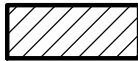




7-G-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS


1017 Thompson Place 37917
Old North Knoxville H

Original Print Date: 7/1/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Roy Nicaud


 0  250
 Feet



Staff Report

Knoxville Historic Zoning Commission

File Number: 7-G-21-HZ

Meeting: 7/15/2021
Applicant: Roy Nicaud
Owner: Roy Nicaud

Property Information

Location: 1017 Thompson Place **Parcel ID** 81 L E 020
District: Old North Knoxville H
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Craftsman, c.1910

Two story frame residence with weatherboard wall covering. Jerkin head gable roof with asphalt shingle covering. Double hung two over two and four light casement windows. One story three-quarter front porch with paired wood posts on brick piers and enclosed balustrade. Interior offset brick chimneys. Brick foundation. Irregular plan. Sidelights and transom at front entry.

Description of Work

Level II Construction of Addition or Outbuilding, Major Repair or Replacement

In June 2020 (6-G-20-HZ), a different contractor from the applicant submitted an application for exterior rehabilitation of the house, which was significantly damaged from fire. The application was approved with several conditions. These conditions of approval are reflected in the attached COA and staff report (6-G-20-HZ). The applicant is now applying for modifications from the previously-approved design.

New siding pattern on the second story: applicant requests to install cedar shake/shingle siding on the front and rear gable fields, instead of the wood lap siding. Shingle siding would start immediately below second-story window sills and continue to roofline.

Modified rear elevation and new rear addition: after-the-fact review of new rear addition. Previous rear elevation included a gable-roof rear addition, with a shed-roof section extending towards the east. The applicant removed this rear addition and constructed a continuous shed-roof addition in the same footprint as the previous. The rear elevation will now contain two adjoining windows followed by a secondary entry door recessed on the main massing, with an 8' wide by 15" tall transom window centered on the shed-roof addition.

New deck: after-the-fact review of a new pressure-treated wood deck on the rear right (northeast) corner of the house. Deck measures 11'-9" wide by 10' deep and extends from the middle of the leftmost window to the projecting shed-roof addition.

Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

A. Roofs

1. The shape of replacement roofs shall imitate the shapes of roofs on neighboring existing houses or on other

houses of the same architectural style. ... Roof shapes shall be complex.

2. The eaves on additions or new buildings shall have an overhang that mimics existing buildings near the property. A minimum eave overhang of at least eight inches must be retained or used on new buildings or additions to existing buildings.

B. Windows

2. If replacement windows are necessary, they shall be the same overall size as the originals, with the same pane division and the same muntin depth, width, and profile. They shall be the same materials as the original windows, which were generally wood.

3. True divided lights shall be used in replacement window sashes with more than one pane.

C. Porches

1. Historic porches on houses in ONK should be repaired, or may replicate the original porch if documentation of its size and design can be discovered.

2. Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood posts and/or columns and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.

D. Entrances

6. Rear entrances may not be altered to make them appear to be formal entrances by adding paneled doors, fanlights, transoms, or sidelights.

7. Secondary entrances must be compatible with the original in size, scale, and materials but clearly secondary in importance.

E. Wood Wall Coverings

4. New construction must incorporate corner and trim boards and appropriate door and window trim to be compatible with adjacent historic buildings.

5. Wooden features shall be repaired by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include replacement with matching or compatible substitute materials, when elements remain and can be copied.

6. Wood features that are important in defining the overall historic character of the building shall not be removed.

8. An entire wooden feature that is too deteriorated to repair or is completely missing shall be replaced in-kind. If features are replaced, the materials they are made with shall be compatible with the original in size, scale, and material. Replacement parts should be based on historical, pictorial, and physical documentation.

L. Additions

1. Locate exterior additions at the rear of or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building, and using appropriate proportions.

2. Design new additions so that it is clear what is historic and what is new.

3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district. Additions shall be distinguishable from the historic building, but shall be compatible in terms of mass, materials, size, texture, and scale. Additions shall be designed so they can be removed without destroying the form of the historic building.

