommendation**

Staff recommends approval of the work as proposed, with the condition that the applicant receive the necessary variances at the 6/15/2021 Board of Zoning Appeals meeting. A revised site plan with no changes to overall massing or exterior elevation designs could be approved by staff.



## DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)  
 HISTORIC ZONING (H)  
 INFILL HOUSING (IH)

Kelly Arsenault & Scott Angelius

Applicant

May 24, 2021

June 17, 2021

6-E-21-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

### CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner  Contractor  Engineer  Architect/Landscape Architect

Kelly Arsenault & Scott Angelius

Name	Company		
215 E Oklahoma Ave	Knoxville	TN	37917
Address	City	State	Zip
917.837.7566 & 512.797.9509	kellyarsenault24@gmail.com & scottangelius@gmail.com		
Phone	Email		

### CURRENT PROPERTY INFO

	215 E Oklahoma Ave, Knoxville, TN 37917	917.837.7566
Owner Name (if different from applicant)	Owner Address	Owner Phone
215 E Oklahoma Ave, Knoxville, TN 37917	081s019	
Property Address	Parcel ID	
Old North Knoxville	RN-2 & H	
Neighborhood	Zoning	

### AUTHORIZATION

	Lindsay Crockett	5.27.21
Staff Signature DocuSigned by:	Please Print	Date
	Kelly Arsenault	5/24/2021
DocuSigned by:		
	Scott Angelius	5/24/2021
Applicant Signature	Please Print	Date

# REQUEST

**DOWNTOWN DESIGN**

**Level 1:**  
 Signs     Alteration of an existing building/structure

**Level 2:**  
 Addition to an existing building/structure

**Level 3:**  
 Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**HISTORIC ZONING**

**Level 1:**  
 Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**  
 Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**  
 Construction of a new primary building

**Level 4:**  
 Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: Construction of 2-car garage with attached ADU above garage.  
 \_\_\_\_\_  
 \_\_\_\_\_

**INFILL HOUSING**

**Level 1:**  
 Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**  
 Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**  
 New primary structure  
      Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

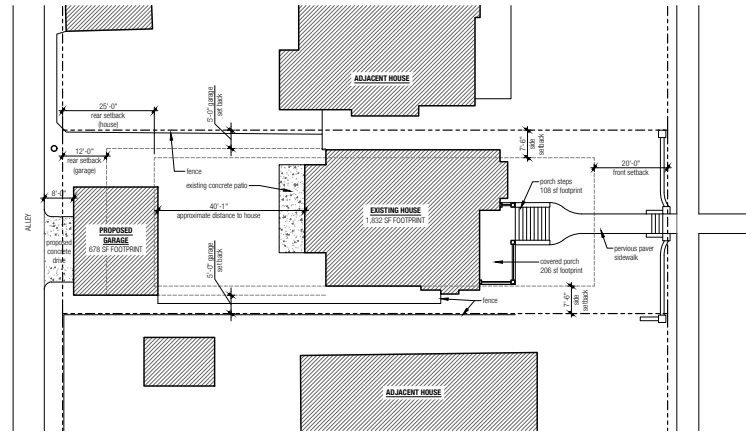
Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

<b>STAFF USE ONLY</b>	<b>ATTACHMENTS</b>	<b>FEE 1:</b>	<b>TOTAL:</b>
	<input type="checkbox"/> Downtown Design Checklist	100.00	
	<input type="checkbox"/> Historic Zoning Design Checklist		
	<input type="checkbox"/> Infill Housing Design Checklist	<b>FEE 2:</b>	
	<b>ADDITIONAL REQUIREMENTS</b>		
	<input type="checkbox"/> Property Owners / Option Holders	<b>FEE 3:</b>	
	<b>Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500</b>		

# A NEW OUTBUILDING FOR THE ARSENAULT-ANGELIUS RESIDENCE

Pricing Set

the historic Old North Knoxville Neighborhood  
Knoxville, Tennessee



**EXISTING LOT COVERAGE CALCULATIONS:**

LOT SIZE = 8,251 SF
EXISTING HOUSE FOOTPRINT = 1,832 SF
EXISTING COVERED PORCHES = 206 SF
<b>EXISTING BUILDING COVERAGE (2,038 / 8,251) = 24.7%</b>
EXISTING PORCH STEPS = 108 SF
EXISTING PATIO = 168 SF
EXISTING DRIVEWAY = 490 SF
<b>EXISTING IMPERVIOUS SURFACE (2,038 + 766 + 2,804) (2,804 / 8,251) = 33.9%</b>

**PROPOSED LOT COVERAGE CALCULATIONS:**

LOT SIZE = 8,251 SF
EXISTING HOUSE FOOTPRINT = 1,832 SF
EXISTING COVERED PORCHES = 206 SF
<b>PROPOSED GARAGE = 678 SF</b>
<b>PROPOSED NEW BUILDING COVERAGE (2,716 / 8,251) = 32.9%</b>
<small>* max allowed is 30% - variance is required</small>
EXISTING PORCH STEPS = 108 SF
EXISTING PATIO = 168 SF
EXISTING DRIVEWAY = 490 SF
<b>PROPOSED DRIVEWAY = 412 SF</b>
<b>PROPOSED NEW IMPERVIOUS SURFACE (2,716 + 419 + 1,130) (3,139 / 8,251) = 37.9%</b>
<small>* max allowed is 40% - var. variance is required</small>

## k12 site plan & lot coverage calculations

1/16" = 1'-0"



NORTH ARROW



SPOT ELEVATION TAG



BREAK MARK



STRUCTURAL GRID AND IDENTIFICATION #



SLOPE INDICATOR



ELEVATION TAG



SECTION TAG



DETAIL CALL-OUT

### ZONING:

This property zoned by the City of Knoxville as (RN-2 / H) single-family residential neighborhood zoning district / historic overlay zoning district

Permitted uses & structures: (only uses addressed in this drawing set are listed) - single-family dwelling

#### Required setbacks:

All buildings shall be set back from the street right-of-way lines and lot lines to comply with the following yard requirements:

front: 20'-0", or the average of blockface, whichever is less (not less than 10'-0")  
side: 5'-0" or 15% of the lot width, whichever is less (not less than 15'-0" combined)  
rear: 25'-0"

Maximum lot coverage:  
buildings coverage: 30%  
impervious surface: 40%

Height Regulations:  
maximum building height: 35'-0"

### KNOXVILLE PLANNING - HISTORIC ZONING COMMISSION

All renovations must adhere to the adopted Old North Knoxville Historic District Design guidelines. A Certificate of Appropriateness **must be obtained** from the Historic Zoning Commission. Contact Lindsay Crockett (865-215-3795) for more information.

### CITY OF KNOXVILLE - BOARD OF ZONING APPEALS

A variance from the City of Knoxville Board of Zoning Appeals **must be obtained** to all for the new outbuilding to sit 0'-0" off the alley (closer than the stated rear setback) and to allow for a greater than 30% lot coverage.

All General Contractor and Sub-Contractor construction work shall be carried out in accordance with the following codes that have been adopted by the City of Knoxville:

- 2018 (IRC) International Residential Code
- 2018 (IBC) International Building Code
- 2018 (IPC) International Plumbing Code
- 2018 (IMC) International Mechanical Code
- 2018 (IFGC) International Fuel Gas Code
- 2017 (NEC) National Electrical Code
- 2018 (IFC) International Fire Code

## f05 codes

- A1.0** cover sheet, site plan, symbols legend, general zoning information, historic zoning information and codes
- A1.1** garage floor plan, foundation plan, and general notes
- A1.2** second floor plan, window schedule, and door schedule
- A1.3** floor framing plan, roof framing plan, dormer roof framing plan, and roof plan
- A1.4** second floor reflected ceiling plan, ceiling plan legend & notes
- A2.1** exterior elevations
- A2.2** interior elevations
- A3.1** building section and section details
- A3.2** footing detail and section details

## a24 symbols legend

## a19 general zoning information

## a12 historic zoning information

## a05 drawing index

## ARSENAULT ANGELIUS RESIDENCE

A NEW OUTBUILDING

the historic Old North Knoxville neighborhood

Knoxville, Tennessee

**client:**  
Kelly Arsenault & Scott Angelus  
215 Oklahoma Avenue  
Knoxville, TN 37917

**architect:**  
 OPEN DOOR ARCHITECTURE

800 Luttrell Street  
Knoxville, Tennessee 37917  
www.opendoorarchitecture.com

**project contact:**  
Sean Martin | 865.386.8909

**structural engineer:**  
FE Design & Engineering, P.C.  
Mary French-Ewers, P.E., S.E.  
865.216.8960

## 20012

**date:**  
April 6, 2021  
**drawing purpose:**  
pricing & permitting  
**revisions:**

## A1.0

cover sheet, site plan, symbols legend, historic zoning information, general zoning information, and codes

