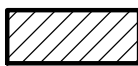




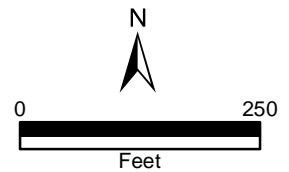
**1-F-21-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**518 W. Glenwood Ave. 37917**  
**Old North Knoxville H**

Original Print Date: 1/13/2021  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Andrew Molla Scruffy City Services



**Meeting:** 1/21/2021  
**Applicant:** Andrew Molla Scruffy City Services  
**Owner:** Mary Jane Keim Michael O'Conner

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## Property Information

**Location:** 518 W. Glenwood Ave. **Parcel ID** 81 L B 024  
**District:** Old North Knoxville H  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**Description:** French Eclectic, c.1925

One-story frame residence with smooth stuccoed wall covering. House features a hipped roof with irregularly laid slate covering. Paired eight-light casement windows. Designed by Charles Barber.

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## Description of Work

Level II Major Repair or Replacement

Removal of original slate roof and replacement with new architectural shingle roof. Proposed replacement material is CertainTeed Grand Manor architectural shingles in Colonial slate.

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## Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

### Roofs

Historic Characteristics: the roofs in Old North Knoxville are now nearly all modern asphalt shingles. There were a variety of original roofing materials, such as standing seam metal or metal shingles, wood or slate shingles, large patterned asphalt or asbestos shingles, or shaped roof tiles of terra cotta or concrete. The historic roof colors would have been darker shades of brown, grey, red, green, or black. [...] The best roof materials to use when roofing are replicas of the original. If that cannot be done, asphalt or fiberglass shingles can be used, but their colors should be carefully selected to reflect the original roofing colors.

1. The shape of replacement roofs shall imitate the shapes of roofs on neighboring existing houses or other houses of the same architectural style.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, etc).
4. Materials used in roofing existing buildings or new construction shall duplicate the roofing materials originally found in the neighborhood. Asphalt or fiberglass shingles can be appropriate, as are wood, slate, standing seam metal, or metal shingle or tile roof coverings. The color of roofing materials should be a dark green, charcoal gray, black, or dark reddish brown to simulate the original roof colors.
6. Roofs that are visible from streets shall retain their original shapes.

### SOI Standards for Rehabilitation

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and
-

other visual qualities and where possible, materials. Replacement or missing features shall be substantiated by documentary, physical, or pictorial evidence.

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## Comments

N/A

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## Staff Findings

1. 518 W. Glenwood Avenue is a contributing resource to the ONK National Register Historic District and local overlay. The house is a unique Charles Barber design in which the original roof is the major character-defining feature.
  2. Most past HZC reviews of replacing original slate roofing materials with asphalt shingles have occurred in the Edgewood-Park City overlay. Most recently, Commission discussion regarding 1806 Washington Avenue (4-E-14-HZ) focused on the slate tiles being between 115-120 years old, reaching "the end of its functional life." This review also noted that "there is evidence within the district of an evolution of slate roofs to shingles, as the slate has deteriorated due to age and become very expensive to replace." At 1111 Luttrell Street in Fourth & Gill (8-B-02-HZ), asphalt shingles were approved as a replacement for slate with the condition that all roof ornamentation be reused on the shingle roof.
  3. ONK slate roof precedent includes the replacement in-kind of a slate roof at 505 E. Scott Avenue (6-C-12-HZ), and projects in 2003 and 2012 at 222 E. Oklahoma Ave, where an asphalt roll roof was applied over the remnants of an existing slate roof prior to the overlay. There was not enough salvageable material to re-use for even partial re-roofing with slate, so all asphalt roll and slate were removed and replaced with asphalt shingles.
  4. The slate roof is original to the structure, which was constructed in approximately 1925. The property owner has provided documentation of past repair efforts, including at least eight rounds of minor repair since purchasing the property in 1996. The original roof has not been neglected.
  5. NPS Preservation Brief 29 notes "the relatively large percentage of historic buildings roofed with slate during the late nineteenth and early twentieth centuries means that many slate roofs, and the 60 to 125 year life span of the slates most commonly used, may be nearing the end of their serviceable lives at the end of the twentieth century." SOI Standards recommend replacing with materials "that match the old in design, color, texture and other visual qualities, and where possible, materials." Previous reviews of new slate roofing focus on the cost-prohibitive and labor-intensive nature of a new slate roof.
  6. ONK Guidelines note that roofing materials shall duplicate roofing materials originally found in the neighborhood, including asphalt shingles, slate, etc, with a dark color to simulate the original roof colors, and that roofs visible from streets shall retain their original shapes. The submitted material does meet these guidelines.
  7. The applicant has submitted material specs for the proposed replacement material, a high-end architectural shingle noted on its website as "intended to mimic slate roofing." The shingles use "random tabs accented by shadow lines" to "create a look of depth and dimension." The color is a dark grey "Colonial slate" color. While the texture and unique placement of the original slate shingles can't be replicated with a synthetic shingle, the proposed replacement is an adequate selection.
- 

