





12-E-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS


32 Market Square 37902
 Market Square H

Original Print Date: 12/7/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Markus Chady Studio Four Design, Inc



 Feet



Staff Report

Knoxville Historic Zoning Commission

File Number: 12-E-21-HZ

Meeting: 12/16/2021
Applicant: Markus Chady Studio Four Design, Inc
Owner: Bernadette and Scott West

Property Information

Location: 32 Market Square **Parcel ID** 94 L E 044
District: Market Square H
Zoning: DK (Downtown Knoxville)
Description: Vernacular Commercial, c.1890

Two-story brick building with double-hung windows, prism galss transom. Corbelled cornice with limestone band and section of brick arches and front parapet, stone stringcourse and sills with brick dentil molding. Altered storefront.

Description of Work

Level II Construction of Addition or Outbuilding

Expansion of existing roof deck and addition of a new mezzanine (rooftop addition) on the existing roof. The addition will be constructed along the rear half of the building's rooftop, measuring approximately 33' long and extending the full width of the building (approximately 13' wide).

Addition features new masonry-clad walls with a steel barrel-vault roof structure. The addition's walls feature seven clerestory windows. From the rooftop deck level to the top of the structure, the rooftop addition measures 17' tall.

Existing wood pergola towards the rear of existing roof deck will be removed. Mechanical units will be relocated towards the rear elevation of the building. Expansion of rear egress stair.

The project also contains a "dumbwaiter" structure be installed along the rear (alley) elevation. Rear elevation drawings showing dumbwaiter may be updated to meet City code requirements

Applicable Design Guidelines

Market Square Design Guidelines and Designation Report, adopted by the Knoxville City Council on July 24, 2001. Secretary of the Interiors Standards for Rehabilitation: referenced by the Market Square Design Guidelines, and the principals are utilized as a basis for those guidelines. The below Standards have been referenced in previous HZC reviews of rooftop additions.

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, site and its environment, or to use a property for its originally intended purpose.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Comments

N/A

Staff Findings

1. 32 Market Square is a contributing resource to the Market Square National Register Historic District and local historic overlay.
2. The scope of work does not involve alterations to the existing storefront or overall façade of the building.
3. Past Historic Zoning Commission reviews of rooftop additions in Market Square have cited the SOI Standards for Rehabilitation and NPS Preservation Brief 14 on Exterior Additions. The NPS Preservation Brief (and TPS Preservation Brief 36) recommend that "rooftop additions are almost never appropriate for buildings that are less than four stories high."
4. Rooftop additions (including on buildings less than four stories high) have been approved on a limited basis in Market Square, when the additions can be proved to not be visible from the right-of-way. HZC precedent since at least 2004 has been to deny permanent rooftop constructions in Market Square which would be visible from the ground level. Recent examples are 26 Market Square (3-E-19-HZ, shed-roof addition reviewed after-the-fact, somewhat visible from the ground level, required to be painted to reduce visibility); 1 Market Square/325 Union Ave (8-J-13-HZ, rooftop penthouse addition approved based on not being visible from the street level); 28 Market Square (12-J-10-HZ, denied based on the proposed addition being visible from the street level).
5. The applicant has provided 3-D renderings and a line-of-sight drawing, standing from points at the opposite side of Market Square, to prove the new walls and barrel vault roof structure will not be visible from the public right-of-way. Due to recessed design of the addition, the existing parapet, and the taller four-story building on the right side, and drawing on the provided renderings, the addition will not be visible from the right-of-way.
6. The barrel-vault design of the rooftop structure could be connected to the segmental arched windows on the building's façade. The rooftop structure is open to the façade, assisting in the overall transparency of the addition. The windows/openings in the barrel vault roof structure are unevenly spaced and may require revision to create even proportions more compatible with the building's symmetrical façade.
7. The use of masonry-clad walls and a steel roof structure are compatible with the existing building, as only small amounts of material will present from a full-on façade view (as shown in the elevation drawings).
8. No historic materials or character-defining features will be removed or altered for the proposed rooftop addition. The roof deck to be removed and reconstructed (with installation of a new Trex material deck) is existing and below the existing parapet.
9. The proposed egress stair expansion will occur on the rear (alley) elevation and have no effect on character-defining elements of the building.
10. Due to concerns about encroachments over the property line, the applicant may not be able to install the dumbwaiter on the rear (alley) elevation as shown. Most rear elevation work in Market Square has been reviewed and approved as a Level 1 on a staff basis. The applicant should revise the dumbwaiter element to meet City zoning and building code requirements and submit to staff or the HZC as necessary.