4. New additions should not be visible from streets.

6. Do not cause a loss of historic character through a new addition

Comments

N/A

Staff Findings

1. 1017 Thompson Place is a contributing resource to the ONK National Register and local historic districts. The

house underwent a significant fire in early summer 2020, necessitating reconstruction of many exterior and interior elements.

2. In June 2020 (6-G-20-HZ), a different contractor from the applicant submitted an application for exterior rehabilitation of the house, which was significantly damaged from fire. The application was approved, with the several conditions. These conditions of approval are reflected in the attached COA and staff report (6-G-20-HZ). The applicant is now applying for modifications from the previously-approved design.
3. The applicant has proposed cedar shakes instead of wood lap siding in the upper-story gable fields due to current cost constraints with wood siding. In "wood wall coverings," guidelines note that "an entire wooden feature that is too deteriorated to repair "shall be replaced in-kind" and be "compatible with the original in size, scale, and material." Guidelines also recommend that replacement parts should be based on historical, pictorial, and physical documentation. There are instances of Craftsman residences with Dutch Colonial influences using shingle siding in Knoxville; however, there is no evidence of shakes or shingles as an original siding element on this house's gable fields.
4. The new rear addition was built within the same footprint of the previous rear addition. The rear addition is slightly inset from the main house (~6 inches) and is minimally visible from Thompson Place. While the shed roof on the addition is somewhat large in massing, the previous addition featured a combination gable and shed roof which were also not fully compatible in in mass and design.
5. The rear addition should use wood lap siding with a matching exposure, corner boards, and window and door trim to match the main house. As currently built, the foundation's sill plate is resting on the old bricks from the old foundation. The applicant should clarify the foundation finish materials and how it will meet the design guidelines.
6. New windows installed on rear elevation and rear addition should be compatible with the historic windows in materials, size, and design, with final specifications submitted to staff. The secondary door on the rear elevation should meet design guidelines for secondary entries and be submitted to staff.
7. The deck is minor in size, uses pressure-treated wood, appropriate within the base zoning code, and will not be visible from the public right-of-way. Guidelines usually encourage balusters to be set into the top and bottom rails.

Staff Recommendation

Staff recommends approval of the work as proposed, with the following conditions: 1) omit cedar shakes and use lap siding with an exposure and placement to match existing siding on front and rear gable fields; 2) rear addition to receive siding, cornerboards, window and door trim to match original house; 3) new windows to be installed on rear elevation and rear addition should be compatible with historic windows in materials, size, and design, with final specifications submitted to staff for approval.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Roy Nicaud with Nicaud Renovations

Applicant

6/28/21

July 15, 2021

7-G-21-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Roy Nicaud

Nicaud Renovations

Name

Company

109 S Northshore dr

Knoxville

TN

37919

Address

City

State

Zip

865-414-4162

roy.nicaud@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

1017 Thompson Place

081LE020

Property Address

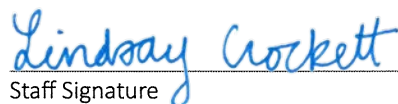
Parcel ID

RN2/H

Neighborhood

Zoning

AUTHORIZATION



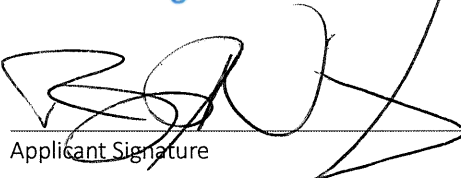
Lindsay Crockett

6.28.21

Staff Signature

Please Print

Date



Roy Nicaud

6/28/21

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: We have slight changed the elevation of the rear of house. The roof line has become a shed roof with making the space more usable.

Adding a transom window to back of the house along with two windows in the back.