## Staff Recommendation

Staff recommends approval of the roof's replacement. All efforts should be taken to replace with new slate roofing instead of architectural shingles. Recognizing the cost-prohibitive nature of new slate materials, the Commission may choose to approve the submitted architectural shingles. If the architectural shingles are approved as a

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replacement material, the new roof should incorporate any roof details, eave overhangs, and not modify the unique pitch and shape of the roof's design.



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

ANDREW MOLLA

Applicant

12/3/2020

January 21, 2021

1-F-21-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

ANDREW MOLLA

SCRUFFY CITY SERVICES

Name

Company

2634 SRUFFY CITY WAY

KNOXVILLE

TN

37725

Address

City

State

Zip

865-498-9946

CAMI@SCRUFFYCITY.ORG

Phone

Email

## CURRENT PROPERTY INFO

MARYJANE KEIN ; MICHAEL O'CONNER

518 W GLENWOOD AVE

(865) 705-7076

Owner Name (if different from applicant)

Owner Address

Owner Phone

518 W GLENWOOD AVE

081LB024

Property Address

Parcel ID

OLD KNOXVILLE NORTH

RESIDENTIAL

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*

Lindsay Crockett

1.4.21

Staff Signature

Please Print

Date

*ANDREW MOLLA*

ANDREW MOLLA

12/2/2020

Applicant Signature

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

**FEE 1:**

**FEE 2:**

**FEE 3:**

**TOTAL:**



Photos submitted by applicant



Photos submitted by applicant





Photos taken by staff



Grand Manor is a top-of-the-line, architectural shingle that's best suited to larger homes with steeply pitched roofs, with virtually five-layer coverage when applied. Random tabs accented by shadow lines on the asphalt shingle with fiber glass base create a look of depth and dimension.



- F/G Base, UL Class A Fire Rating
- Lifetime Limited Year Warranty, 10 Year SureStart Protection (material, labor, tear-off and disposal cost covered), 110 mph 15 yr wind warranty (130 with high-wind application)
- Algae Resistant StreakFighter Warranty, 15 yr
- Approx. 425 lbs/sq
- 36"x18" size (4 tab), 8" exposure
- 6 sq/pallet
- UL certified to meet ASTM D3462



Proposed replacement:  
 CertainTeed Grand Manor  
 architectural shingles in  
 Colonial Slate

Documentation of  
past repair efforts

Roof Repairs at 518 W. Glenwood Ave.

*Invoices are in  
reverse order.*

Eddie Nutt, Slate Roof and Tile Services	
10/26/96	\$1135.00
11/19/26	
9/5/98	175.00
9/8/98	445.00
6/5/07	285.00
9/27/07	175.00

Earl McGill Contracting	
1/21/12	\$2075.00
9/4/18	313.00

Norman Lear Roofing	
9/16/17	\$1590.00
5/21/20	375.00
9/11/20	325.00

*Mary Jane Keim 12/31/20*

*Everyone who has worked on my roof  
has told me it needs to be replaced -  
I've held out as long as I can!*

STATEMENT

~~Sent the other one~~ 198221

DATE Sept 8 98 TERMS 1-Month Dav  
P.O. Box 721

TO  
ADDRESS Mary Jane King & Michael O'Connor Smythville, TN  
518 Glenwood Ave 37166  
Knoxville TN 37917 on 10/30/98

IN ACCOUNT WITH Edie's Slate & Roof tile  
412 Valparaiso Dr  
Oak Ridge TN 37830

tree Damage to Back Side of Roof area	
Rubber Decking & Slate 4 FT X 4 FT	
Cut Down tree Branch on existing tree	
Labor & Material	445.00
Paid in full Sept. 9 98	
Edie's Slate	

