



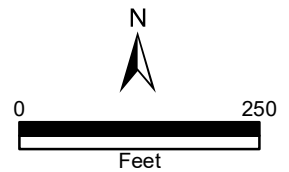
7-H-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1800 Jefferson Ave. 37917
Edgewood-Park City H

Original Print Date: 7/1/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Lisa Randazzo Andrew Randazzo





Staff Report

Knoxville Historic Zoning Commission

File Number: 7-H-21-HZ

Meeting: 7/15/2021
Applicant: Lisa Randazzo Andrew Randazzo
Owner: Lisa Randazzo Andrew Randazzo

Property Information

Location: 1800 Jefferson Ave. **Parcel ID** 82 P H 009
District: Edgewood-Park City H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Queen Anne, c.1900

One-and-one-half-story frame residence with a hipped roof clad in asphalt shingles, an exterior of aluminum siding, and a continuous foundation. Two gable-roof dormers are evenly spaced on the front roof slope. Centrally-located, front-gable roof portico.

Description of Work

Level II Major Repair or Replacement

Exterior rehabilitation and addition of new front porch. Exterior rehabilitation scopes include: removal of non-historic aluminum siding and shutters; repair and replacement in-patches as necessary to historic wood siding below (with dimensions and design to match existing); replacement of gutters.

On the right (west) elevation, a secondary entry with a concrete stoop, concrete access stairs, and wrought-iron railing will be removed. Applicant proposes a new one-over-one, double-hung wood window with the same dimensions as other side elevation windows to be installed in its place.

Removal of non-historic gable-roof portico centered over the primary entry. A new front porch, measuring 8' deep by 27.5' wide, will extend the full length of the façade (north), featuring a 3/12 hipped roof with a front gable centered over the primary entry. The porch will be supported by four 8' tall round wood columns, 8" in diameter and evenly spaced along the façade. The new concrete porch foundation will be approximately 4" tall, with a wood beadboard ceiling and wood fascia and frieze boards to match the original fascia and frieze details on the house.

Applicable Design Guidelines

Edgewood-Park City Design Guidelines, adopted by the Knoxville City Council on July 29, 1997.

Roofs

1. Make the shape and pitch of roofs on new construction imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style. Replacement roofs must copy the shape and pitch of original roofs, and the soffit, fascia, and trim detail between roof and wall should mimic the original.
2. The eaves on additions or new buildings shall have an overhang that mimics the original eaves.

Porches

1. Porches on historic houses shall be repaired or replicated using wood materials for ceilings and floors,

balustrades, posts and columns that duplicate the original size and design. Reconstruction of the documented original porch is appropriate.

2. New buildings constricted in Edgewood-Park City must contain front porches large enough to provide seating. The proportion of the porches to the front facades is to be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades and porch flooring and ceilings will be built with materials that are consistent in appearance with historic materials.

Wall Coverings: Wood

2. Replacement siding, trim, and patterned shingles shall duplicate the original.

4. Repair wooden features by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or compatible substitute materials, when elements remain and can be copied.

7. An entire wooden feature that is too deteriorated to repair or is completely missing must be replaced in kind. If features are replaced, the materials they are made from shall be compatible with the original in size and scale.

Replacement parts must be based on historical, pictorial, and physical documentation. If documentation does not exist, a new sympathetically designed feature would be better than a hypothetical 'old' one.

Comments

N/A

Staff Findings

1. 1800 Jefferson Avenue is a contributing resource to the Park City National Register Historic District and the Edgewood-Park City local overlay.

2. Removal of the non-historic aluminum siding and repair (with replacement in patches where necessary) meets the design guidelines. Replacement siding should match the new in dimensions and design, including any necessary trim or corner board elements.

3. The secondary entry (and concrete access stair) on the west elevation is a non-historic modification which does not contribute additional character to the house and appropriate for removal. Installation of a double-hung wood window to match the size of the additional first-story west elevation windows is appropriate. The new window's header height should align with the existing first-story windows instead of being placed within the door opening. Final specifications for the new window, including placement and trim, should be submitted to staff for approval.

4. As noted in the application, the house is a Queen Anne cottage which was modified with Colonial Revival elements by the mid-twentieth century. Removal of the non-historic front-gable portico is appropriate, as it dates to the 1970s and is not a character-defining feature of either style. A full-length, Colonial Revival-influenced front porch will be compatible with both styles of the house, recognizing the house's evolution over time and the acquired significance of the Colonial Revival details. The low-pitched, hipped porch roof with a centered front-gable portico is proportionate to the primary residence and draws from porch designs on similar houses.