Looking to change the top front and back gable from wood siding to cedar shake. It will be about a 1/3 of the front and back

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

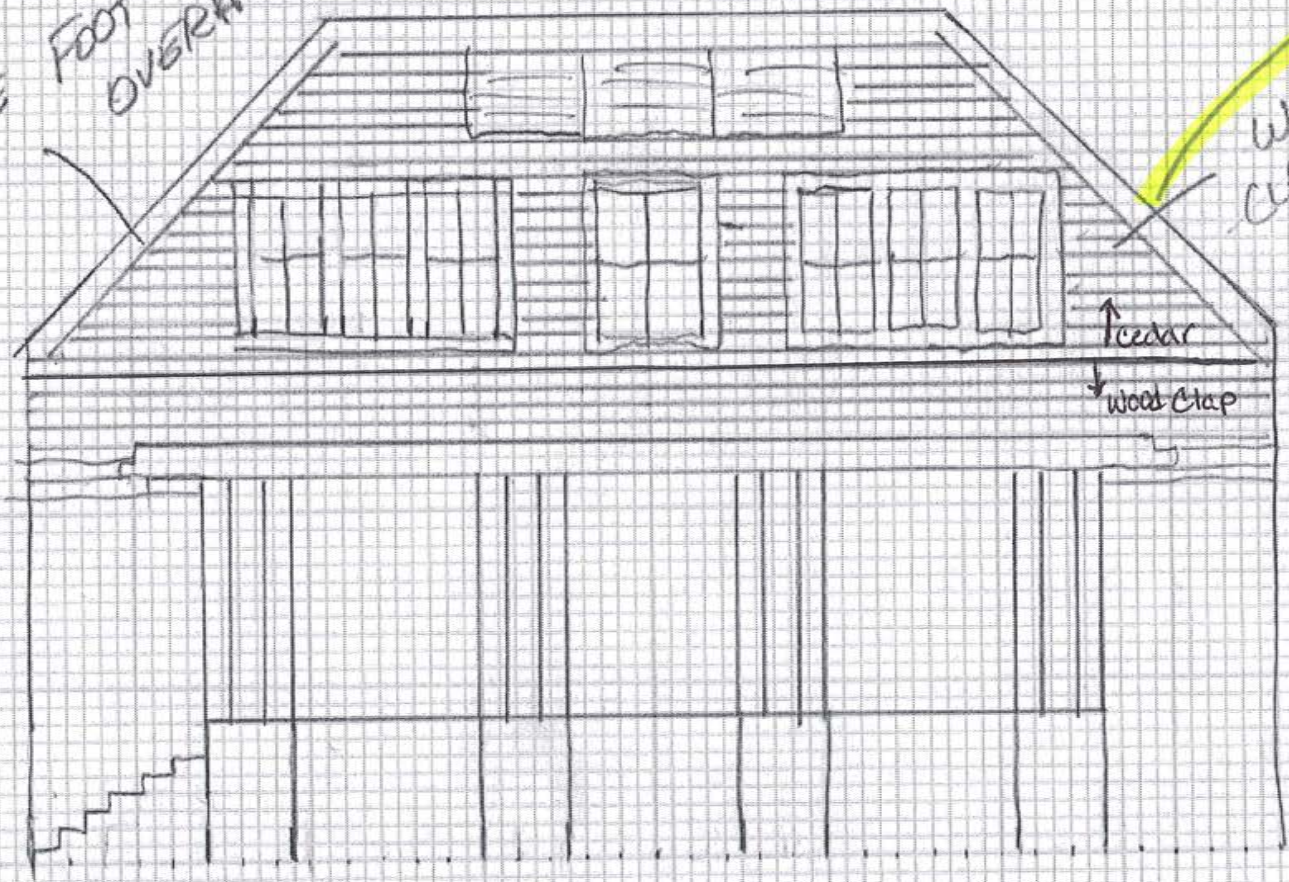
- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:	100	TOTAL: 100
FEE 2:		
FEE 3:		