Documentation of past repair efforts

Invoice No # 198209

Documentation of  
past repair efforts

# STATEMENT

DATE	Sept 5. 98	TERMS
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TO	Mary Jane Keins & Michael O'Connell
ADDRESS	518 Glenwood Ave Knoxville TN 37917

IN ACCOUNT WITH	Edgins Slate & Roof tile Service
	412 Valparaiso Dr Oak Ridge TN 37830

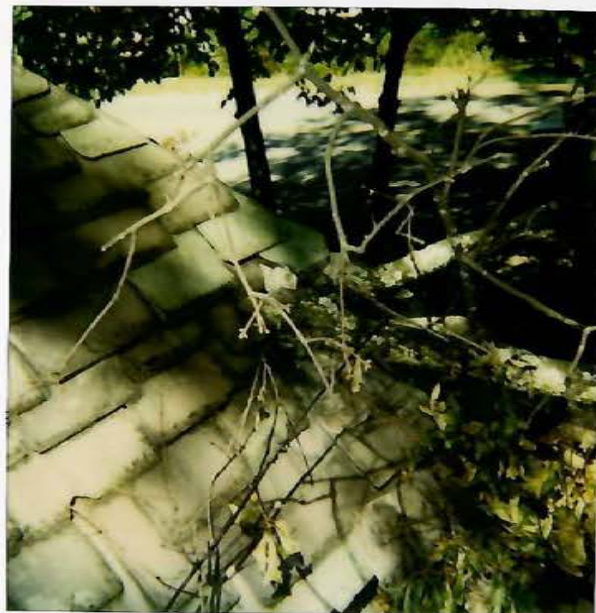
Spot Repair on Slate Roof

Labor & Material \$17500

pd. chk # 2391



Tree Damage Sept - 8 - 98



Tree Damage Sept - 8 - 98



Tree Damage Sept - 8 - 98

Invoice

789728

SOLD TO <i>Mary Jane Keim</i>		SHIP TO <i>Norman Lear</i>	
ADDRESS <i>518 Glenwood</i>		ADDRESS <i>918 Fairwood</i>	
CITY, STATE, ZIP <i>Knox, TN 37917</i>		CITY, STATE, ZIP <i>Knox, TN 37920</i>	

CUSTOMER ORDER NO.	SOLD BY	TERMS	F.O.B.	DATE <i>9-11-20</i>
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ORDERED	SHIPPED	DESCRIPTION	PRICE	UNIT	AMOUNT
		<i>Repair slate around chimney, fix <del>the</del> leaks.</i>			
		<i>Replac. 6 Slate Shingles.</i>		<i>Labor</i>	<i>make</i>
		<i>Norman Lear</i>	<i>\$305.00</i>		

edwards 5840

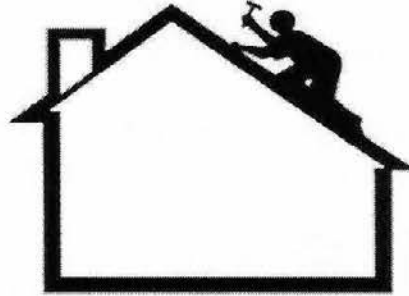
09-15

*Norman Lear*

*#1399*

*9/11/20*

Documentation of past repair efforts



# LEAR ROOFING AND REMODELING

LICENCED AND INSURED  
22 YEARS EXPERIENCE  
(865) 566-3773 (865) 577-4261

356-3955  
no voice mailbox  
5/15/20

↑  
father ←  
left msg  
calling for repair

## PROPOSAL

Proposal Submitted To: MARY JANE KEIN

Date: 09/16/17

Address: 518 W. GLENWOOD AVE

Job Name: KEIN

City, State, Zip: Knoxville, TN 37917

Phone: 865-705-7076

Fax:

WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR:

- REMOVAL OF THE SLATE SURROUNDING THE CHIMNEY CHASE (APPROXIMATELY 38 PIECES)
- REMOVAL OF THE OLD FLASHING
- REPLACEMENT OF BOTH THE SUB FLASHING AND COUNTER FLASHING
- REPLACEMENT OF THE AFOREMENTIONED SLATE AROUND THE CHASE
- REPLACEMENT OF APPROXIMATELY 20-30 ADDITIONAL SLATE (VARIOUS LOCATIONS)

**\*ROOFING REPAIRS COVERED UNDER 1 YEAR WARRANTY\***

We propose hereby to provide labor and material in accordance with the above specifications for the sum of

**\*ONE THOUSAND FIVE HUNDRED NINETY AND NO 00/100-----**

**DOLLARS**

**TOTAL \$1,590.00**

PAID IN FULL WITH CHECK # 1183

All material is guaranteed to be as specified. All work to be completed in a Workman like manner, per standard practices. Any alteration or Deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by worker's compensation insurance and general liability.