# ARSENAULT ANGELIUS RESIDENCE

A NEW OUTBUILDING

the historic  
Old North Knoxville  
neighborhood

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## 20012

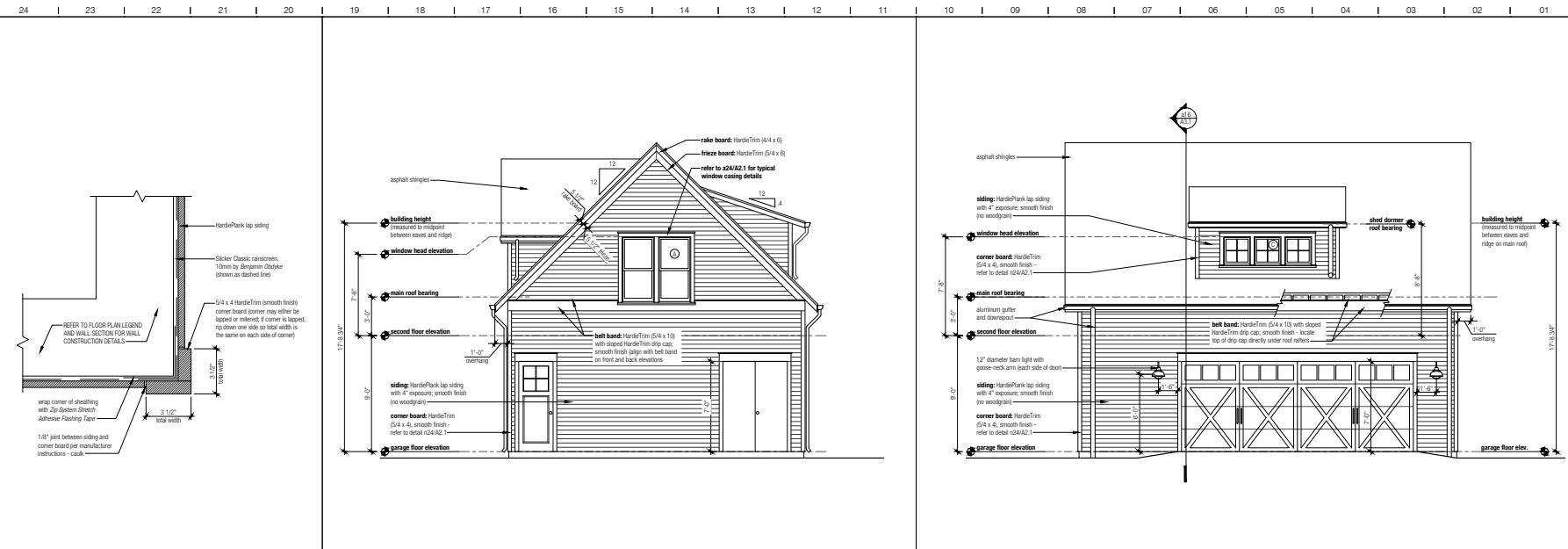
**date:**  
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pricing & permitting

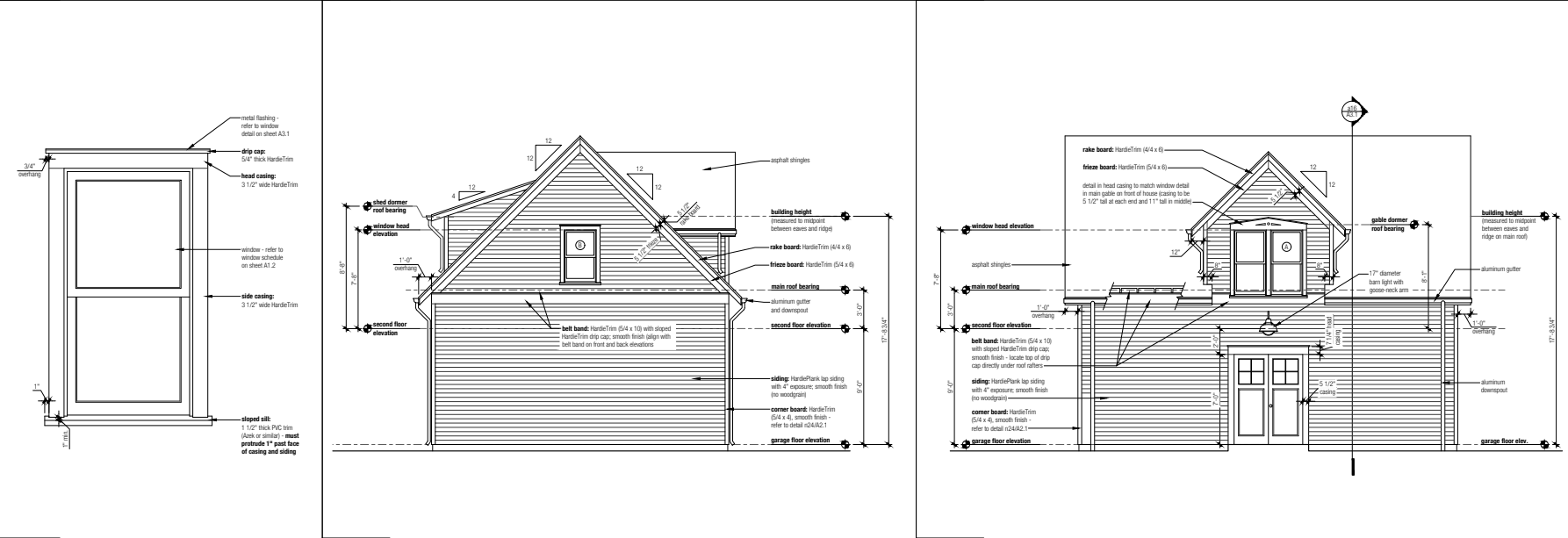
**revisions:**

# A2.1

exterior elevations

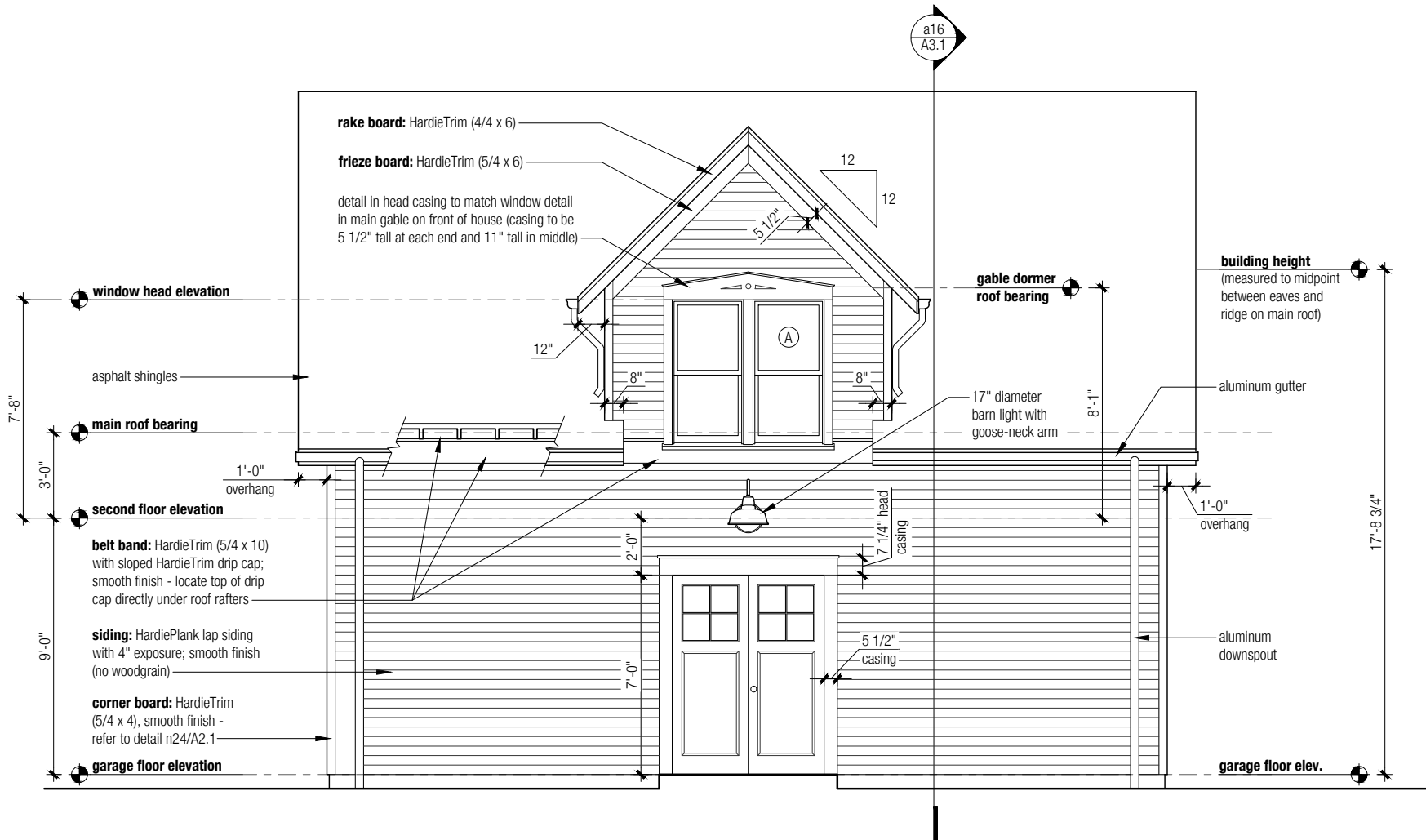


**n24 corner board detail** 3" = 1'-0"      **n19 side elevation** 1/4" = 1'-0"      **n10 back elevation (facing alley)** 1/4" = 1'-0"