5. The proposed asphalt shingle roof cladding, wood lap siding on the gable field, fascia and trim to match the existing roof elements, and round wood columns meet the design guidelines for new porches. While replacing an existing wood porch with a concrete porch is not recommended in the guidelines, the proposed foundation is a new element and will be minimally visible from the right-of-way, at only 4" tall. In this application, a new concrete porch will not detract from the overall house's integrity. Final specifications for height of the porch roof, dimensions for portico gable, and fascia details should be submitted to staff for approval.

Staff Recommendation

Staff recommends approval of the work as submitted, with the following conditions:

- 1) new west elevation window header to align with adjacent window, with specifications for window to be submitted to staff for approval, including placement and trim details;
- 2) final specifications for porch roof height, dimensions of portico gable, and fascia details to be submitted to staff.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Lisa Randazzo

Applicant

6/28/2021

July 15, 2021

7-H-21-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect


Lisa Randazzo

Name	Company		
1800 Jefferson Ave	knoxville	tn	37917
Address	City	State	Zip
336-682-6239	lisalynnerandazzo@gmail.com		
Phone	Email		

CURRENT PROPERTY INFO

Lisa & Andrew Randazzo	1800 Jefferson Ave	336-682-6239
Owner Name (if different from applicant)	Owner Address	Owner Phone
1800 Jefferson Ave	082PH009	
Property Address	Parcel ID	
Edgewood Park City	RN2	
Neighborhood	Zoning	

AUTHORIZATION

	Lindsay Crockett	6.28.21
Staff Signature	Please Print	Date
	Lisa Randazzo	6-9-2021
Applicant Signature	Please Print	Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Remove aluminum siding. Scrape, repair/replace, paint existing historic wood siding. Replace Gutters.
Demolish non historic concrete side entrance and stairs. Remove side door and replace with window. Removal of non historic front portico
Construction of new porch.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL: 100.00
100.00		
FEE 2:		
FEE 3:		

Level 1-

- Remove non historic aluminum siding and shutters.
- Scrape, repair or replace as needed, and paint historic wood siding.
- Replace gutters.

Level 2-

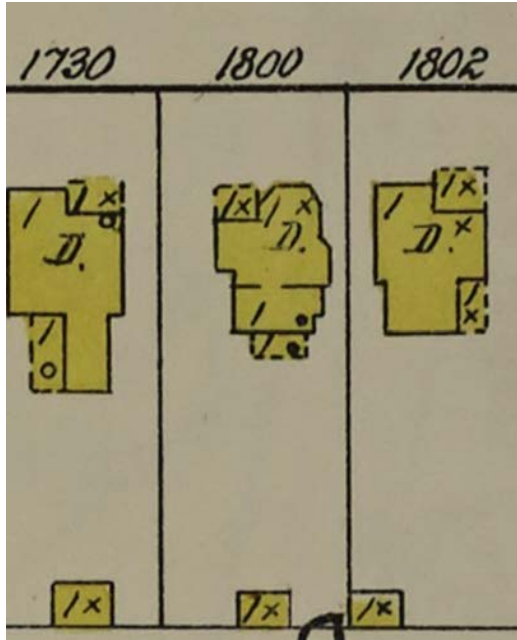
- Demolition of non historic, concrete, side stoop and stairs. Removal of non-historic side door. Replace with wood window of same dimensions as the other windows on the side of the house.
- Demolition of front portico. Current front portico was built in the 1970's and is of poor construction with tongue and groove wood installed front facing and plastic resin supports.
- Construction of new 28' x 8' front porch to extend the length of house. Roof line to start below dormer windows and feature portico style similar to other homes in the neighborhood.
- New porch to have asphalt roof, concrete floor, tongue and groove ceiling, 4 8"x10' round wood columns. 8ft porch depth gives porch consistency with other porches on the block. Trim details on porch to match the original wood fascia and frieze boards.