ONE FOOT OVERHANGS

WINDOW INSTEAD OF DOOR

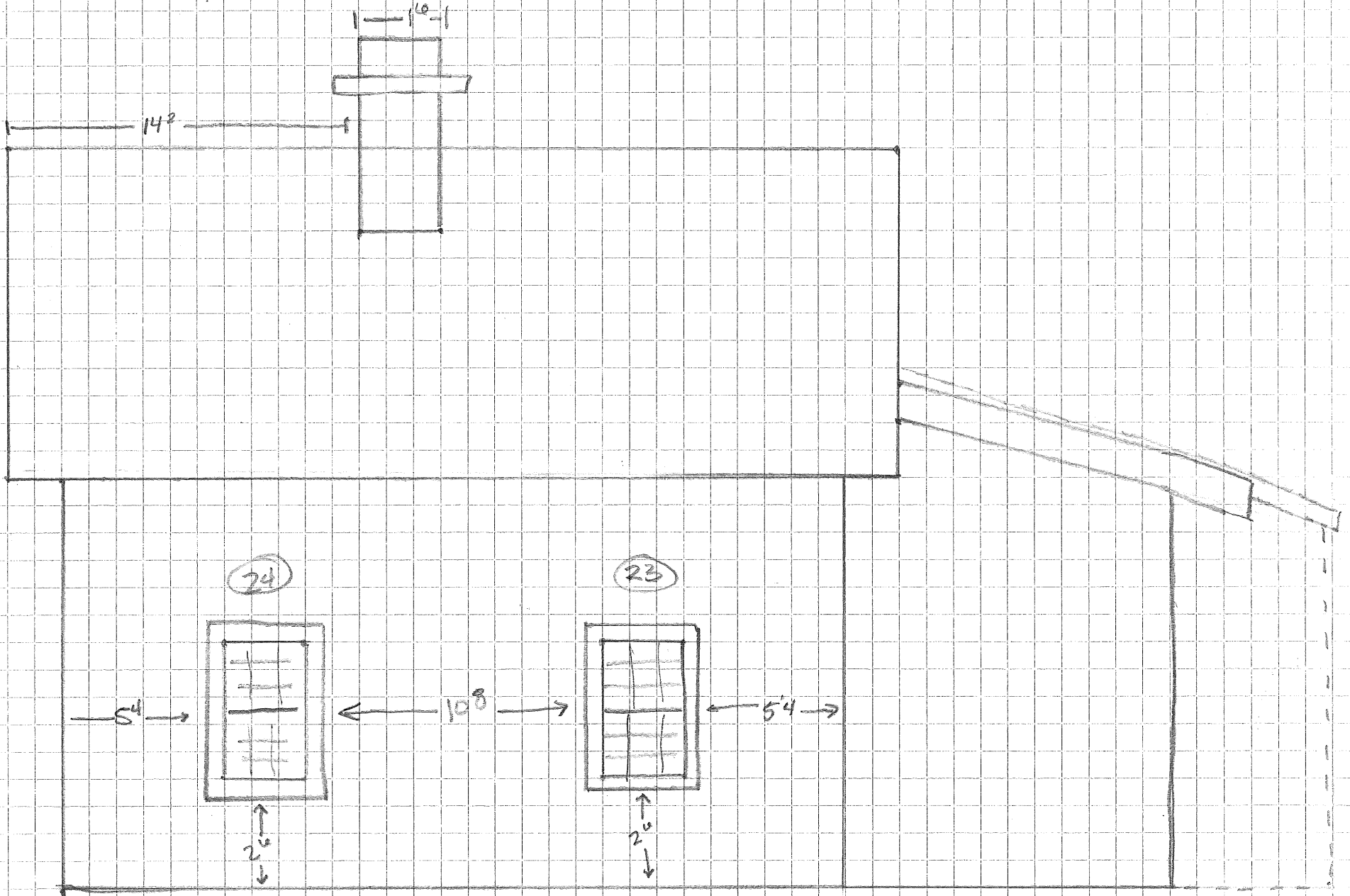


Request Cedar Shake just under window to roof