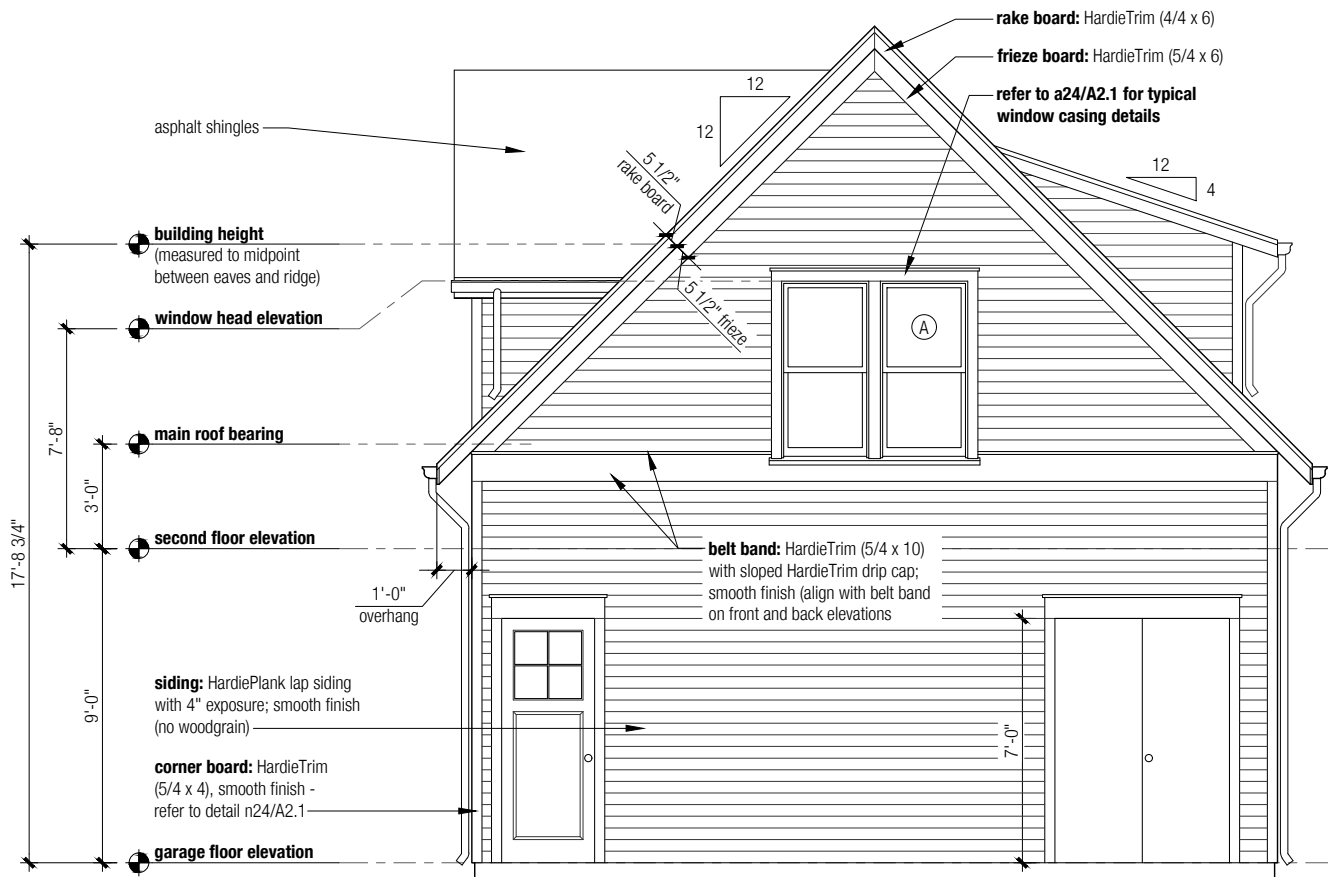


**a24 window trim detail** 1" = 1'-0"      **a19 side elevation** 1/4" = 1'-0"      **a10 front elevation (facing backyard)** 1/4" = 1'-0"