Notes:

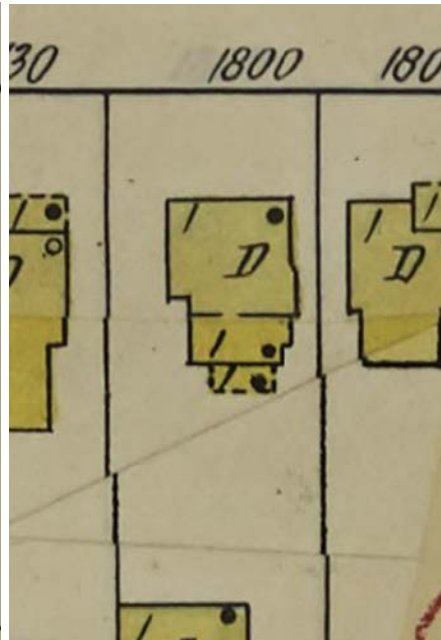
This home was built in 1899 as a Victorian home. It featured a rotunda on the left side and a porch on the right. In the 1930's the porch was enclosed and a drastic remodel was done to make the home a two story house with colonial styling. The house now has both victorian and colonial influences.

In the 1970's a side door with a concrete entrance was added and the home converted to a duplex. In 2020 the home was converted back to single family on the inside and there is no longer a need for the non historic side entrance. Instead, a window would give much needed light to the stairwell.

The 1930's colonial remodel holds historical significance and we would like to see the home continue in this style with a compatible porch addition. The porch addition will help current home regulate temperature better and be in keeping with EPC guidelines for home designs to include porches.