Staff Recommendation

Staff recommends approval of Certificate 12-E-21-HZ, subject to the following conditions: 1) revision of window/opening design on barrel vault roof structure to create more symmetry, to be submitted to staff; 2) revision (or removal of) dumbwaiter element on rear elevation to meet City zoning and building code requirements, to be resubmitted to staff or Commission for approval.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Studio Four Design Inc.

Applicant

11.29.2021

12.16.2021

12-E-21-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Markus Chady

Studio Four Design Inc.

Name

Company

414 Clinch Ave.

Knoxville

TN

37902

Address

City

State

Zip

865.523.5001

mchady@s4dinc.com

Phone

Email

CURRENT PROPERTY INFO

West Ronald Scott & West Bernadette Trent

32 Market Square, Suite A

Owner Name (if different from applicant)

Owner Address

Owner Phone

32 Market Square Suite A

094LE044

Property Address

Parcel ID

DK-H

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

11.30.21

Staff Signature

Please Print

Date

Markus Chady

11.29.2021

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
100.00		
FEE 2:		
FEE 3:		



The scope of the project includes the expansion of an existing roof deck and addition of a new mezzanine on the existing roof top at 32 Market Square for the existing Scruffy City Hall tenant. The new construction will include the addition of restrooms, janitor's closet, cooler, and dry storage to the existing deck level. The new mezzanine construction will include a new covered full-service bar and lounge area for patrons. Additionally, the rear egress stair will be expanded to allow adequate egress from the new mezzanine level.

These additions will be Type IIB construction and sprinklered throughout with an A-2 occupancy.