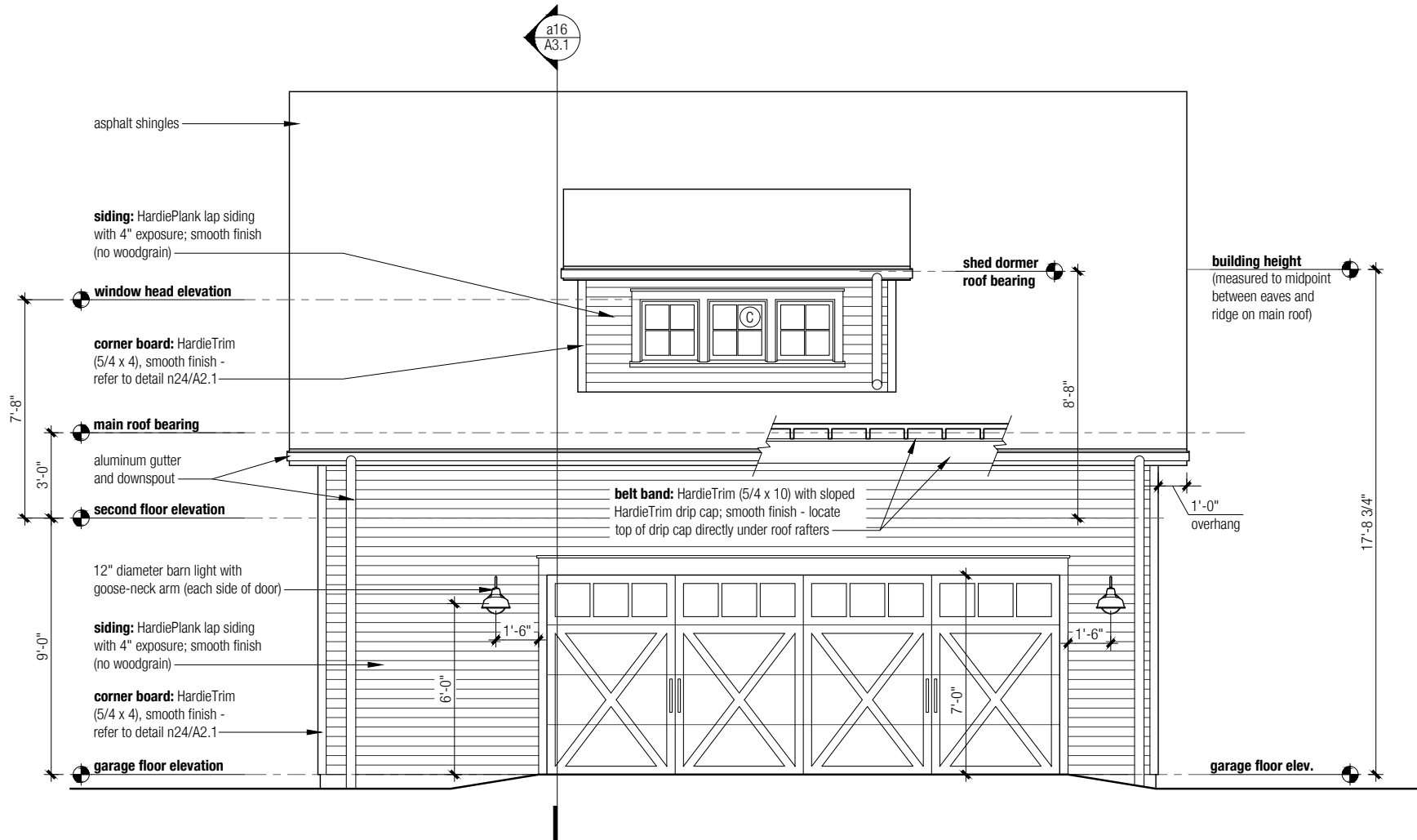




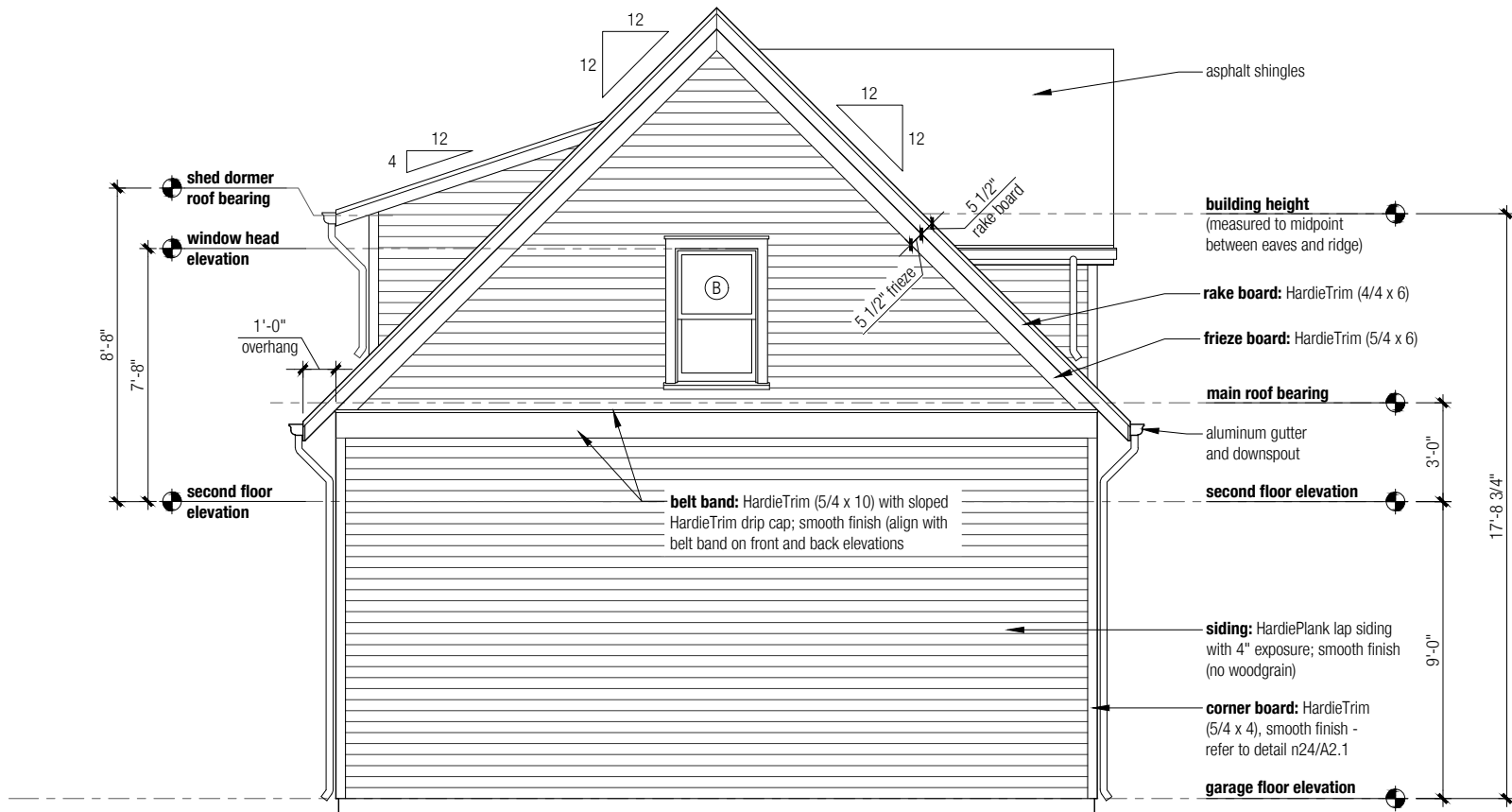
**FRONT ELEVATION (FACING BACKYARD)**



**SIDE ELEVATION (FACING YARD)**



**BACK ELEVATION (FACING ALLEY)**



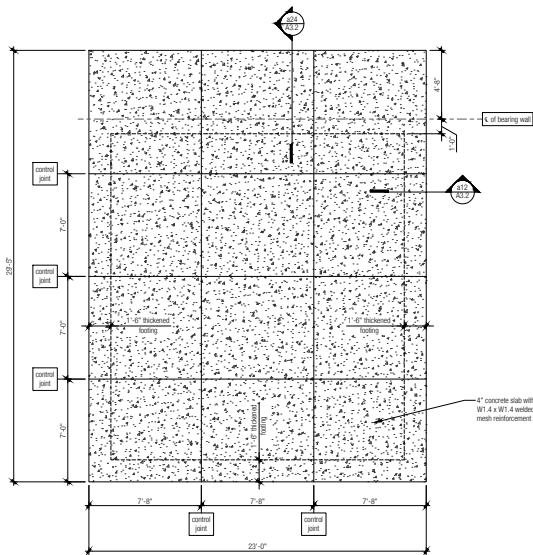
**SIDE ELEVATION (FACING NEIGHBORING GARAGE)**

24 | 23 | 22 | 21 | 20 | 19 | 18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 09 | 08 | 07 | 06 | 05 | 04 | 03 | 02 | 01

Z  
Y  
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A

- Work shall be conducted by the contractor in accordance with all applicable building codes having jurisdiction as of the date the permit is issued for this project. The contractor shall report any discrepancies between codes and contract documents to the architect prior to work.
- Contractor shall file all applications, pay for all necessary permits, and secure certificates of occupancy for the project.
- The contractor shall carefully examine all contract documents. The contractor shall coordinate the work with all trades, including but not limited to structural, electrical, mechanical, plumbing, civil, and specialty drawings including shop drawings and material specifications. Any discrepancies shall be brought to the attention of the architect prior to proceeding with the work.
- Work that deviates from the contract documents is the sole responsibility of the contractor and shall be corrected as required at no additional expense to the owner.
- Coordinate work to prevent interruption to building services in occupied areas. Notify owner 24-hours in advance to acquire approval for services interruption.
- Contractor shall keep the job free of debris and make final cleanup to the satisfaction of the owner. Contractor shall be responsible for removal of all construction debris from project site and shall provide dumpsters as required.
- Contractor shall field verify all conditions and dimensions on-site. In the event the dimensions are in question, or if any discrepancies are encountered during construction, the contractor shall notify the architect for clarification prior to proceeding with the work.
- Contractor shall not scale any drawing in the contract documents. Given dimensions shall always take precedence. Contractor shall contact architect to obtain additional dimensions as needed.
- Unless otherwise noted, locate door jambes 4" from inside corners.
- Contractor shall be responsible for the protection of all existing buildings and other installations that are to remain intact while performing the specified work. As new materials are installed, the contractor shall protect those materials from damage during the remainder of construction.
- The design adequacy and safety of erection bracing, shoring, etc. is the sole responsibility of the contractor. Walls which support joists, rafters, etc. and are laterally supported by same shall be braced until all construction is completed.
- At penetrations by ductwork, piping, or other openings, provide appropriate load-carrying lintels or headers installed over the openings.
- Contractor shall provide and coordinate the location of solid wood blocking within walls as required to provide for secure installation of all wall-mounted items. Blocking in exterior walls to be fire-treated.
- Provide wood blocking and utilities necessary for items not in contract (N.I.C.). Coordinate with owner for exact locations of owner-furnished items.
- Firestop all openings and penetrations around pipes, conduits, and floors with approved, non-combustible materials.
- Contractor to provide owner with color and material samples for approval of all finishes prior to installation.