Acceptance of proposal.

The above prices specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be as outlined above.

Authorized Signature

Signature

Signature



Mary Jane Keim.

Norman Lear

Repair on slate Roof fix Leak.  
Replaced 6 slate shingles.  
1 year warranty.

Norman Lear

375<sup>00</sup> Labor & mat

chk 1379  
5/21/20

Itemized Payees Eddie Nutt - Earliest To Date

9/26/2006 through 12/31/2020

12/31/2020

Date	Account	Num	Category	Tag	Memo	Clr	Amount
<b>EXPENSES</b>							<b>-460.00</b>
<b>Eddie Nutt</b>							<b>-460.00</b>
6/5/2007	Business Ch...	4187	Repairs and ...		slate roof re...	R	-285.00
9/27/2007	Business Ch...	4238	Repairs and ...		slate roof re...	R	-175.00
<b>OVERALL TOTAL</b>							<b>-460.00</b>

no {  
 Invoices  
 Available

Itemized Payees Eddie Nutt - Earliest To Date

9/26/2006 through 12/31/2020

12/31/2020

Date	Account	Num	Category	Tag	Memo	Clr	Amount
<b>EXPENSES</b>							<b>-460.00</b>
<b>Eddie Nutt</b>							<b>-460.00</b>
6/5/2007	Business Ch...	4187	Repairs and ...		slate roof re...	R	-285.00
9/27/2007	Business Ch...	4238	Repairs and ...		slate roof re...	R	-175.00
<b>OVERALL TOTAL</b>							<b>-460.00</b>

also -

prior to 2006

Eddie Nutt, Slate Roof Tile Service

See Invoices	{	9/5/98	slate roof repair	175.-
		9/2/98	"	445.-
	}	10/26/96		1135.-
		11/19/96		

Earl McMill Contracting  
1/21/12

2075.-

Norman Lear Roofing  
9/16/17  
5/21/20  
9/11/20

1590.-  
375.-  
325.-

Itemized Payees Eddie Nutt - Earliest To Date

9/26/2006 through 12/31/2020

12/31/2020

Date	Account	Num	Category	Tag	Memo	Clr	Amount
<b>EXPENSES</b>							<b>-460.00</b>
<b>Eddie Nutt</b>							<b>-460.00</b>
6/5/2007	Business Ch...	4187	Repairs and ...		slate roof re...	R	-285.00
9/27/2007	Business Ch...	4238	Repairs and ...		slate roof re...	R	-175.00
<b>OVERALL TOTAL</b>							<b>-460.00</b>

do not have invoices for above

Prior to 2007

Eddie Nutt, Slate Roof and Tile Service

10/19/96

10/26/96

9/8/98

1135.-

Earl McKill Contracting

1/21/12

9/4/18

2075.-

3131.-

Norman Lear Roofing

9/16/17

5/21/20

9/11/20

1590.-

375.-

325.-

Itemized Payees - Earliest To Date

9/26/2006 through 12/31/2020

12/31/2020

Page 1

Date	Account	Num	Category	Tag	Memo	Clr	Amount
<b>EXPENSES</b>							<b>-460.00</b>
<b>Eddie Nutt</b>							<b>-460.00</b>
6/5/2007	Business Ch...	4187	Repairs and ...		slate roof re...	R	-285.00
9/27/2007	Business Ch...	4238	Repairs and ...		slate roof re...	R	-175.00
<b>OVERALL TOTAL</b>							<b>-460.00</b>

*Carl McMill*  
 2/9/12      *roof repair (no invoice available)*      375.-

*Norman Lear*  
 9/16/17      *flashing + roof*      1590.-  
 5/21/20      "      375.-  
 9/11/20      "      325.-  
 TOT      3125.-