32 Market Square Rooftop

Schematic Design DECEMBER, 2021

STUDIO FOUR DESIGN

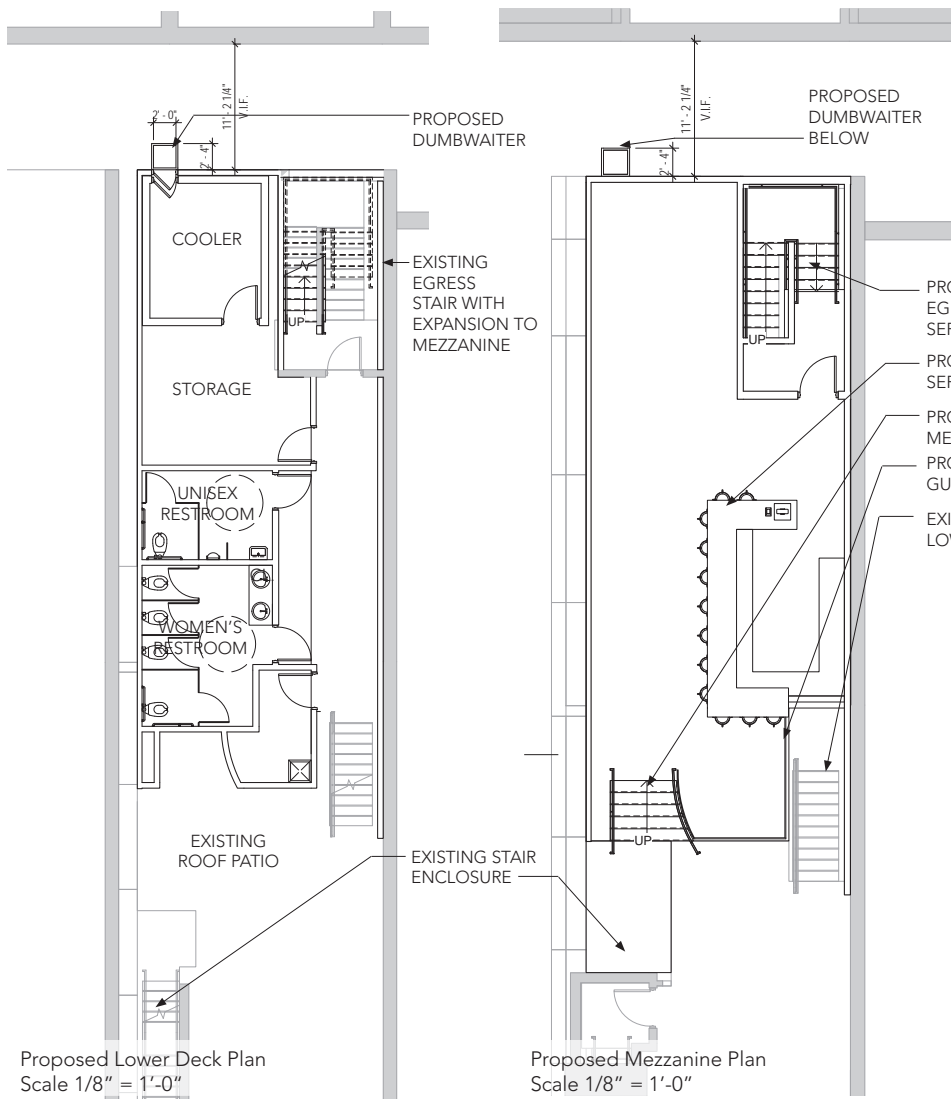
PLANNING GRAPHICS ARCHITECTURE + INTERIORS



Site Plan
Scale 1" = 40' - 0"

32 Market Square Rooftop

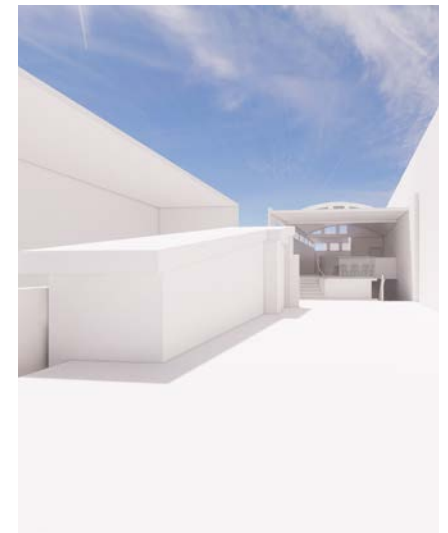
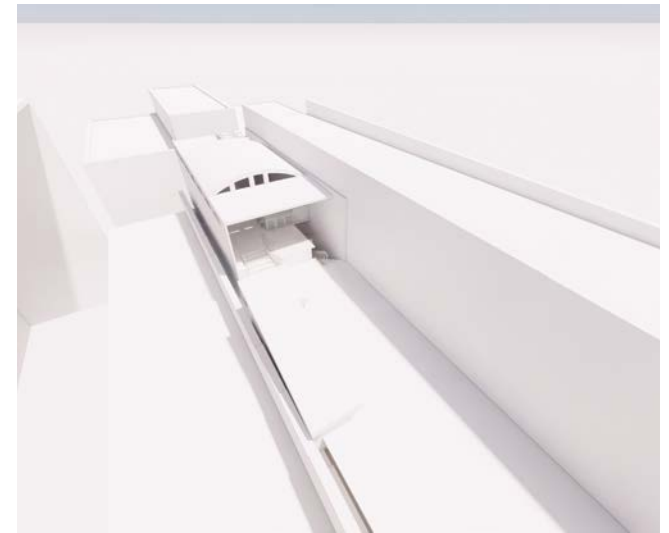
Schematic Design DECEMBER, 2021



Zoning: DK-H "Downtown Knoxville - Historic Core Subdistrict"

Materials:

- Proposed Roof Steel Structure with Masonry Veneer
- Decking Trex
- Wall Assembly Steel Structure with Masonry Veneer
- Guardrails Glass
- Countertop Solid Surface