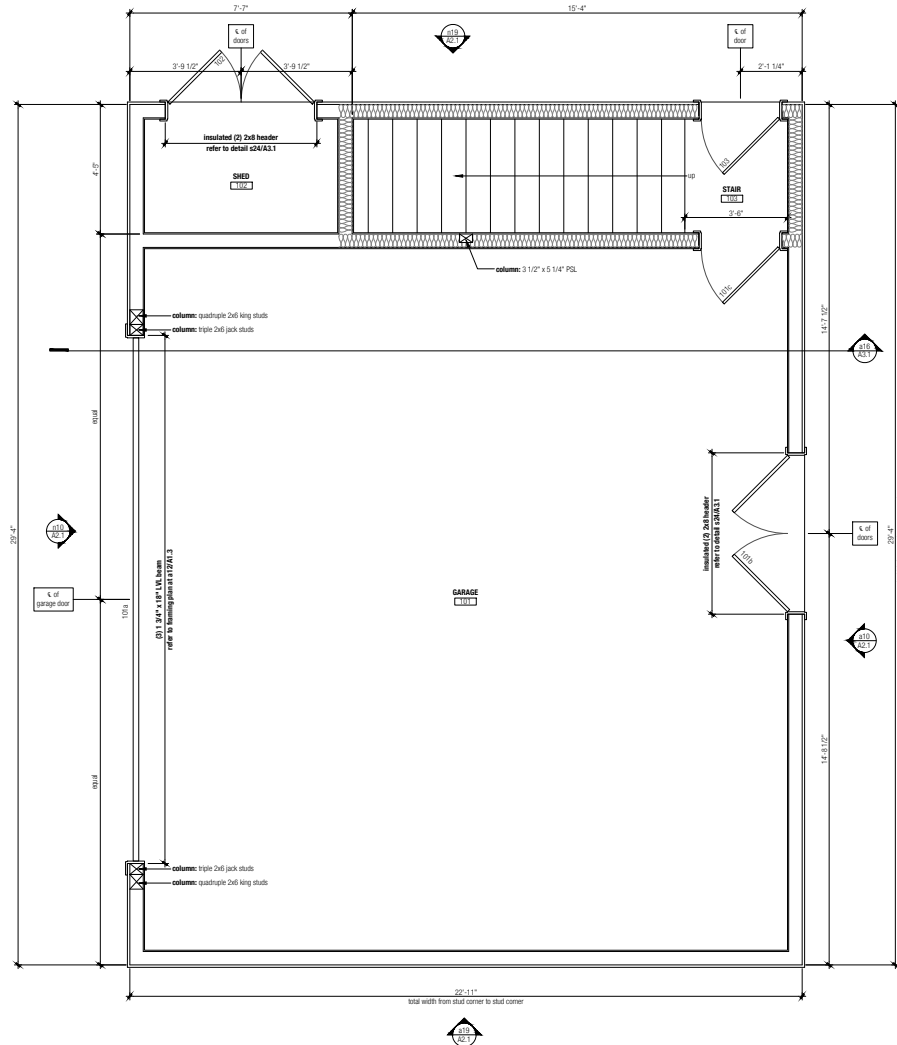
**n24 general notes**



**a24 foundation plan**

1/4" = 1'-0"

FLOOR PLAN WALL LEGEND		DIMENSIONS	
	indicates a 2x6 stud wall with batt insulation (minimum R-19, 1/2" drywall on interior side, refer to sections for sheathing & cladding information)	Dimensions shown on floor plans are from stud to stud, unless specifically noted otherwise.	
	indicates a 2x6 stud wall with no insulation, refer to sections for sheathing & cladding information	<b>DOOR &amp; WINDOW INFORMATION</b>	
	indicates a 2x6 stud wall with 1/2" drywall on both sides	100a	= DOOR TAG: refer to door schedule at s24A4.7 for door width, height, and style
		100b	= WINDOW TAG: refer to window schedule at s24A4.7 for window width and height



**a14 garage floor plan**

1/2" = 1'-0"

**ARSENAULT  
ANGELIUS  
RESIDENCE**

A NEW OUTBUILDING

the historic  
Old North Knoxville  
neighborhood

Knoxville, Tennessee

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**architect:**  
  
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**project contact:**  
Sean Martin : 865.386.8909

**structural engineer:**  
FE Design & Engineering, P.C.  
Mary French-Ewers, P.E., S.E.  
865.216.8960

**20012**

**date:**  
April 6, 2021  
**drawing purpose:**  
pricing & permitting  
**revisions:**

**A1.1**

garage floor plan, foundation  
plan, and general notes

24 | 23 | 22 | 21 | 20 | 19 | 18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 09 | 08 | 07 | 06 | 05 | 04 | 03 | 02 | 01

PLAN DESIGNATION	Ⓐ	Ⓑ	Ⓒ
MANUFACTURER	Window Windows Perraco primed, all wood	Window Windows Perraco primed, all wood	Window Windows Perraco primed, all wood
WINDOW TYPE	2 gang, double hung	double hung	fixed window
FRAME WIDTH	5'-4" (total width)	2'-6"	6'-8" (total width)
FRAME HEIGHT	5'-0 3/4"	4'-0 3/4"	2'-6"
HEAD HEIGHT	7'-6" above finished floor	7'-6" above finished floor	7'-6" above finished floor
DRAWING			
NOTES & INSTRUCTIONS			grilles to be 5/8" WGL (Window Divided Ltr), putty profile, with inner bar

### FLOOR PLAN WALL LEGEND

: Indicates a 2x6 stud wall with batt insulation (minimum R-19, 1/2" drywall) on interior side, refer to sections for sheathing & cladding information

: indicates a 2x6 stud wall with no insulation, refer to sections for sheathing & cladding information

: indicates a 2x6 stud wall with 1/2" drywall on both sides

**DIMENSIONS**  
Dimensions shown on floor plans are from stud to stud, unless specifically noted otherwise.

**DOOR & WINDOW INFORMATION**

100a = DOOR TAG: refer to door schedule at a2/A1.7 for door width, height, and style

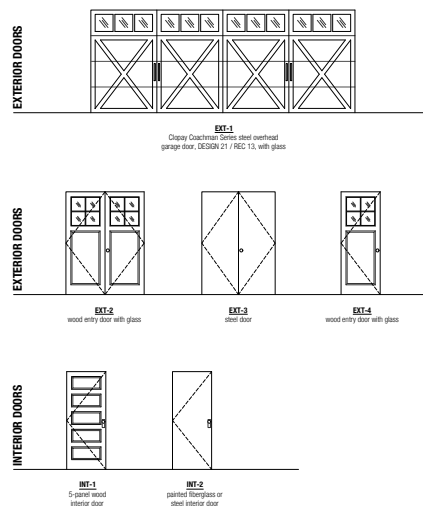
Ⓐ = WINDOW TAG: refer to window schedule at p2/A1.7 for window width and height

## r24 window schedule

1/4" = 1'-0"

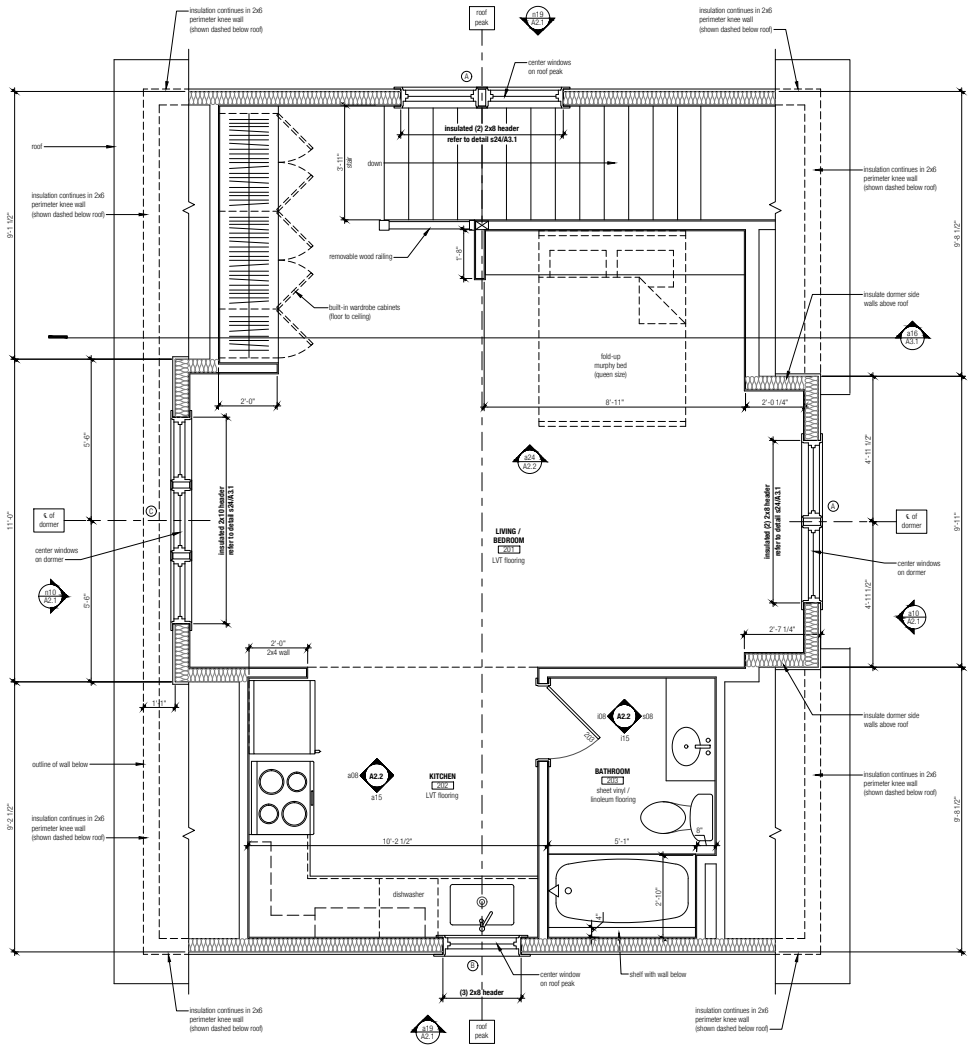
DOOR #	ROOM	DESCRIPTION	DOOR STYLE	FRAME WIDTH	FRAME HEIGHT	LEAVES	GLASS	HARDWARE SET
101a	Garage	carriage house style overhead garage door - steel exterior (painted)	EXT-1	16'-0"	7'-0"	---	top	---
101b	Garage	exterior wood door (painted)	EXT-2	5'-4" (total width)	7'-0"	2	1/3	keyed entrance
101c	Garage	fiberglass or steel (painted)	INT-2	2'-6"	6'-6"	1	none	keyed entrance
102	Shed	exterior steel door (painted)	EXT-3	5'-0"	7'-0"	2	none	keyed entrance
103	Slab	exterior wood door (painted)	EXT-4	2'-6"	7'-0"	1	1/3	keyed entrance
103	Bathroom	5-panel wood (painted)	INT-1	2'-6"	6'-6"	1	none	privacy

Notes:  
\*Pocket doors are to have plywood reinforced cavities using L.E. Johnson pocket door kits and accessories, or similar.