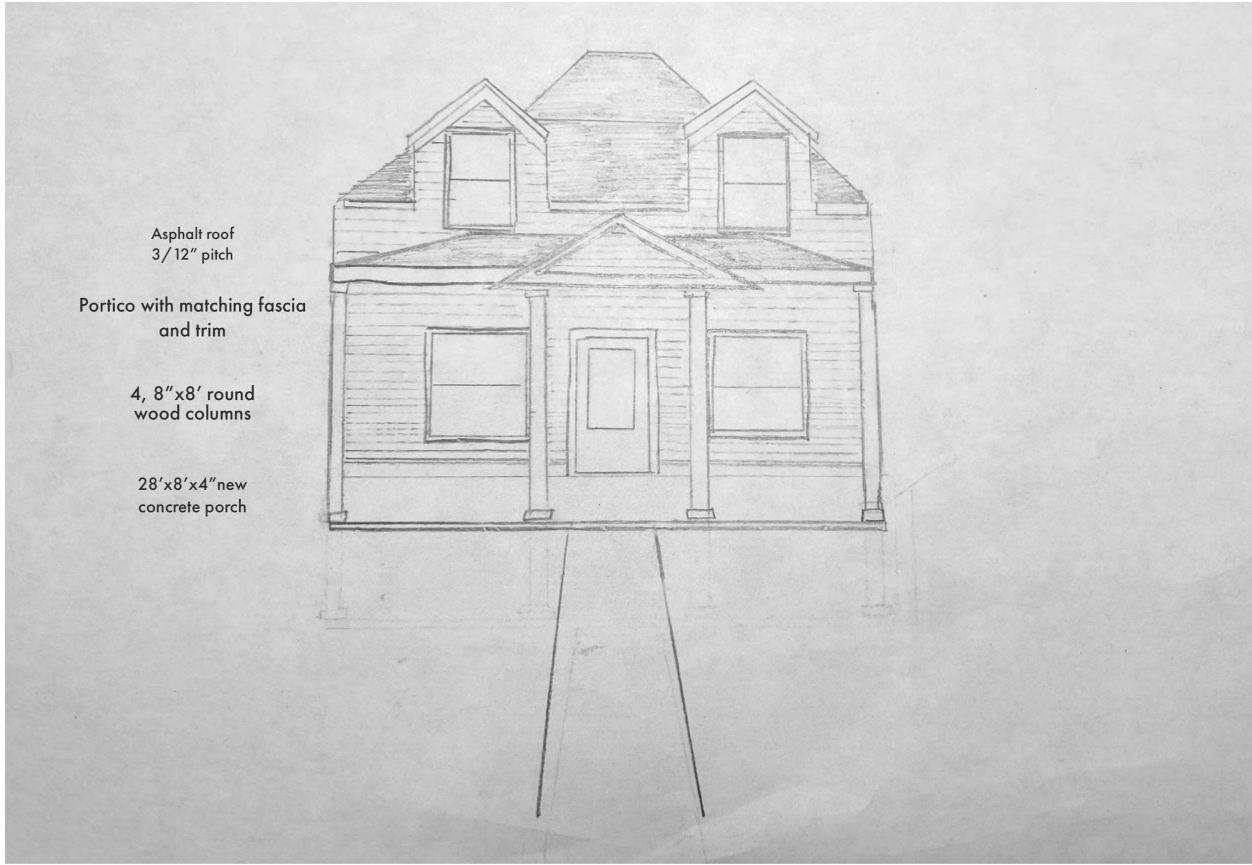
1917 Sanborn Map detailing porch



1951 Sanborn Map detailing remodel



Home in Old North Knoxville with similar styling and full length front porch

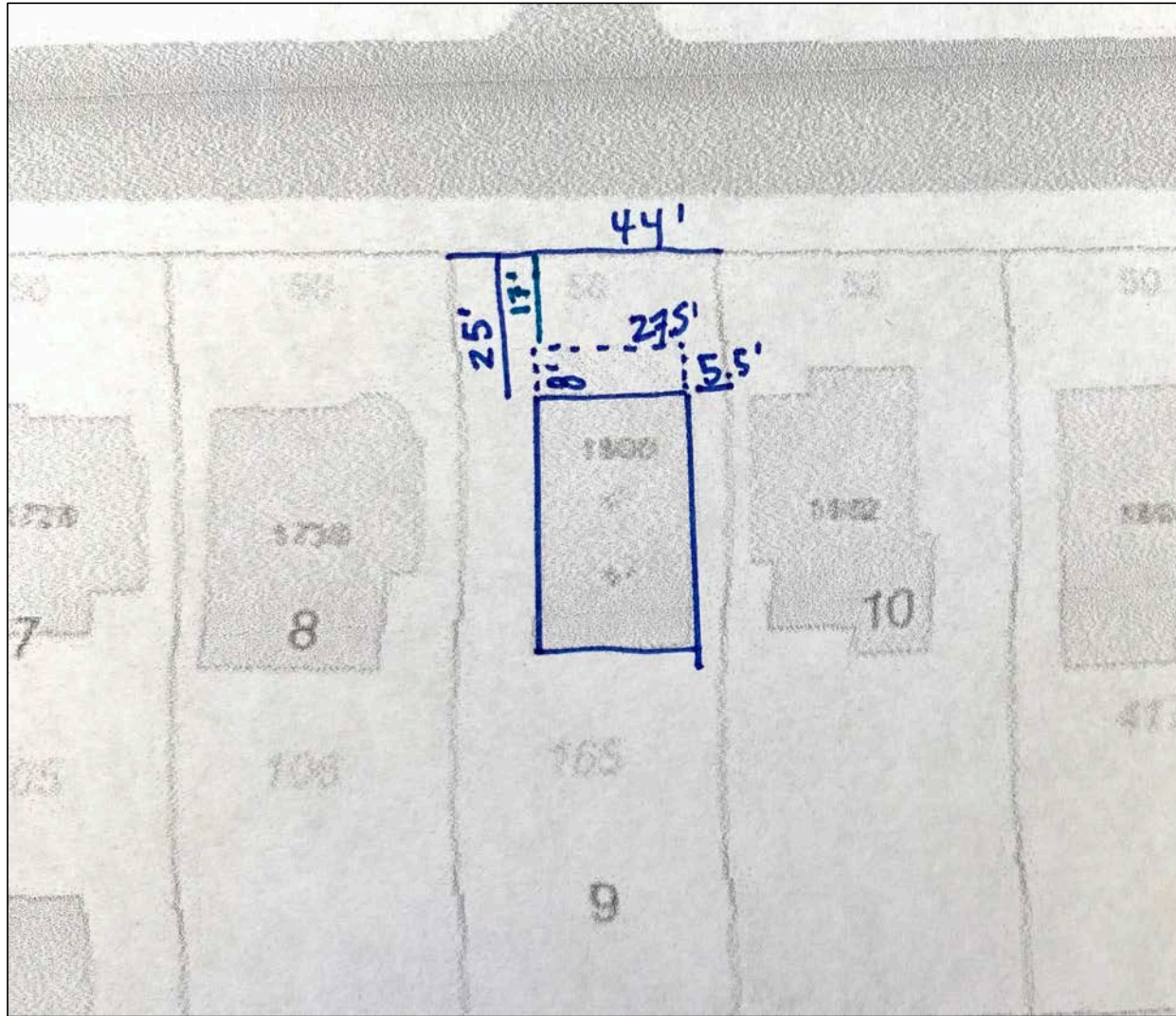


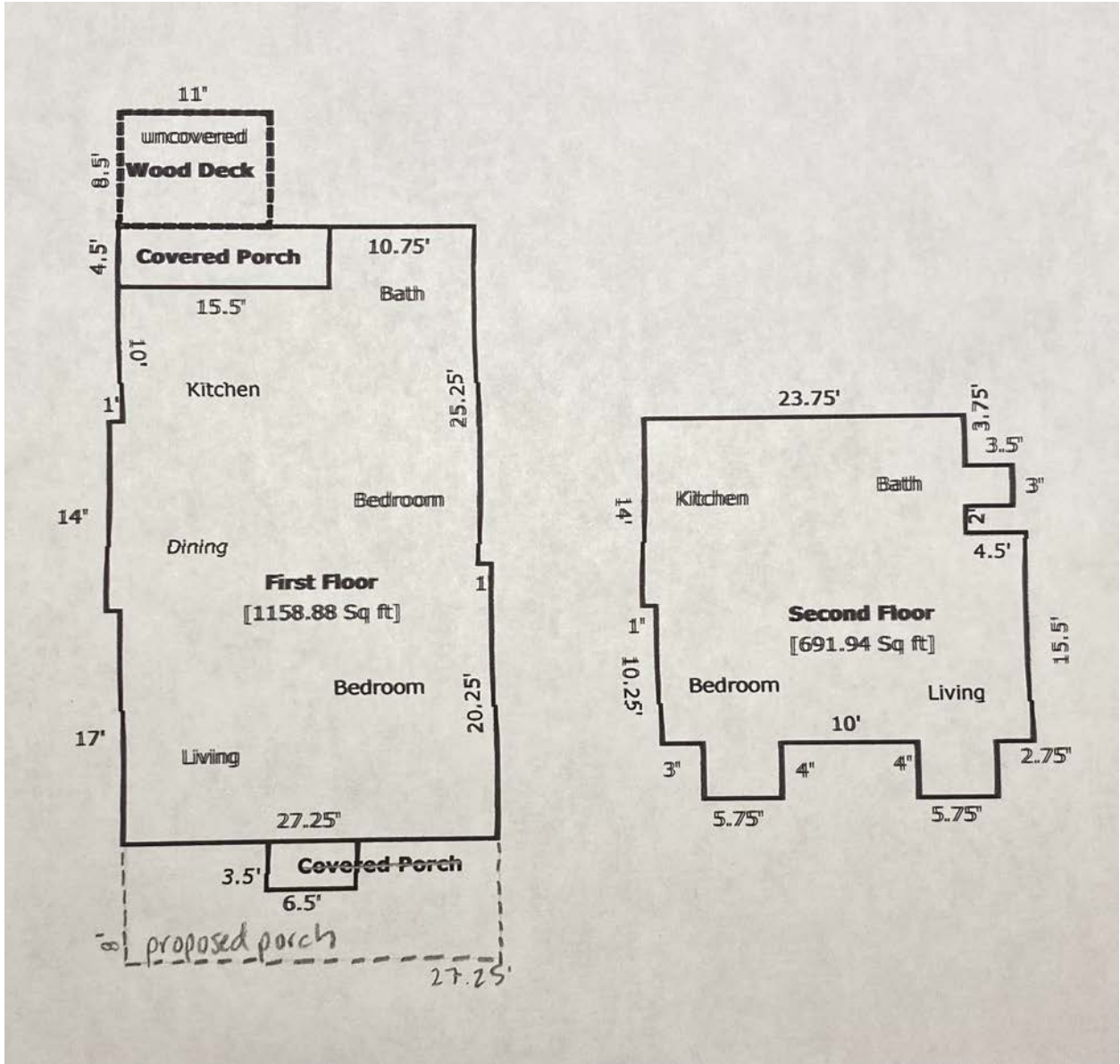
Asphalt roof
3/12" pitch

Portico with matching fascia
and trim

4, 8"x8' round
wood columns

28'x8'x4" new
concrete porch





Proposed home design





Right side of house with non historic entrance to be demolished.



1800

1800







Non historic portico with resin supports to be demolished.













Documentation of current siding conditions.