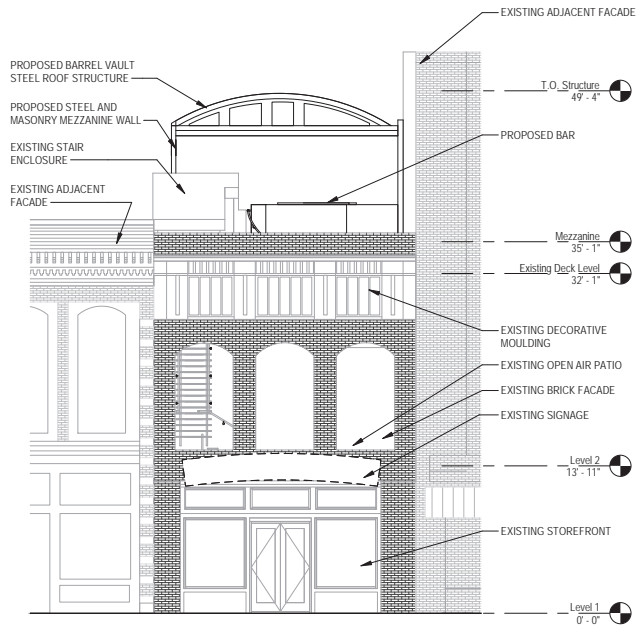


32 Market Square Rooftop

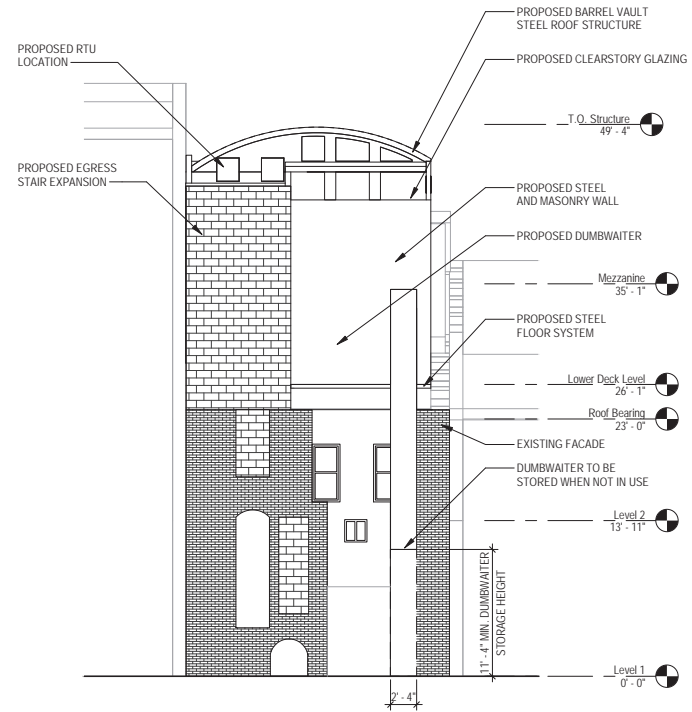
Schematic Design DECEMBER, 2021

STUDIO FOUR DESIGN

PLANNING GRAPHICS ARCHITECTURE + INTERIORS



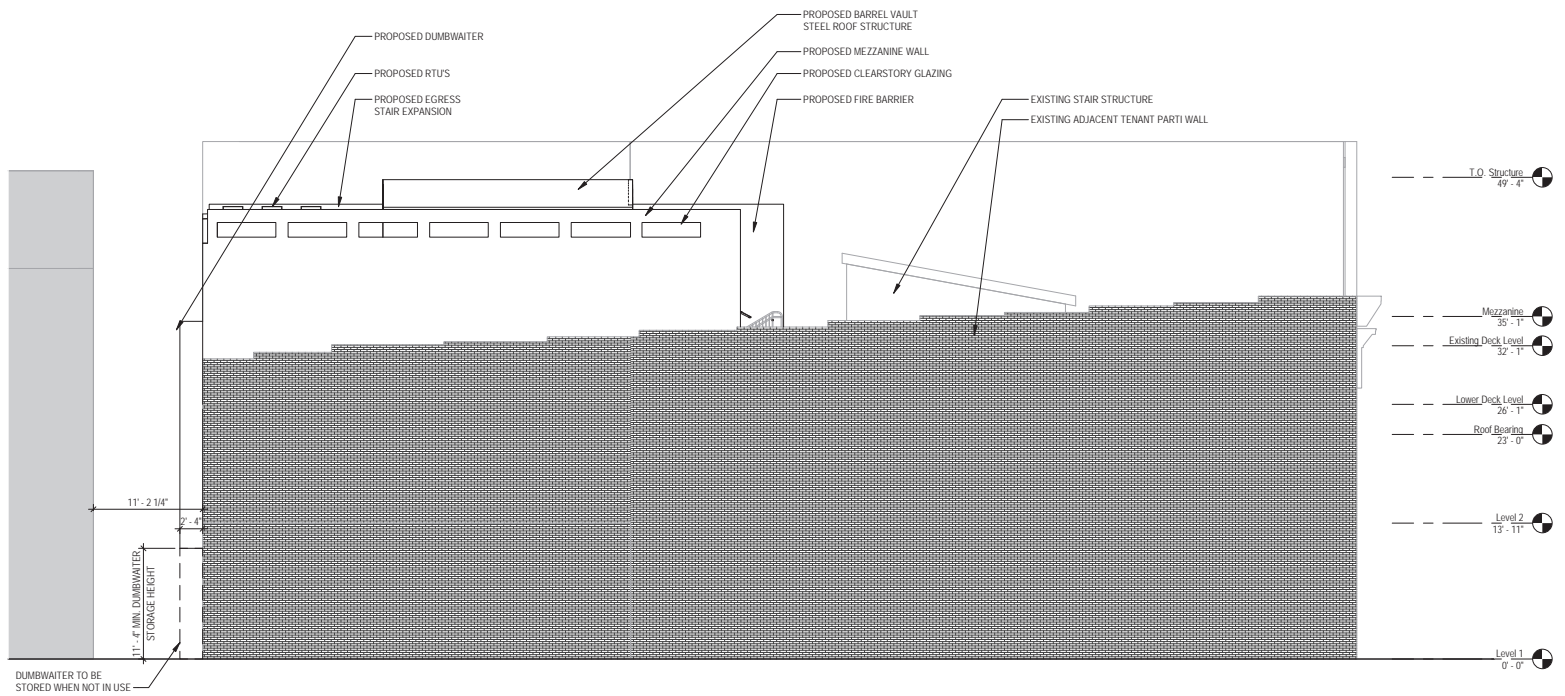
NOTE: NEW CONSTRUCTION DOES NOT RESULT IN REMOVAL OR MODIFICATION OF EXISTING DEFINING FACADE FEATURES