## a24 door schedule

1/4" = 1'-0"



## a14 second floor plan (accessory dwelling unit)

1/2" = 1'-0"

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the historic Old North Knoxville neighborhood

Knoxville, Tennessee

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## 20012

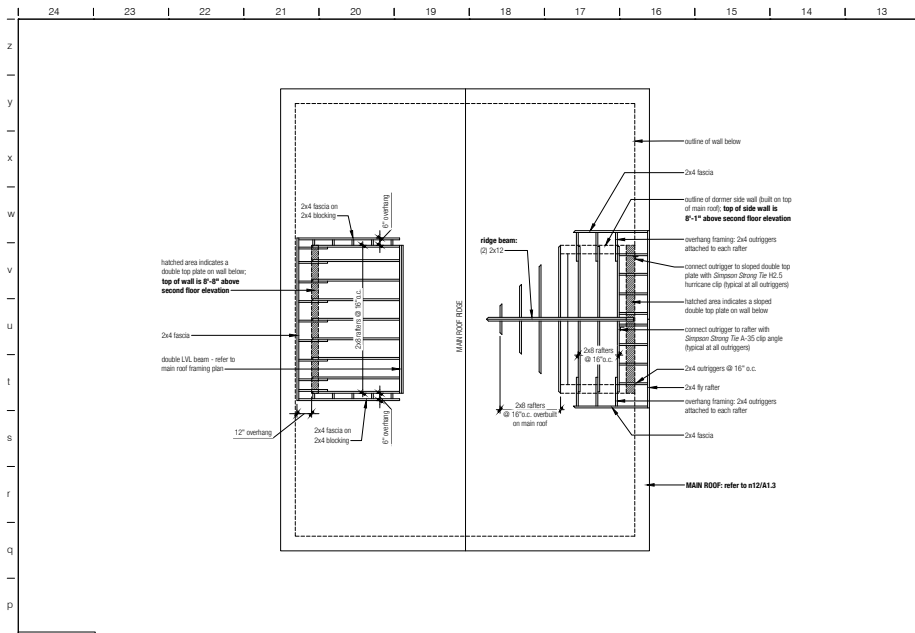
date:  
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drawing purpose:  
pricing & permitting

revisions:

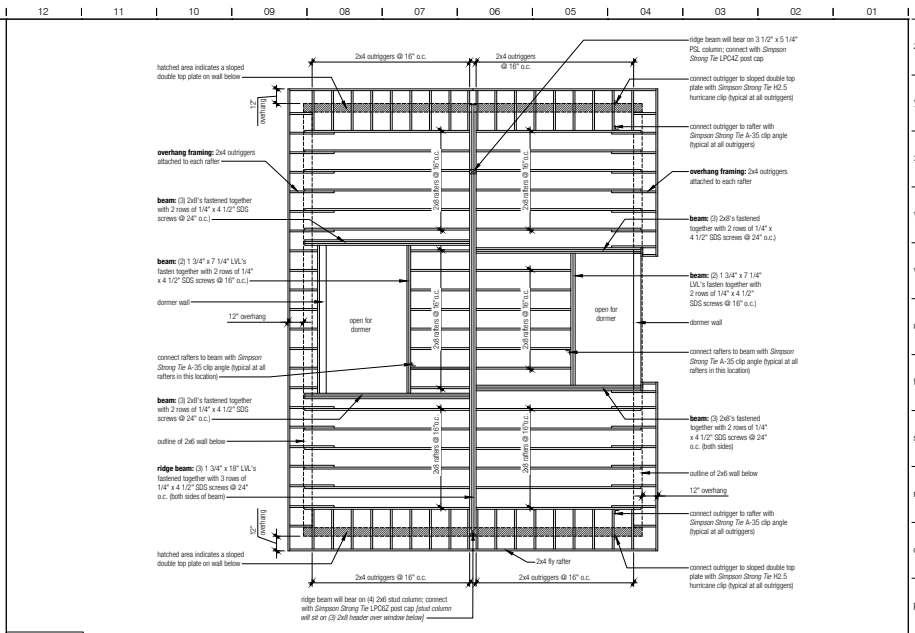
## A1.2

second floor plan, window schedule, and door schedule



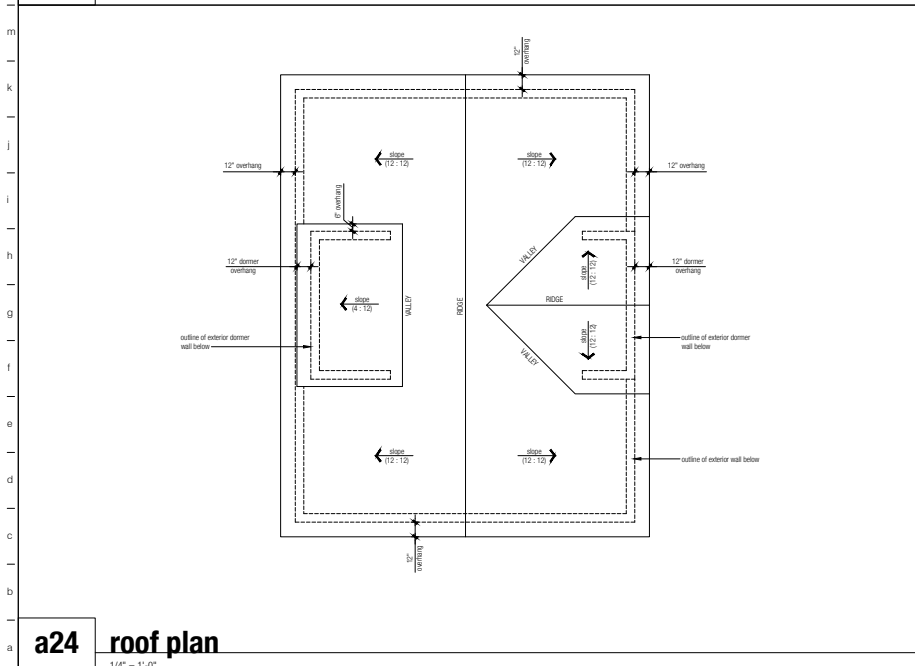
**n24 dormer roof framing plan**

1/4" = 1'-0"



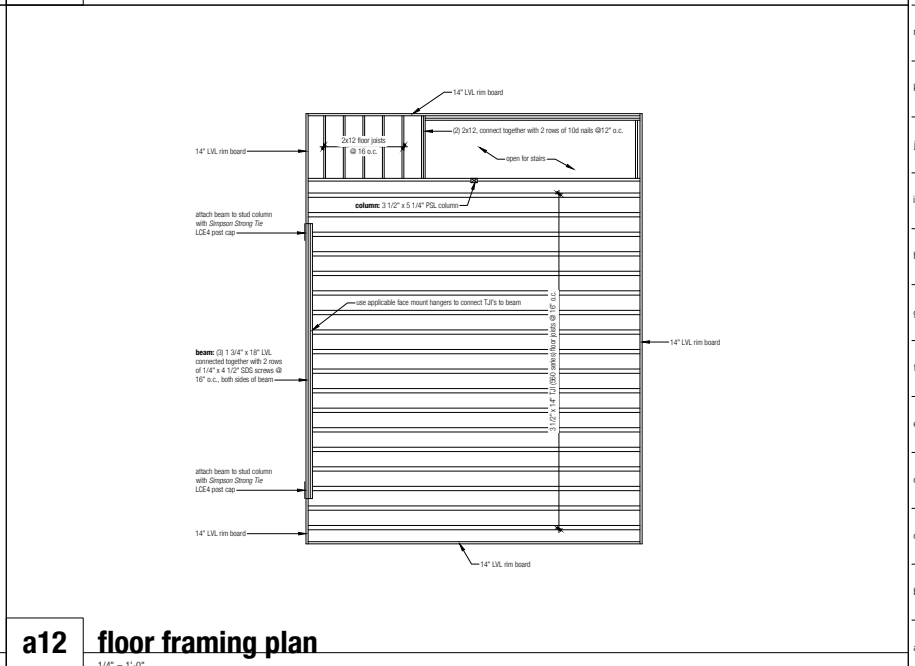
**n12 main roof framing plan**

1/4" = 1'-0"



**a24 roof plan**

1/4" = 1'-0"



**a12 floor framing plan**

1/4" = 1'-0"

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the historic  
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neighborhood

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**architect:**  
 OPEN DOOR ARCHITECTURE