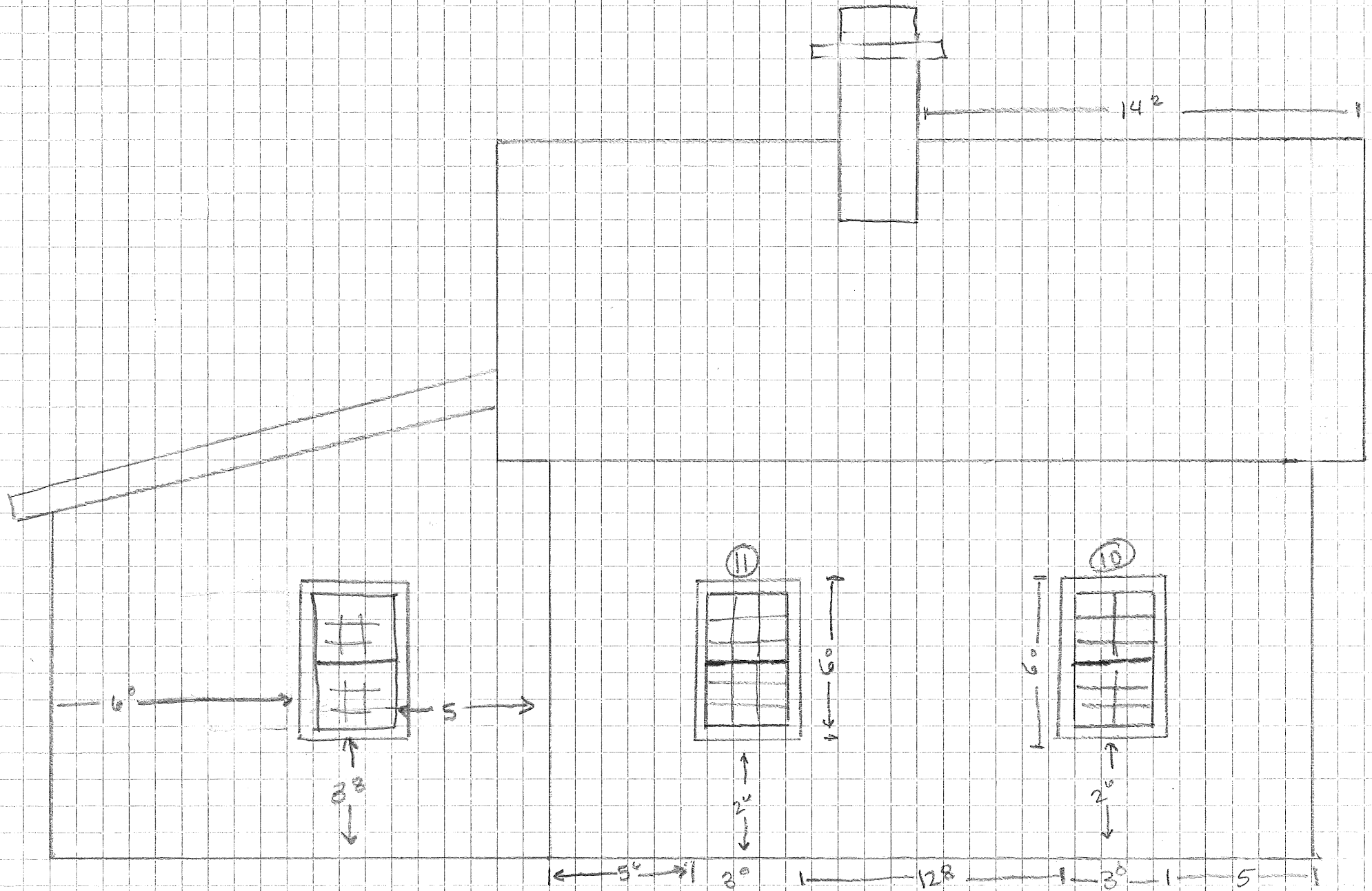
WOOD CLAP BOARD SIDING TO MATCH EXISTING SIDING EXPANSURE ON ALL SIDES AS NEEDED

Cedar
Wood Clap

Right Elevation
(New Request)