Elevations
Scale 1/8" = 1'-0"

32 Market Square Rooftop

Schematic Design DECEMBER, 2021



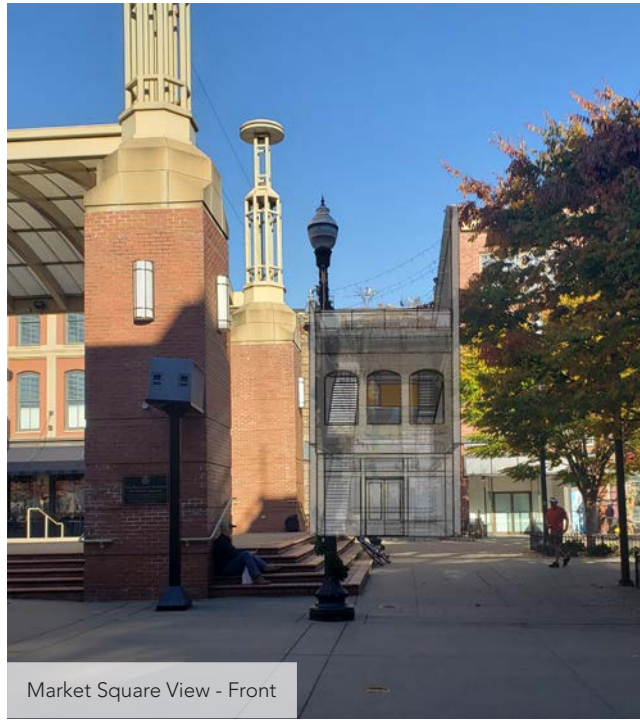
Elevations
Scale 1/8" = 1'-0"