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Knoxville, Tennessee 37917  
www.opendoorarchitecture.com

**project contact:**  
Sean Martin | 865.386.8909

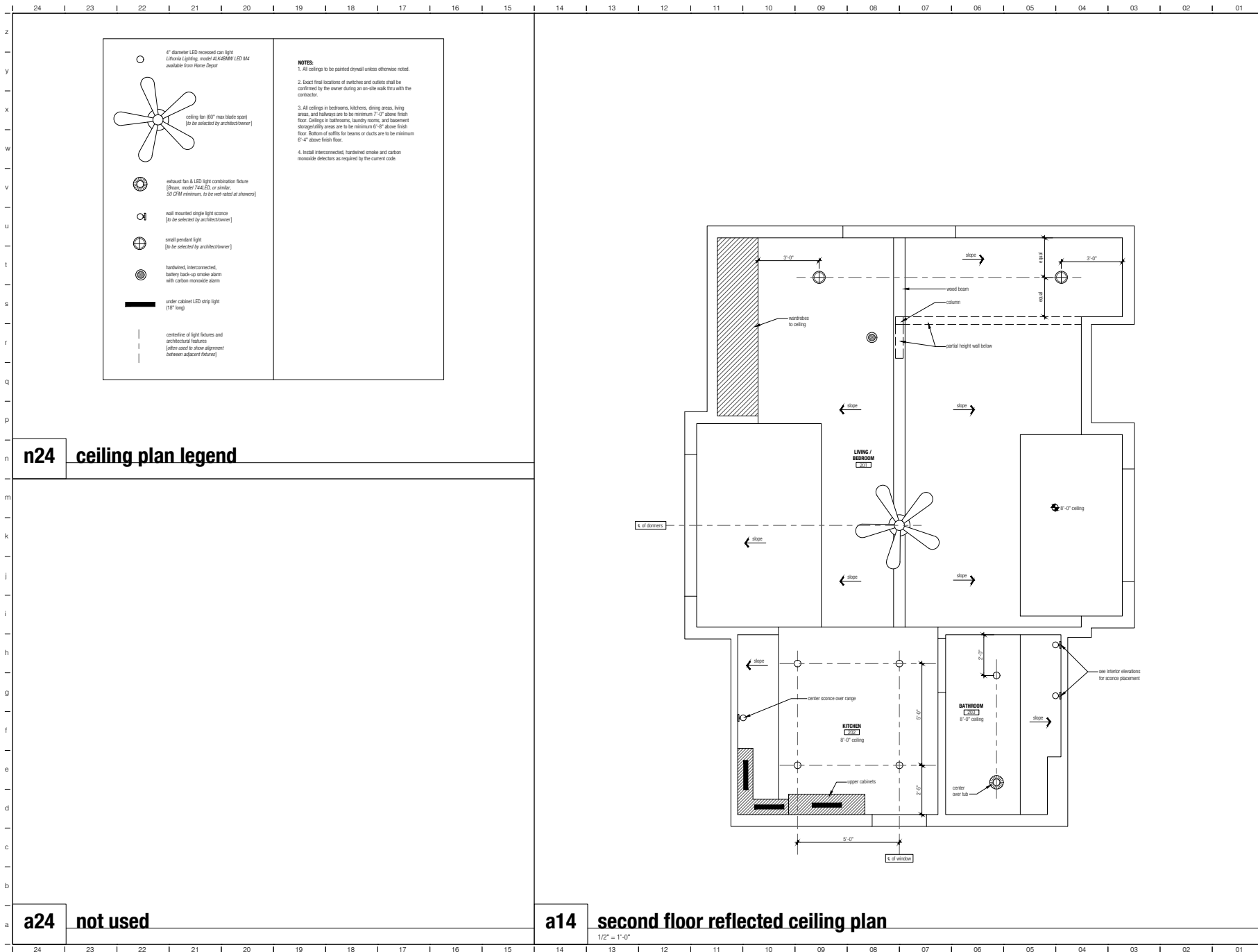
**structural engineer:**  
FE Design & Engineering, P.C.  
Mary French-Ewers, P.E., S.E.  
865.216.8960

**20012**

**date:**  
April 6, 2021  
**drawing purpose:**  
pricing & permitting  
**revisions:**

**A1.3**

floor framing plan, roof framing plan, dormer roof framing plan, and roof plan



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**A1.4**

second floor reflected ceiling plan,  
and ceiling plan legend



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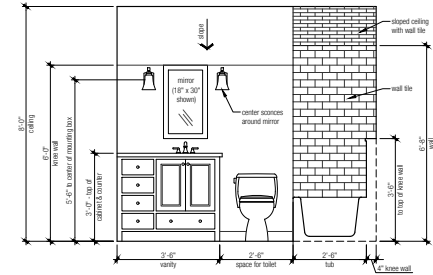
**structural engineer:**  
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865.216.8960

**20012**

**date:**  
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pricing & permitting  
**revisions:**

**A2.2**

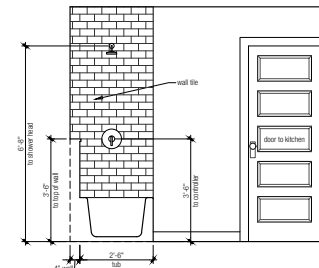
interior elevations



**s08 interior elevation: bath**

1/2" = 1'-0"

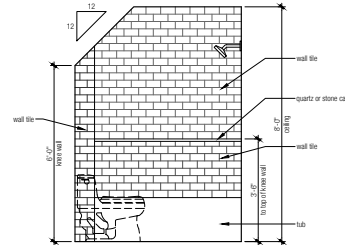
ROOM #203



**i08 interior elevation: bath**

1/2" = 1'-0"

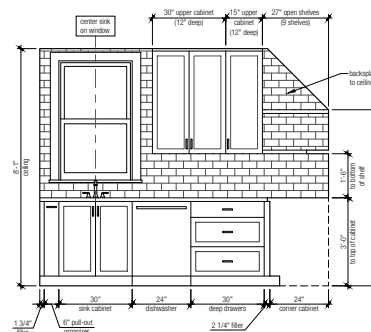
ROOM #203



**i15 interior elevation: bath**

1/2" = 1'-0"

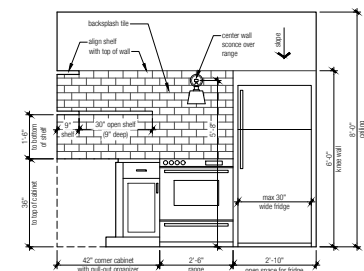
ROOM #203



**a15 interior elevation: kitchen**

1/2" = 1'-0"

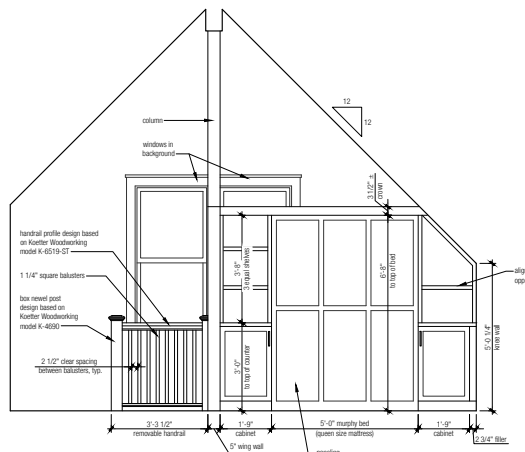
ROOM #202



**a08 interior elevation: kitchen**

1/2" = 1'-0"

ROOM #202

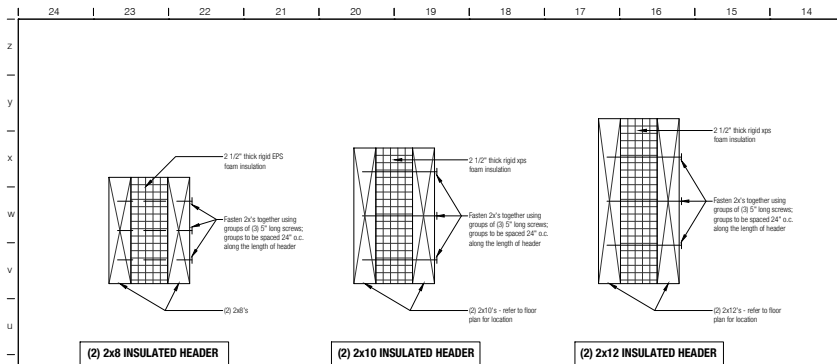


**a24 interior elevation: murphy bed**

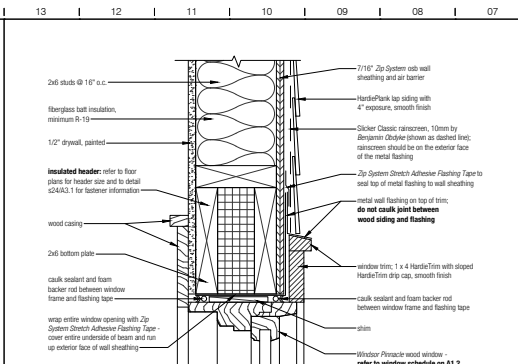
1/2" = 1'-0"