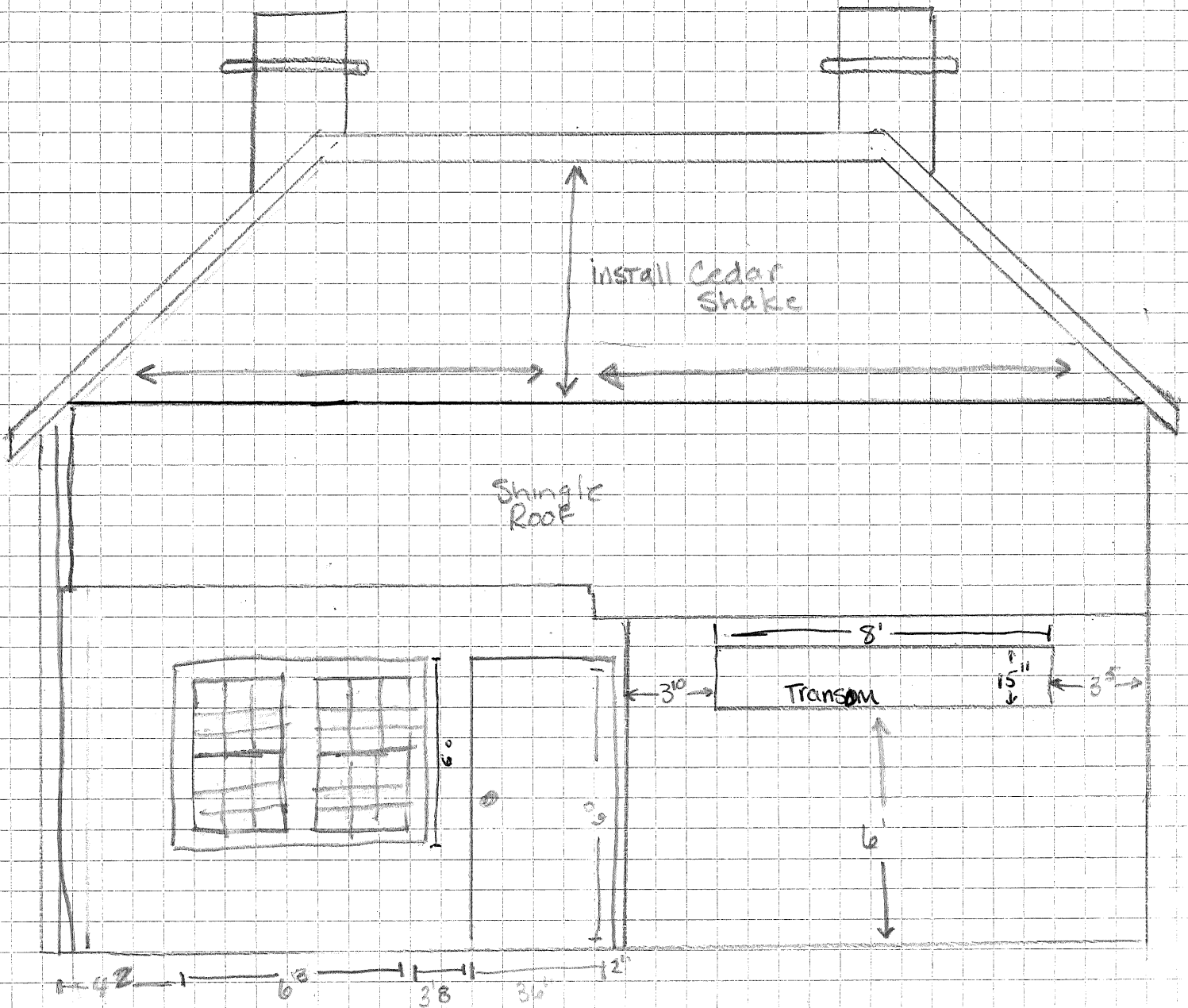


Left Elevation
(New Request)