32 Market Square Rooftop

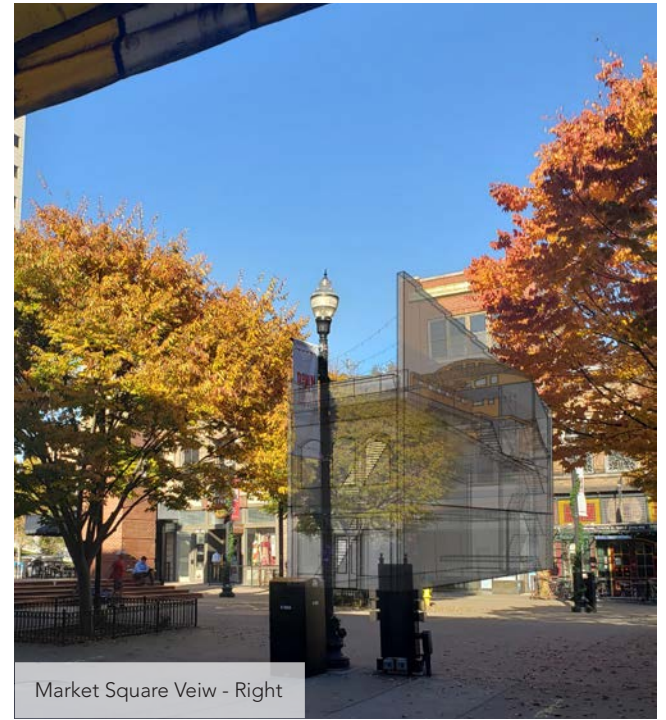
Schematic Design DECEMBER, 2021



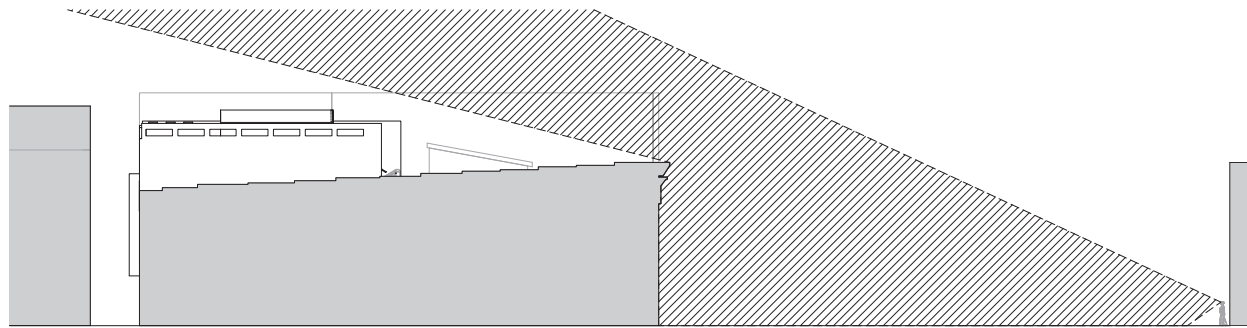
Market Square View - Left



Market Square View - Front



Market Square View - Right



Sight Line Diagram

32 Market Square Rooftop

Schematic Design DECEMBER, 2021

EXISTING REAR STAIR TOWER TO EXTEND TO PROPOSED MEZZANINE



PROPOSED DUMBWAITER LOCATION

ABANDONED VENT TO BE REMOVED

EXISTING STAIRS TO BE MODIFIED WITH PROPOSED CHANGES



EXISTING PERGOLA TO BE DEMOLISHED WITH PROPOSED WORK

EXISTING STAIR ENCLOSURE TO EXPAND TO PROPOSED MEZZANINE

PROPOSED DECK AND MEZZANINE LOCATION



EXISTING PERGOALA TO BE REMOVED

EXISTING DECK TO BE MODIFIED

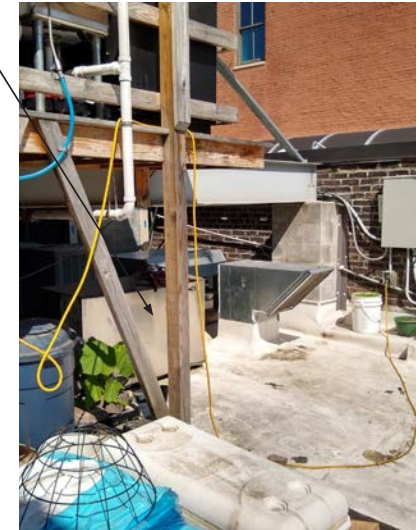
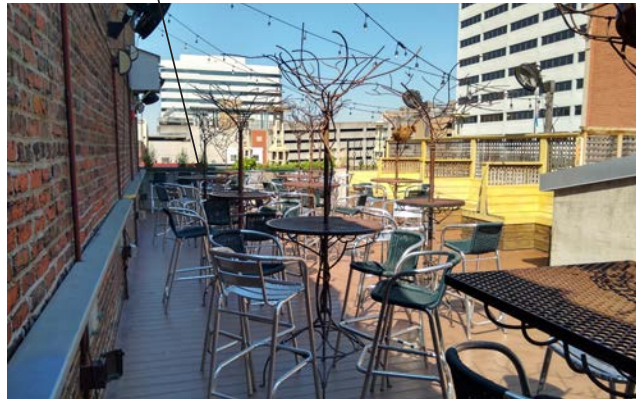
EXISTING MECHANICAL UNITS TO BE RELOCATED



Existing Conditions

EXISTING ROOF DECK

EXISTING MECHANICAL UNITS TO BE RELOCATED



32 Market Square Rooftop

Schematic Design

DECEMBER, 2021

STUDIO FOUR DESIGN

PLANNING GRAPHICS ARCHITECTURE + INTERIORS