ROOM #201

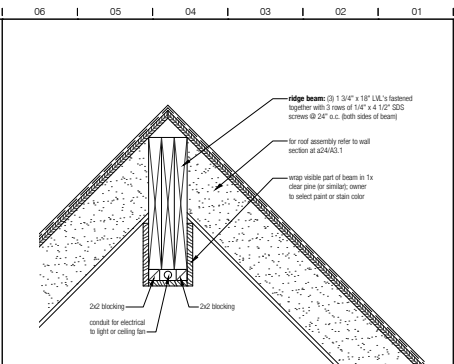
**s24 not used**



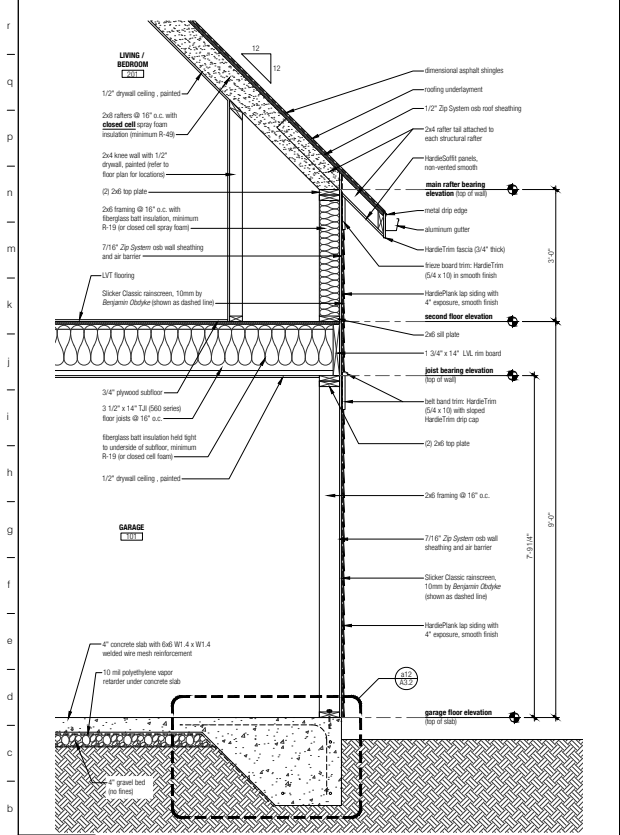
**s24 insulated head details**  
3" = 1'-0"



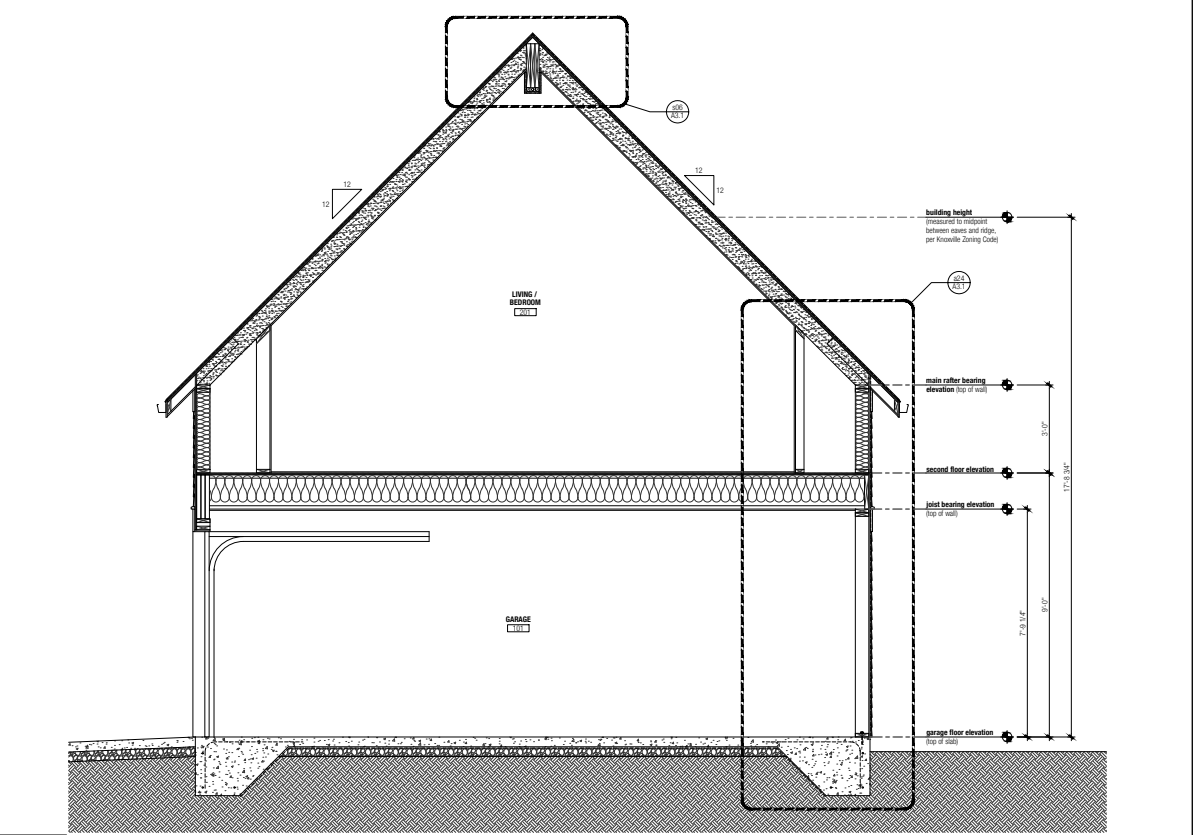
**s13 typical window head detail**  
3" = 1'-0"



**s06 ridge beam detail**  
1 1/2" = 1'-0"



**a24 wall section**  
3/4" = 1'-0"



**a16 building section**  
1/2" = 1'-0"

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<b>revisions:</b>	

**A3.1**

sections and section details

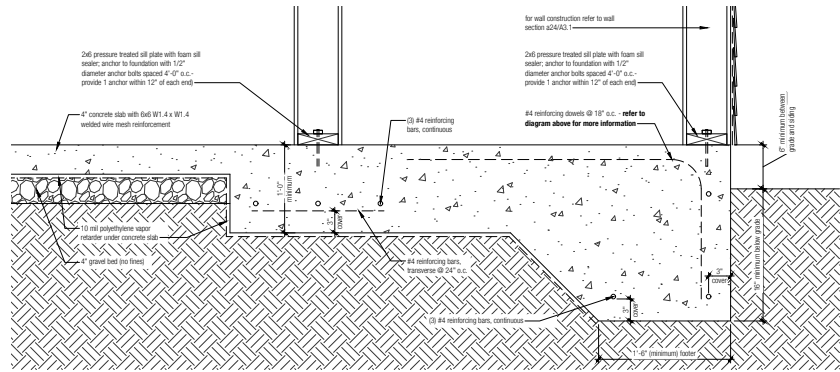
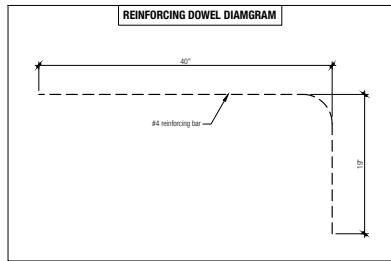
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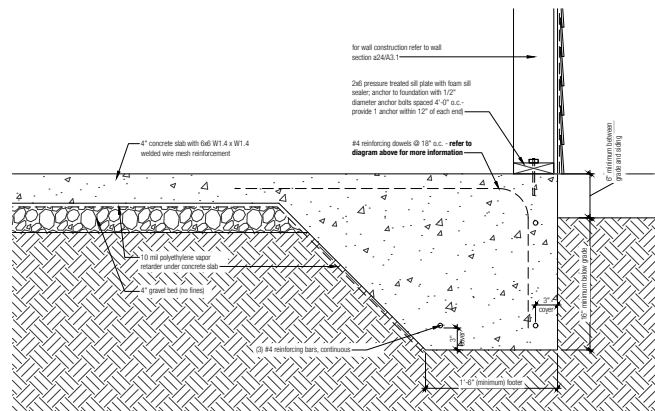
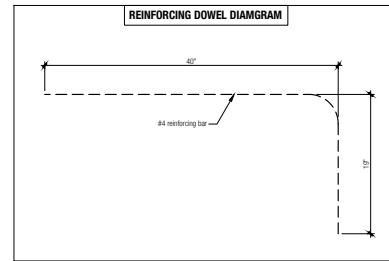
Knoxville, Tennessee

r24 not used



a24 footing detail @ load bearing interior wall

1 1/2" = 1'-0"



a12 typical footing detail

1 1/2" = 1'-0"

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A3.2

footing details and section details