Itemized Payees - Earliest To Date  
9/26/2006 through 12/31/2020

12/31/2020

Date	Account	Num	Category	Tag	Memo	Clr	Amount
<b>EXPENSES</b>							-460.00
<b>Eddie Nutt</b>							-460.00
6/5/2007	Business Ch...	4187	Repairs and ...		slate roof re...	R	-285.00
9/27/2007	Business Ch...	4238	Repairs and ...		slate roof re...	R	-175.00
<b>OVERALL TOTAL</b>							-460.00

Carl McMill  
2/9/12

~~roof repair (no invoice available)~~  
roof and chimney

~~375.-~~  
2075.-

Norman Lear

9/16/17

flashing + roof

1590.-

5/28/20

''

375.-

9/11/20

''

325.-

TOT

~~3125.-~~

Itemized Payees - Earliest To Date

9/26/2006 through 12/29/2020

12/29/2020

Date	Account	Num	Category	Tag	Memo	Clr	Amount
<b>EXPENSES</b>							<b>-460.00</b>
<b>Eddie Nutt</b>							<b>-460.00</b>
6/5/2007	Business Ch...	4187	Repairs and ...		slate roof re...	R	-285.00
9/27/2007	Business Ch...	4238	Repairs and ...		slate roof re...	R	-175.00
<b>OVERALL TOTAL</b>							<b>-460.00</b>

Earl McMill  
2/9/12 roof repair 375.-

Norman Lear 183  
9/16/17 flashing + roof repair 1590.-

5/21/20 1399 375.-

9/4/20 1399 325.-

Prior to 2006

9/5/98 Eddie Nutt Slate, Roof + Tile service 175.-  
slate roof repair

9/8/98 " " 445.-

~~10/26/96~~ 11/19/96 1135.-

Earl McMill  
1/21/12 ~~375.-~~  
2075.-

Norman Lear  
9/16/17 1590.-  
5/21/20

FROM

Eddie Slate & Roof tile Service  
211 East Vanhook  
Ash Ridge tn 37830 4838477

PROPOSAL

Page No. 537  
of \_\_\_\_\_ Pages

PROPOSAL SUBMITTED TO:		PHONE	DATE Oct. 24 96
NAME Mrs Mary Jane Kein		JOB NAME Same	
STREET 518 Glenwood Ave		STREET	
CITY Knoxville TN 37917		CITY	STATE
STATE			

We hereby submit specifications and estimate for: "Note"

after inspecting your roof, I propose the following

Scope of work

- A Replace any cracked or missing slate
- B install copper flashing in & around chimneys
- C install metal Ridge cap Painted copper.
- D install flashing over front Door area
- E install leaf Guard around all of Gutters

5 year Workmanship Warranty on all of Repairs

We hereby propose to furnish labor and materials - complete in accordance with the above specifications, for the sum of

Pd. 10-26-96 dollars (\$ 1,135.00 ) with payment to be made as follows:

235.00 Down Balance \$ 900.00 completion of Job

# 3187 11-19-96 # 3203

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accident or delays beyond our control. This proposal subject to acceptance within \_\_\_\_\_ days and is void thereafter at the option of the undersigned.

Authorized Signature Eddie Kein

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

ACCEPTED: \_\_\_\_\_ Signature \_\_\_\_\_  
DATE \_\_\_\_\_ Signature \_\_\_\_\_



# Proposal

Submitted by: <b>McGill Contracting</b> 422 East Oak Hill Ave. Knoxville, TN 37917	Submitted to: <b>Mary Jane Keim</b> 518 West Glenwood Ave. Knoxville, TN 37917	Date: <b>1-21-2012</b> Job Location: <b>Home</b> Home #: <b>(865) 522-6060</b> Cell #: <b>(865) 705-7076</b>
---	---	---

We hereby submit estimates for: **roof repair**

Repairing lose and broken slate on older section of house Repairing roof leak at chimney and dormer, driveway side  Repairing water damaged ceilings	<del>\$375.00</del> <del>\$1700.00</del>
<b>Instructions:</b> Sign and date at bottom. Return to address above.	
Thanks! <span style="float: right;"><i>don't have check #s on these payments</i></span>	

We propose hereby to furnish material and labor – complete in accordance with the above specifications for the sum of: **\$2075.00**

With payments to be made as follows:  
**In full upon completion.**

Any alteration or deviation from specification involving extra cost will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted: *Earl Mercer*

This proposal may be withdrawn by us if not accepted within **30** days.

### Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You authorize to do the work as specified. Payments will be made as outlined above.

Signature <u><i>Mary Jane Keim</i></u>	Date _____
Signature _____	Date _____