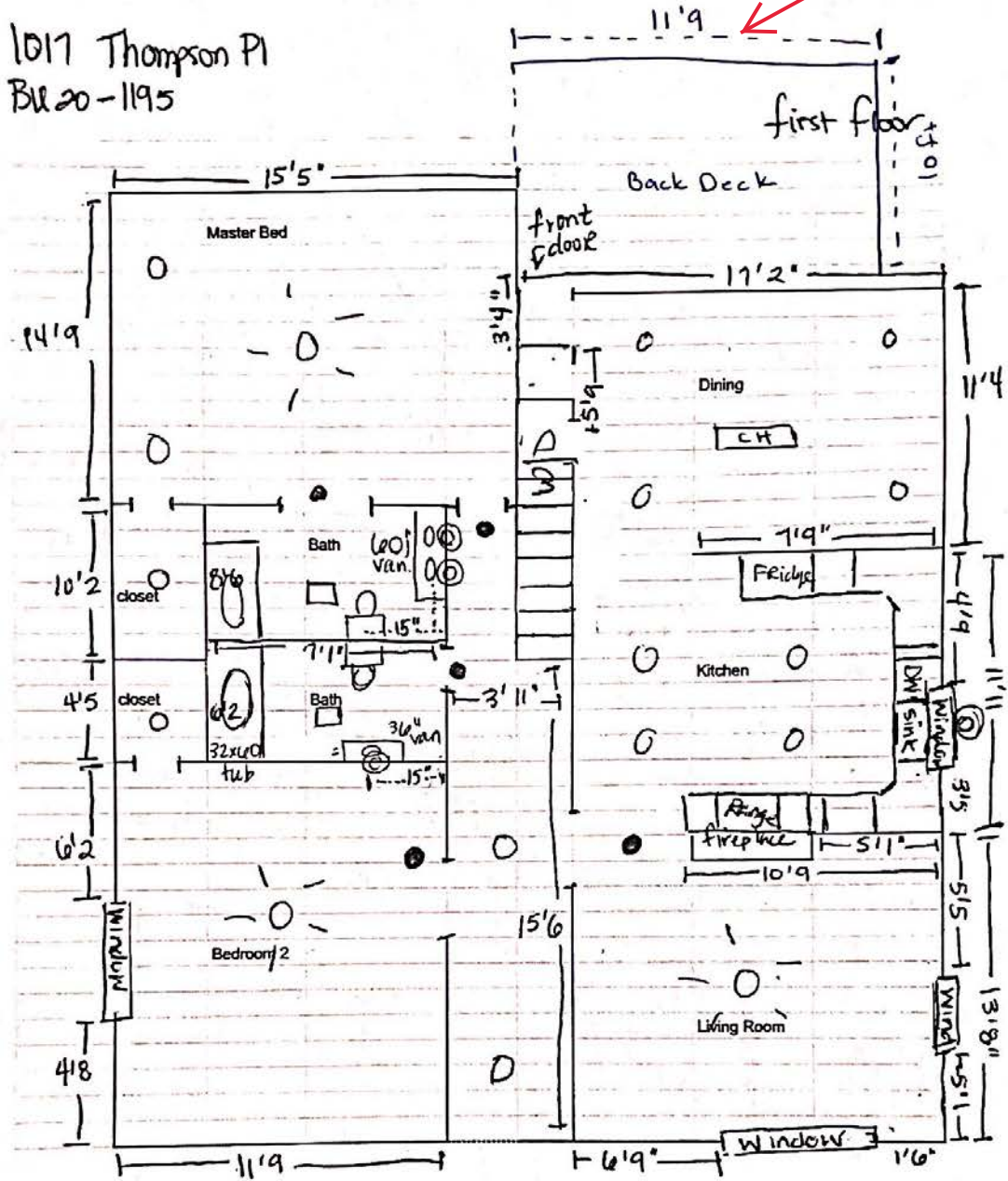


Back Elevation

Request Cedar Shake From
Bottom Roofline to Top of
Roof



1017 Thompson Pl
Bl 20-1195



- vent light
- fan
- can lights
- [CH] chandeliers
- ⊙ vanity light
- smoke detectors



Photos taken by staff in June 2020



Photos taken by staff, June 2021



Photos taken by staff in June 2020



Rear addition



Photos taken by staff, June 2021
Rear addition as built



Photos taken by staff, June 2021
Rear elevation and deck as built